BUILDING ADDITION:

BLOOMFIELD FARMS BUILDING ADDITION

575 SPENCER-MATTINGLY LANE

BARDSTOWN, KY 40004

ARCHITECT:

KEYES ARCHITECTS AND ASSOCIATES
4717 PRESTON HIGHWAY
LOUISVILLE, KENTUCKY 40213
PH: (502) 636-5113
CONTACT:DEBBY BIRD
EMAIL:DBIRD@KEYESARCHITECTS.COM
ARCHITECT: CHARLES J. KEYES III

CONTRACTOR:

BCD CONSTRUCTION, INC.
1962 FILIATREAU LANE
BARDSTOWN, KY 40004
PH: (502) 348-2305
CONTACT: JASON HARROD
EMAIL: JHARROD@BARDSTOWN.COM

OWNER:

BLOOMFIELD FARMS INC.
575 SPENCER MATTINGLY LANE
BARDSTOWN, KY 40004
PH: (502) 348-1333
CONTACT:
EMAIL:

CHARLES J. KEYES, II REGISTERED No. 3470 STATE OF KENTUCKY ARCHITECT

PROJECT INFORMATION

APPLICABLE BUILDING CODES

KENTUCKY BUILDING CODE	2018
ICC/ ANSI 117.1	2009
IECC	2012

USE AND OCCUPANCY: F-1

CONSTRUCTION TYPE: II-B

BUILDING INFORMATION

EXISTING BUILDING:	29,580 S.F.
BUILDING ADDITION:	18,105 S.F.
TOTAL BUILDING SIZE:	47,685 S.F.

FIRE SUPPRESSION: FULLY SPRINKLERED

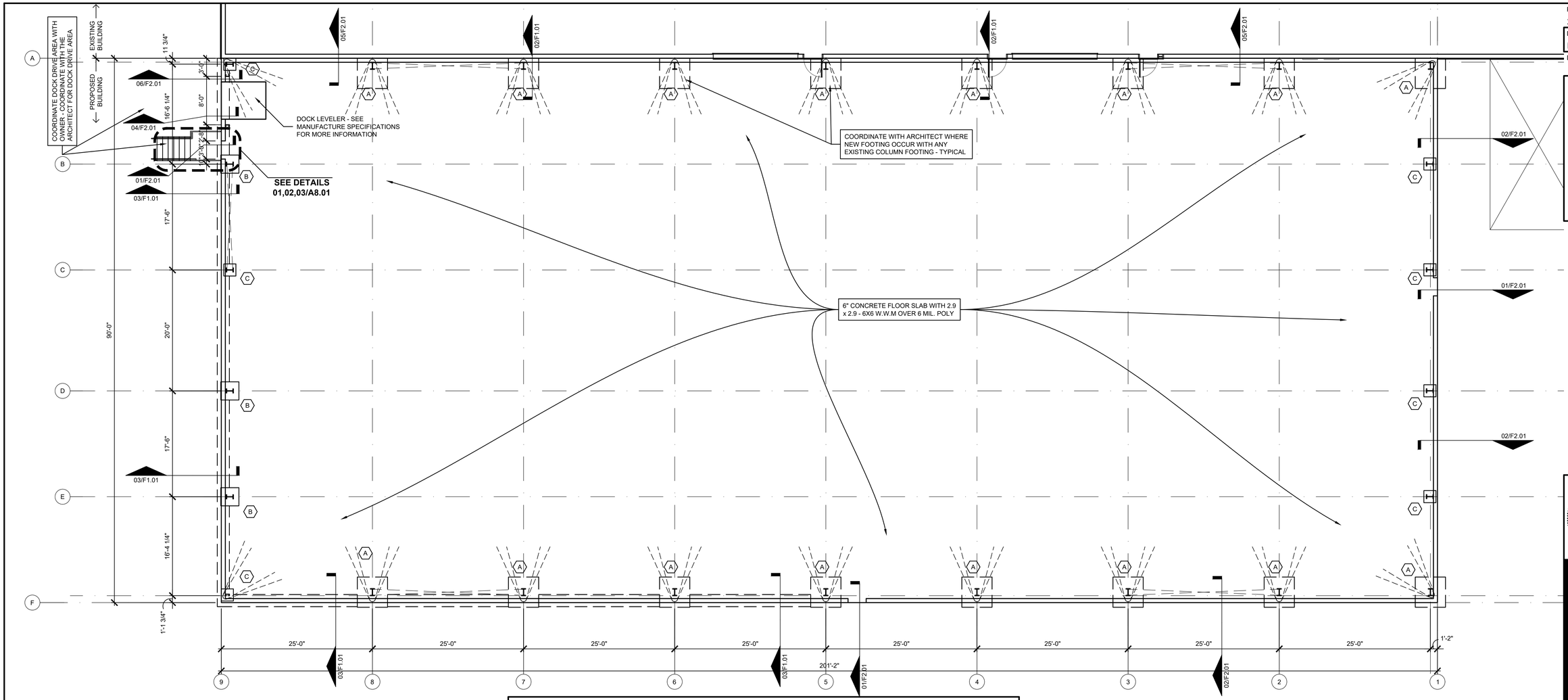
OCCUPANCY ALLOWANCE

FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANCY
EXISTING WAREHOUSE	500 GROSS	29,580	60
NEW WAREHOUSE	500 GROSS	18,105	37
TOTAL OCCUPANCY ALLOWANCE:			97

REVISIONS:

NOTE SYMBOL

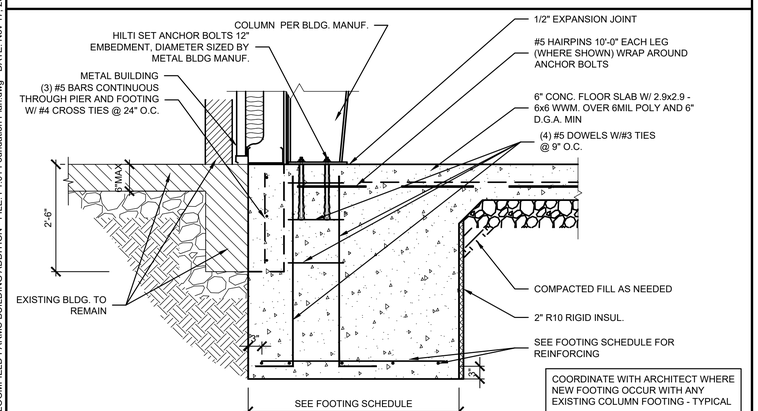
Sheet List Table



01 FOUNDATION PLAN

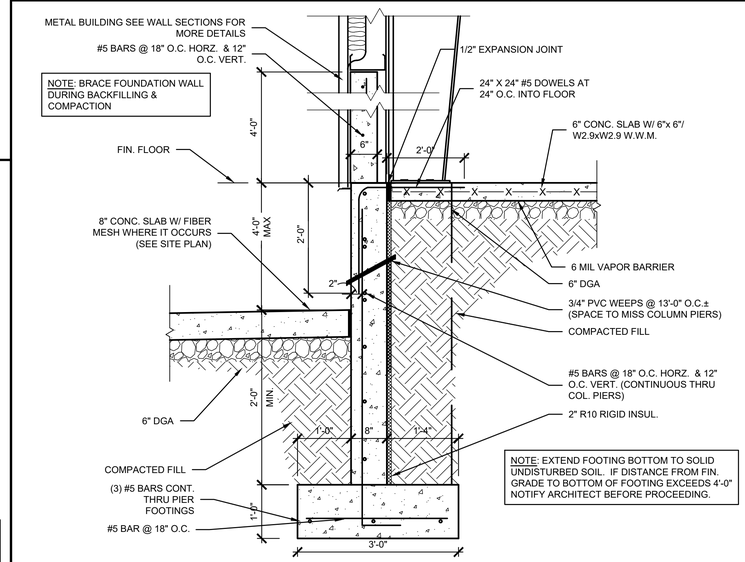
SCALE: 1/8" = 1'-0"

NORTH



02 COLUMN FOUNDATION DETAIL AT EXISTING

SCALE: 3/4" = 1'-0"



03 RETAINING WALL FOUNDATION

SCALE: 3/4" = 1'-0"

FOOTING SCHEDULE

TYPE	SIZE	REINFORCING	MIN. PIER	DETAILS	REMARKS
A	5'-0" x 5'-0" x 2'-0"	(7) #5 BARS E.W. BTM.	12" x 14"	03/F2.01	1,2
B	3'-0" x 3'-0" x 1'-3"	(4) #5 BARS E.W. BTM.	12" x 12"	03/F2.01 OR 07/F2.01	1,3
C	2'-0" x 3'-0" x 1'-3"	(3) #5 BARS E.W. BTM.	12" x 12"	03/F2.01 OR 07/F2.01	1,2,3

FOUNDATION NOTES

1) CONCRETE CONTRACTOR MUST VERIFY LOCATION, SIZES AND PLACEMENT OF ANCHOR BOLTS USING BUILDING MANUFACTURER'S DATA. CONTRACTOR MUST VERIFY IN FIELD.
2) ALL CONCRETE TO BE 4,000 P.S.I.
3) CONTRACTOR TO PROVIDE REINFORCED CONCRETE WORK REQUIRED FOR BRACED BAYS. VERIFY REQUIREMENTS WITH BUILDING MANUFACTURER.
4) CONTRACTOR TO SUPPLY ARCHITECT WITH BUILDING MANUFACTURER'S STAMPED ENGINEERING DRAWINGS AND BASE REACTIONS BEFORE BEGINNING CONSTRUCTION SO THAT ARCHITECT MAY VERIFY FOUNDATION DESIGN.
5) ALL FOOTINGS AND PIERS ARE TO BE CENTERED ON THE BUILDING COLUMNS UNLESS OTHERWISE NOTED.
6) COLUMN PIERS ARE TO BE PLACED INTEGRAL WITH THE GRADE BEAM OR FOUNDATION WALLS WITH REINFORCING TO BE CONTINUOUS THROUGH PIERS.
7) COLUMN PIERS MUST BE MIN. 12" ANY DIRECTION PLUS 1" PAST MANUF. BASE PLATES. GROUT SOLID BETWEEN PIER AND BASE PLATE. CONTRACTOR MUST COORDINATE WITH BUILDING MANUFACTURER AND VERIFY IN FIELD.
8) BUILDING FOUNDATIONS ARE DESIGNED FOR 2,000 P.S.F. SOIL BEARING CAPACITY. VERIFY BEFORE CONSTRUCTION.
9) VERIFY FOUNDATION SIZE AND DEPTH OF EXISTING BUILDING BEFORE CONSTRUCTION. NOTIFY ARCHITECT IF THEY ARE NOT AS SHOWN.
10) ALL ANCHOR BOLTS TO BE SET BY TEMPLATE MATCHING BUILDING MANUFACTURER'S LAYOUTS.
11) NO FIELD ALTERING OF BASE PLATES IS ALLOWED.
12) JUNCTURE OF FLOOR SLAB WITH ALL PIERS AND GRADE TO BE 1/2" WIDE EXPANSION JOINT MATERIAL.
13) CONTRACTOR TO SET OVERHEAD DOOR JAMB ANCHORS INTO FLOOR SLAB AS REQUIRED BY BUILDING MANUFACTURER.
14) FLOOR SLAB TO BE POURED THRU AT ALL DOORWAYS, SLOPE 2% TO OUTSIDE
15) BUILDING ANCHOR BOLTS TO BE DIAMETER DESIGNED BY BUILDING MANUFACTURER. LENGTHS TO BE 3" PROJECTION, 15" IMBEDDED W/ 3" HOOK UNLESS OTHERWISE DESIGNED MY MANUFACTURER OR HERE IN.

REMARKS

1. FOOTING TO REST ON UNDISTURBED SOIL.
2. VERIFY EXISTING FOOTING AND DEPTH.
3. FOUNDATION DETAIL DETERMINED BY EXTERIOR GRADE. FLASHING

NOTE: GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER

NOTE: ELECTRICAL, HVAC AND PLUMBING TO BE RELOCATED PER FEDERAL, STATE AND LOCAL CODES. GENERAL CONTRACTOR TO COORDINATE.

PROJECT NO: 20-4073
DRAWN BY: NM/DB/
DATE: 11-17-2020

CHARLES L. KEYES III
REGISTERED
No. 3470
ARCHITECT
COMMONWEALTH OF KENTUCKY

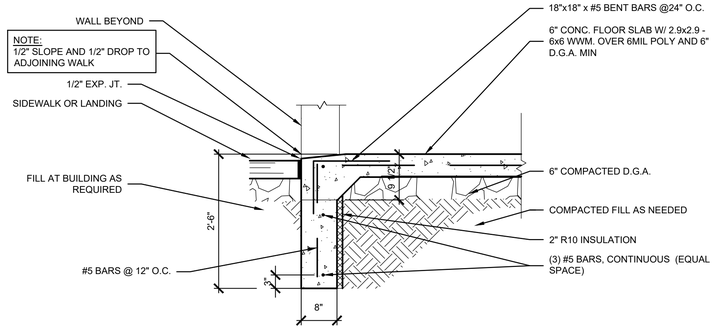
KEYES ARCHITECTS & ASSOCIATES
4717 PRESTON HIGHWAY
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

BUILDING ADDITION:
BLOOMFIELD FARMS BUILDING ADDITION
575 SPENCER-MATTINGLY LANE
BARDSTOWN, KY 40004

FOUNDATION PLAN

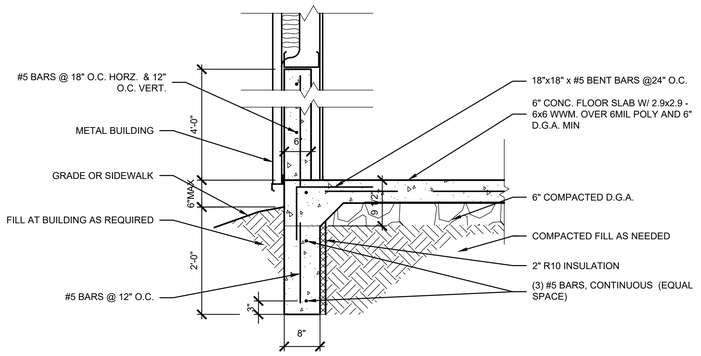
F1.01

PROJECT: BLOOMFIELD FARMS BUILDING ADDITION - FILE: F1.01 Foundation Plan.dwg - DATE: Nov 17, 2020 10:58AM - BY:DEBBY BIRD



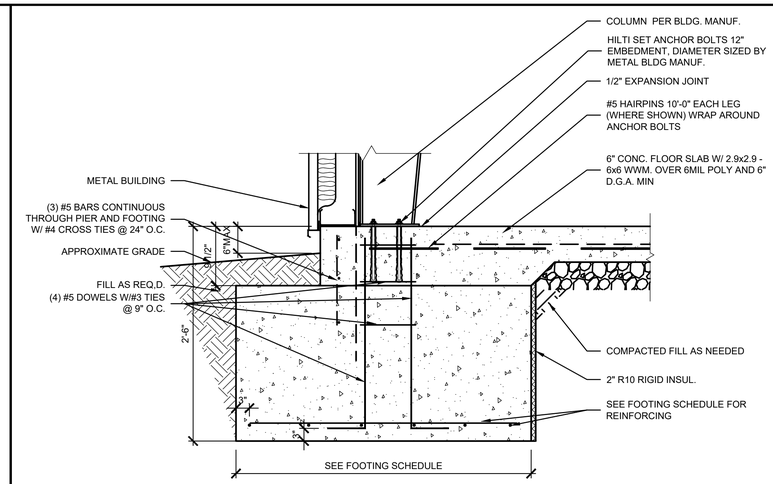
01 FOUNDATION THRU DOOR

SCALE: 3/4" = 1'-0"



02 GRADE BEAM DETAIL

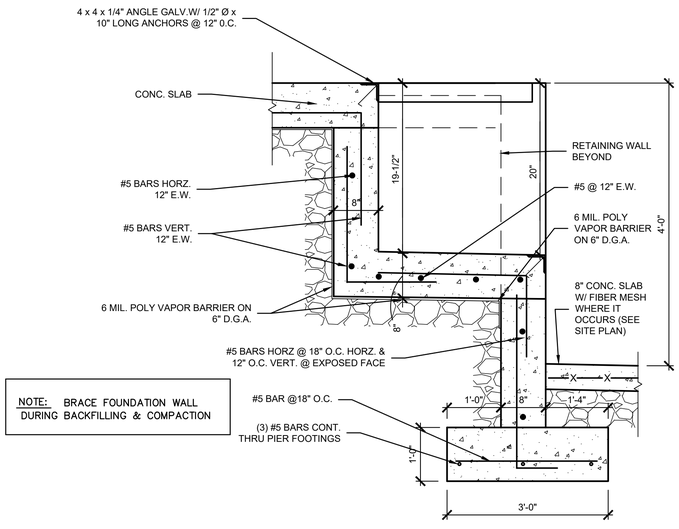
SCALE: 3/4" = 1'-0"



03 COLUMN FOUNDATION DETAIL

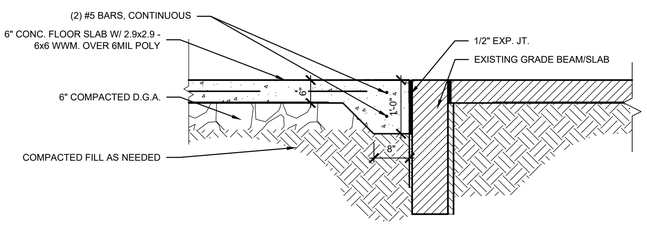
SCALE: 3/4" = 1'-0"

PROJECT NO: 20-4073
DRAWN BY: NM/DB/
DATE: 11-17-2020



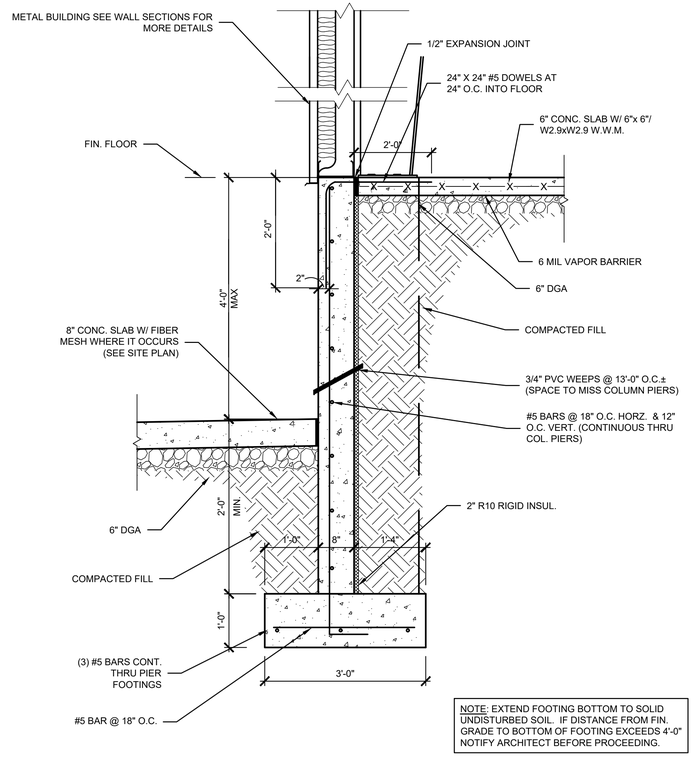
04 FOUNDATION AT DOCK LEVELER

SCALE: 3/4" = 1'-0"



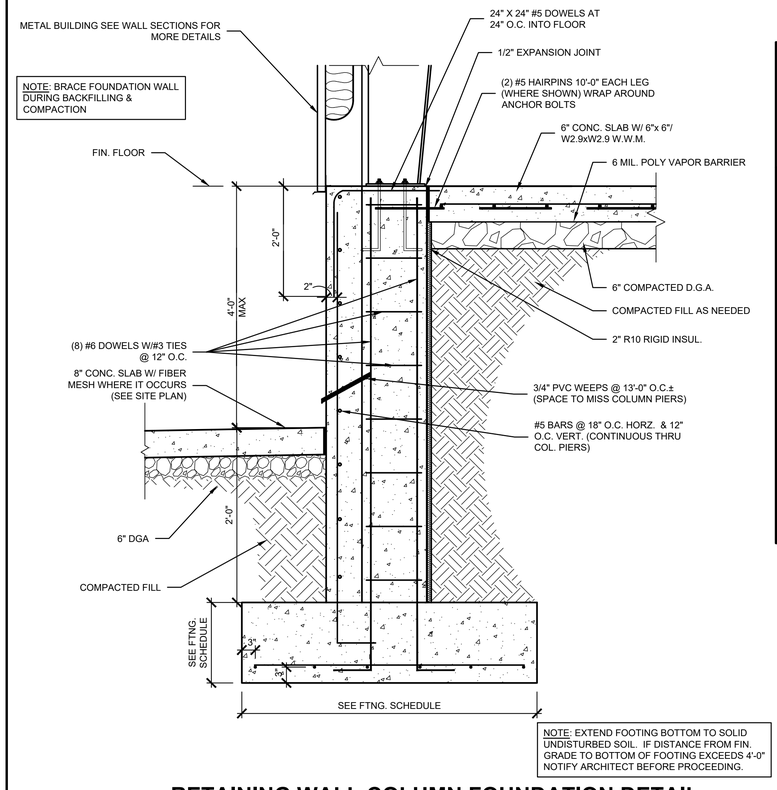
05 FOUNDATION AT EXISTING BUILDING

SCALE: 3/4" = 1'-0"



06 DOCK WALL FOUNDATION

SCALE: 3/4" = 1'-0"



07 RETAINING WALL COLUMN FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"

KEYES ARCHITECTS & ASSOCIATES
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BUILDING ADDITION:
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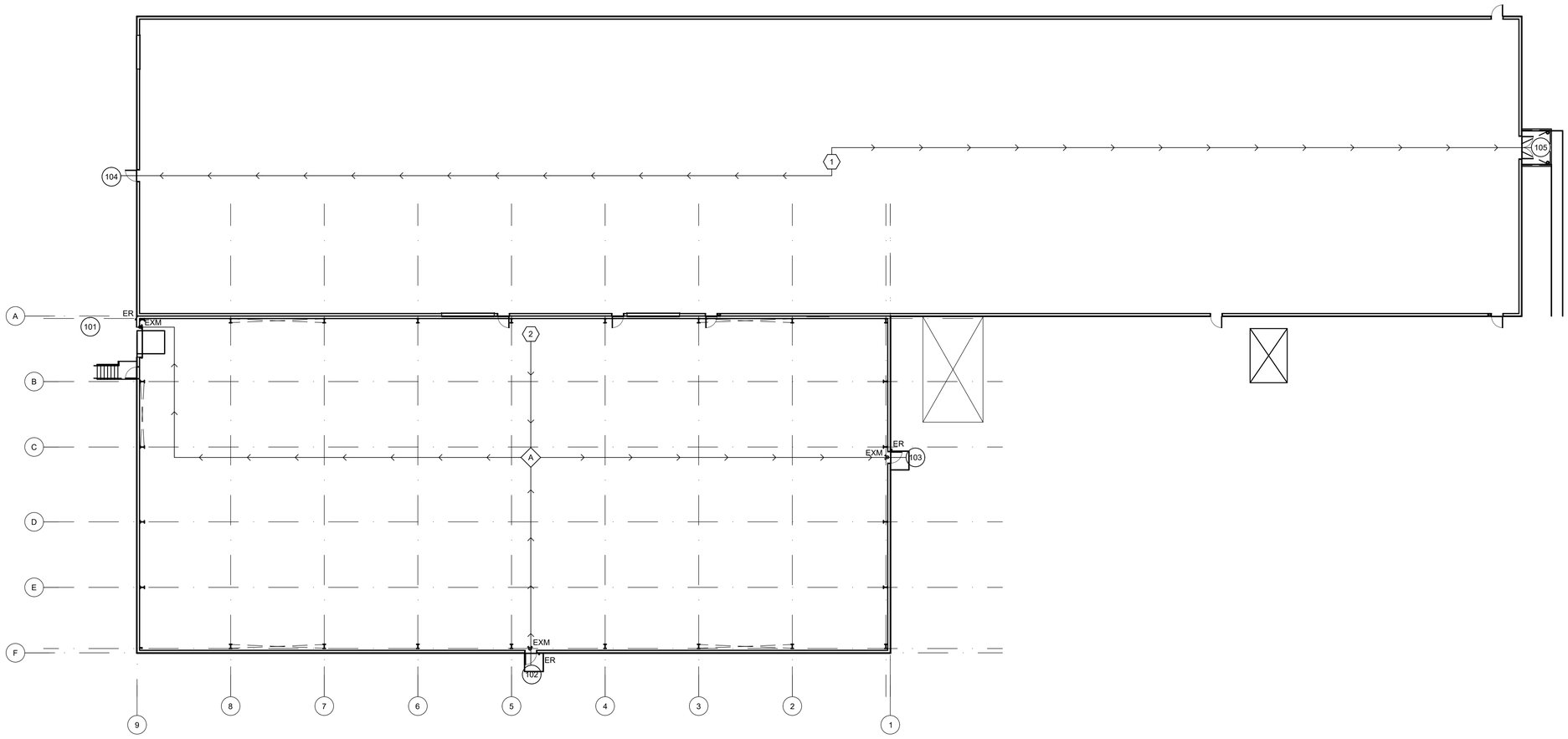
FOUNDATION DETAILS

F2.01



01 LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"

NORTH

CODE ANALYSIS

CATEGORY	CODE REFERENCE	REQUIREMENT/DESIGNATION	PROVIDED
CONSTRUCTION TYPE	TABLE 503 / 602		II-B
OCCUPANCY GROUPS	304.10000		F-1
OCCUPANCY LOAD	TABLE 1004.1.1	WAREHOUSE 500 S.F. PER OCCUPANT	EXISTING BUILDING 60 OCCUPANTS BUILDING ADDITION 37 OCCUPANTS 97 TOTAL OCCUPANTS
ALLOWABLE AREA	TABLE 503 SECTION 507	62,000 S.F.	47,685 S.F.
EXIT CALCULATIONS	SECTION 1014.3 SECTION 1016 TABLE 1016.2	COMMON PATH OF EGRESS TRAVEL GROUP EXIT ACCESS TRAVEL DISTANCE	250 FT 100 FT

EMERGENCY LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MODEL#	BULBS
ER	EMERGENCY REMOTE HEAD	LITHONIA #ELA-NX-H0606	INCLUDED
EM	EMERGENCY LIGHT W/ BATTERY PACK REMOTE HEAD WHERE SHOWN	LITHONIA #6ELM2P	INCLUDED
EXM	COMBINATION EXIT/EMERGENCY FIXTURE W/ BATTERY PACK	LITHONIA #LHQM-S-W-1-R-120/277-HO	INCLUDED

NOTE: EXIT EMERGENCY LIGHTING IS ON AN "NL" CIRCUIT

LIFE SAFETY PATHWAYS

			TOTAL TRAVEL DISTANCE				
			DOOR NUMBER				
LOCATION	COMMON PATH		EXIT 101	EXIT 102	EXIT 103	EXIT 104	EXIT 105
1	-	-	-	-	-	189'-0"	189'-0"
2	A	30'-0"	172'-10"	98'-0"	137'-0"	-	-

PATHWAY KEY PLAN:

→	: TRAVEL PATH W/ DIRECTION OF FLOW
(#)	: TRAVEL PATH STARTING LOCATION, WHERE "#" = LOCATION COLUMN IN THIS TABLE.
◇#	: COMMON PATH LOCATION, WHERE "#" = LOCATION COLUMN IN THIS TABLE.
#○	: EXIT DOOR LOCATION, WHERE "#" = DOOR IN THIS TABLE AND IN DOOR FINISH SCHEDULE.

PROJECT NO: 20-4073
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DATE: 11-17-2020

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BUILDING ADDITION:
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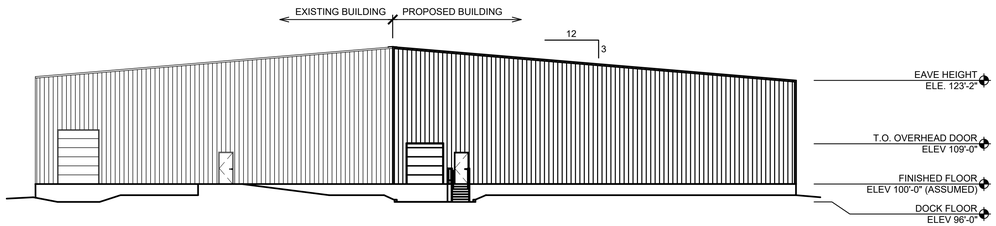
LIFE SAFETY PLAN

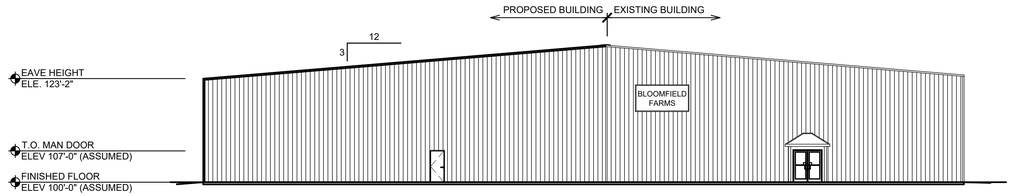
LS1.01

PROJECT: BLOOMFIELD FARMS BUILDING ADDITION - FILE: LS1.01 Life Safety Plan.dwg - DATE: Nov 17, 2020 10:59AM - BY: DEBBY BIRD



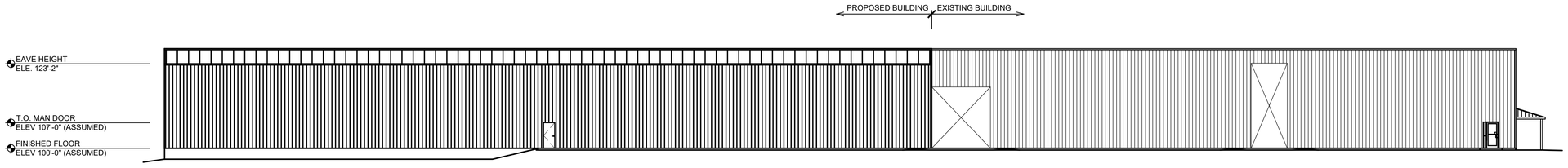
01 REAR ELEVATION

SCALE: 1/16" = 1'-0"



02 STREET FRONTAGE ELEVATION

SCALE: 1/16" = 1'-0"



03 SIDE ELEVATION

SCALE: 1/16" = 1'-0"

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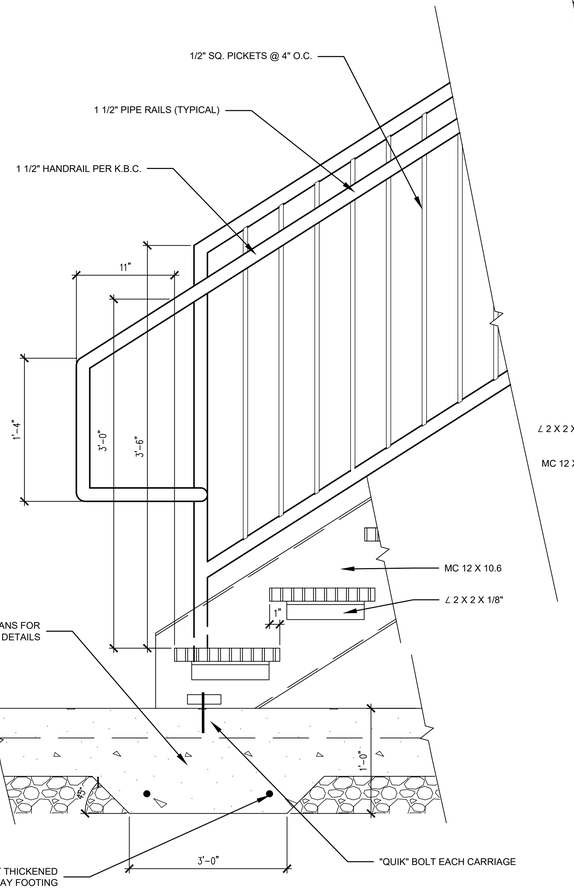
EXTERIOR ELEVATIONS

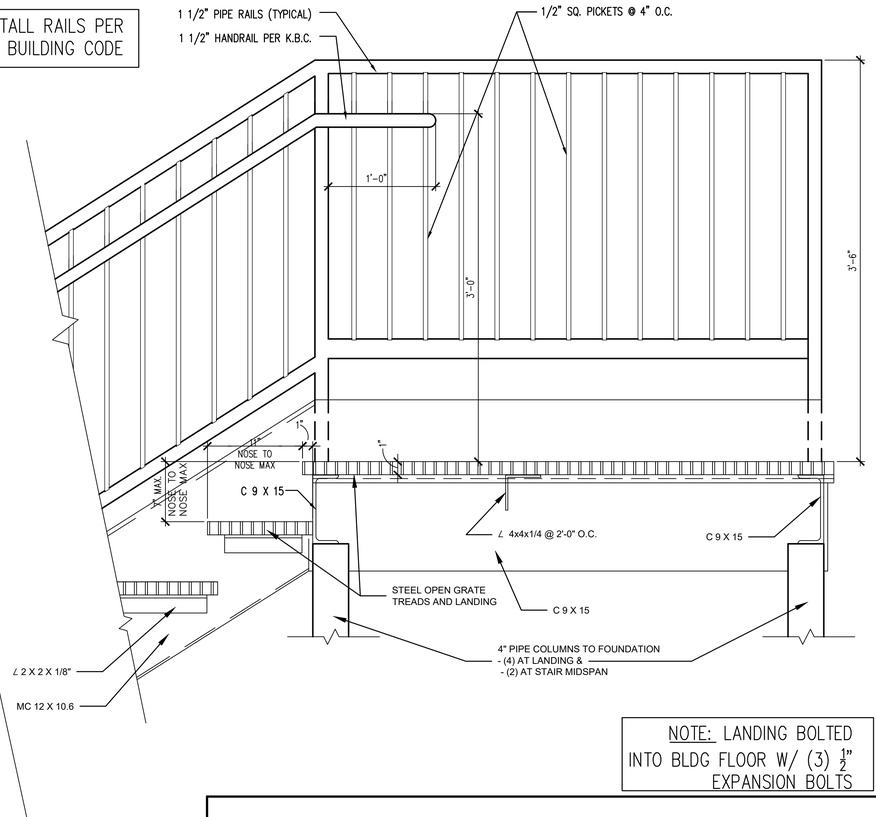
A2.01

PROJECT: BLOOMFIELD FARMS BUILDING ADDITION - FILE: A2.01 Exterior Elevations.dwg - DATE: Nov 17, 2020 10:59AM - BY:DEBBY BIRD

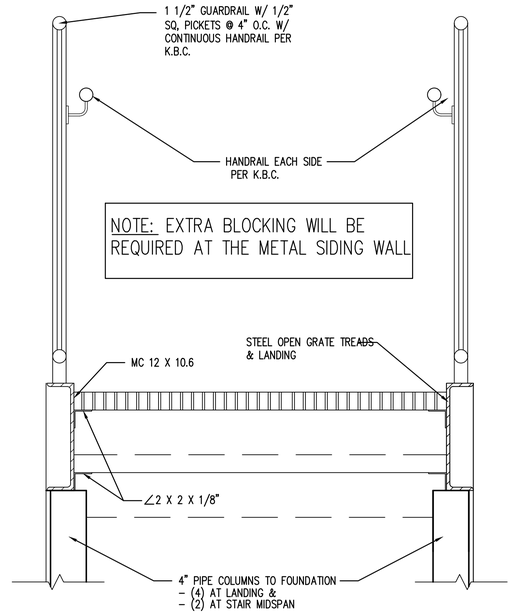
NOTE: INSTALL RAILS PER KENTUCKY BUILDING CODE



01 STAIR SECTION
SCALE: 1-1/2" = 1'-0"

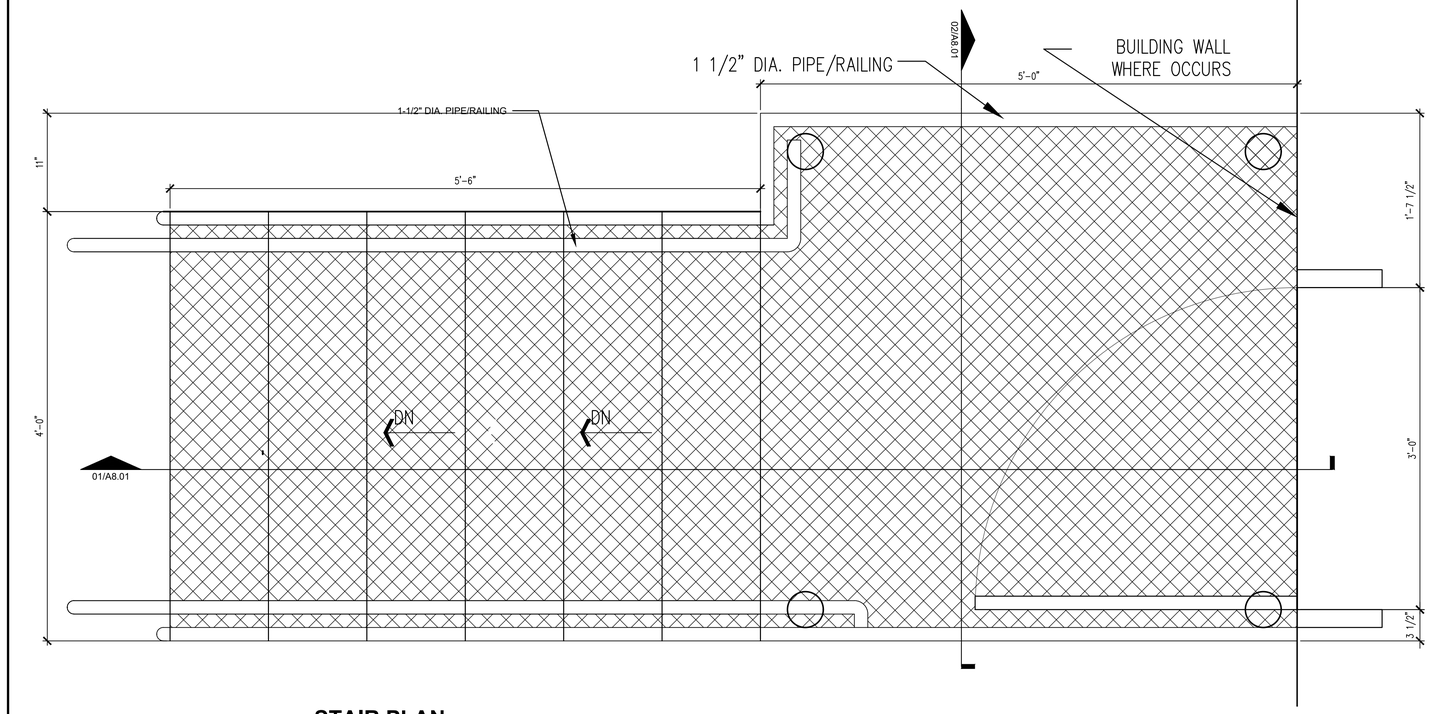


NOTE: LANDING BOLTED INTO BLDG FLOOR W/ (3) ½" EXPANSION BOLTS



NOTE: EXTRA BLOCKING WILL BE REQUIRED AT THE METAL SIDING WALL

02 STAIR SECTION
SCALE: 1-1/2" = 1'-0"



03 STAIR PLAN
SCALE: 1-1/2" = 1'-0"

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CHARLES L. KEYES III REGISTERED ARCHITECT No. 3470 COMMONWEALTH OF KENTUCKY

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BARDSTOWN, KY 40004

STAIR DETAILS

A8.01

Bloomfield Farms Building Addtion

Project #: 20-4073

GENERAL NOTES AND SPECIFICATIONS

01000 GENERAL

A. These drawings and specifications are for general guidance, with the understanding that the Owner will negotiate directly with a contractor for proper execution of work to assure completeness and code compliance.

B. All contractors are to guarantee their work for a minimum of one year from date of acceptance and turnover of a completed project. Longer guarantees are required where specified elsewhere in these documents.

C. Contractor to verify the information contained in these plans in field (V.I.F.) and immediately notify the Architect of any discrepancies.

D. The Contractor shall carefully study and compare these contract documents and shall at once report and discovered items to the Owner and Architect any errors, inconsistency, or omissions that cannot be resolved by standard industry practices. Do not proceed with work until clarifications have been made by the Architect and notification has been given to proceed.

E. Keyes Architects & Associates has a set number of drawing sets that we have guaranteed the owner / client by contract. These documents are the owner's / client's to use as they see fit but it was intended for their use to create additional documents and for permitting purposes. In addition, Keyes will supply at no additional charge a PDF set of the supplied paper set of drawings to the owner / client. Any additional sets beyond the sets supplied will be considered extras and will be billed accordingly by Keyes Architects & Associates current rates table. It is the responsibility of the General Contractor to acquire this PDF set from the owner for the purposes of making additional sets and to pay for all needed construction sets.

F. Before bidding, General Contractor and all Subcontractors are responsible for obtaining all bid documents including but not limited to construction documents and specifications. Contractor is responsible for reviewing other trades work that directly affects their trade, to ensure that no conflict is present. Should a conflict arise as a result of design difference with other trades, subcontractor should use industry standard practices to bid and create a product to accomplish the design intent of the construction documents and include it as part of their bid. Then the General Contractor shall be notified of the intended changes in order that these changes can be discussed with the architect and coordinated with other trades that are affected.

G. Where drawings do not specifically show how work is to be executed, the subcontractor responsible for the work will be responsible for figuring out and bidding an acceptable industry standard method of completing the work.

H. Where plans and specifications conflict, specifications shall supersede plans. Where plans and details conflict, the more detailed (larger scaled) item will take precedence. If it is unclear as to the intent of the work due to the conflict, notify the Architect immediately before proceeding.

I. Contractors are not to scale the plans for missing or unclear information. Where plans are unclear, verify with architect before proceeding.

J. Contractor's bids are to be complete and to include all material, labor, and facilities required to complete the work shown on drawings and specified herein.

K. All Subcontractor questions concerning bidding, the drawings, or site visits shall be directed to the General Contractor.

L. All Subcontractors shall obtain any specific permits and code review for their trade. General Contractor will obtain overall construction permit.

M. The Owners may have other contractors, workers and suppliers engaged on this project. Verify exact limits of responsibility during bidding and coordinate with all work being conducted under other contracts.

N. Payment of Monthly Draws for work completed to date is based upon receipt of lien releases and site inspections. Items listed as complete on the draw but not completed to the owner's and architect's satisfaction, must be completed or removed from the draw before payment will be made. All outstanding invoices for this project from all subcontractors and suppliers will be paid and a lien release issued from the general contractor in charge before payment will be made.

O. Final Payment of all portions of this project is based upon receipt of lien releases, warranties and maintenance/operations manuals for all items.

P. For all sections in these documents where multiple colors, finishes, and/or material choices occur and where the owner can only make these choices after the contract has been awarded, this contract is to include the most restrictive and/or expensive of the choices given so the owner can make a choice at a later time without change orders. Should the owner make a choice that is less expensive than what were bid, then the owner is to be credited back the difference between what was specified and what was selected.

Q. Value engineered items and/or approved equals are to be submitted as part of the bid package for approval by the owner and architect. Due to limited bidding time, owner and architect cannot/will not review products during bidding for equality or equivalency to these documents. Owner and architect will approve these items as part of the bid review and may ask for proof of product equality, product specification and clarification, resubmittal of original items, or other requirements as a condition of acceptance of any and all bids. Items not listed on bid forms and submitted as part of bid package are assumed to be as specified in these documents and any item not meeting these documents can be asked to be replaced or a change order applied to the project in the amount of the difference of the original item specified at the owner's and architect's discretion.

02000 SITE-WORK/FOUNDATIONS

A. Perform all excavations, backfilling and grading, as well as paving, required to complete work shown. Contractors shall take this data and submit in their bid any changes necessary for completion of the project. Provide positive drainage throughout the site from the parking areas and away from the building.

B. Protect against damage to any lawns, shrubs, trees, roads, walks, signs, underground tanks, etc., and other work that is to remain in place.

C. Materials to be excavated are assumed to be earth or other materials that can be removed by power shovel or other normal excavating equipment, but not requiring the use of explosives or drills. If other conditions are encountered within the limits of the excavation, notify Architect immediately.

D. All building and column footings shall bear directly on undisturbed soil, unless specifically designed otherwise herein to bear on other subsurface.

E. Assumed bearing capacity as indicated by Owner is 2,000 lbs. s.f., unless otherwise note on the plans or by Geotechnical reporting. If this bearing capacity is not encountered at the depth shown on drawings, the site contractor shall notify the general contractor. The general contractor, architect, engineer, and other parties will then establish an additional volume of excavation.

F. Building slab areas, drives, walks and parking areas that require undercutting or fill are to be backfilled with lean clay or granular fill, uniformly compacted to at least 95% standard proctor (ASTM D698). Periodic field density testing to be performed during construction if required and paid for by the Owner.

G. General Contractor to include additional cost breakout in their initial bid for either the trench excavation or mass excavation of rock if it is determined to be necessary. Bids are to include all markup, overhead, disposal, and grading at lower areas of this site.

H. Furnish and install all site items as shown on the drawings or list herein.

I. Furnish and install sod within 3' of all concrete walks and building areas. Seed and straw all other disturbed earth areas.

J. Contractor to include all erosion control measures necessary. Erosion control measures are to follow those policies, standards and practices as set forth by the civil plan and/or all federal, state, and local requirements. The contractor will be responsible for maintaining all erosion control measures and maintaining all documentation as required. Any penalties occurred as a result of failure to maintain these controls shall be the responsibility of the contractor and the owner shall bare no responsibility for these penalties unless there is documented proof that these penalties were as a result of neglect from the owner or his representatives.

K. If a landscaping plan has not been provided as part of these documents and a cost determination cannot be made, an allowance of $10,000.00 is to be included in the bid to furnish and install landscaping as to be determined by the owner.

L. All existing excavated material that cannot be used as fill will be wasted on site in areas as directed by owner. The material will be spread, compacted, smoothed and disced. The excavated material will then be seed and straw as indicated above.

M. Foundation excavation

1. Follow OSHA and local requirements for determining the angle of repose. No angle of repose can be assumed when soil is under adverse moisture conditions. Use forms where concrete surfaces are shown vertical or steeper than the angle of repose.
2. Cut earth neatly for grade beams and footings, excavate by hand if necessary, to remove all loose material and disturbed earth.
3. Replace disturbed earth and over-excavated locations with fill concrete.
4. Keep excavations constantly shored and dewatered.
5. Pour footings only after excavations have been individually inspected and approved.
6. After inspection and approval, place concrete promptly before any change in excavation conditions occur.

N. Trenching and backfilling for drain pipes

1. Commence from low point so excavation and pipe can be kept drained at all times.
2. Width to be sufficient to make joints and compact backfill under pipe.
3. Final excavation to be done by hand so pipe rests continuously on solid earth except where backfilled with cement stabilized sand.
4. After placing pipe, immediately place some backfill to hold the pipe; compact sufficient backfill under the pipe to hold it securely against any possible movement: do not cover until inspected.

02741 ASPHALT PAVING

A. If paving details are not specified on the site plan, then new paved areas shall have a minimum 6" thick DGA with a minimum 2" layer of asphalt binder course and 1" layer of asphalt surface course rolled separately. All new paving heights to be adjusted as required in order to match the existing pavement height.

B. Existing paved areas to be repaved, shall have all damaged areas removed and then be reconstructed to match the above. Install minimum 1" thick topping over existing paved areas to remain.

C. All paving shall conform to State Highway specifications for material and installation.

D. If Paving is anticipated in winter, the surface coat may have to wait until spring. Cost of paving to be completed may be held by the owner (if necessary) until final completion.

03000 CONCRETE

A. Concrete to be dimensions shown on drawings and reinforced as detailed.

B. Concrete shall develop a minimum compressive strength of 4000 psi at 28 days.

C. Contractor to make (3) concrete cylinder samples for every 150 cubic yards (or fraction thereof) of concrete placed per day. Concrete cylinders are to follow the practices set forth in ASTM C31 for Standard Practice for Making and Curing Concrete Test Specimens in the Field and ASTM C172 for Standard Practices for Sampling Freshly Mixed Concrete. Samples are to be taken from the middle of a truck load and not the beginning or ending portions. All cylinders are to be labeled, dated and stored on site in the same environment as the concrete placed. Owner, architect or construction manager may call for testing of these samples at any time. Owner will pay for testing as needed.

D. Interior floor slabs are to receive smooth trowel finish.

E. Exterior concrete drives, walks and stoops are to be light broom finished in the direction of water flow, unless noted otherwise.

F. Concrete Curing and Sealing Compounds are to be surface applied solvent which cures, seals, hardens, and dustproofs.

1. Unfinished Exposed Interior Concrete Floors are to receive “Intraseal” by Comspec or approved equal. Verify existing conditions before starting work. Apply product per manufacturer's requirements and recommendations.
2. All other concrete slabs to receive “Cure 'N Seal” by Sakrete, “Seal Cure-25” by W. R. Meadows or approved equal. Verify existing conditions before starting work. Apply product per manufacturer's requirements and recommendations. Before starting work, verify that selected cure and seal product is compatible with the anticipated finished floor and sub finishes.

G. All concrete floors are to have a vapor retarder installed before the concrete is placed. Vapor retarder is to be as specified in the latest ASTM E 1745 and have the following properties: a minimum of 0.03 permeability, 5lb puncture resistance, and 45.0 lb./in tensile strength. Retarder to be installed per manufacturer's recommendations and specifications.

H. Materials and construction methods shall conform to the latest requirements of ACI 318-83.

I. All exposed 90-degree edges of vertical and horizontal corners of concrete shall have tooled edges, unless indicated otherwise.

J. Reinforcing steel shall be A615-83 Grade 60. Contractor may use Fibermesh equivalent reinforcing in 4" slabs on grade, but elevated slabs must have wire reinforcing as shown.

K. Welding of or to reinforcing bars without prior approval of engineer is prohibited except where specified on the drawings.

L. All reinforcing bars are to be supported in the form and spaced with wire bars supports meeting the requirements of the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition).

M. All detailing, fabrication and erection of reinforcing bars, unless otherwise noted, must follow the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition).

N. Concrete walks shall have molded expansion joint material as shown. Final joint layout to be approved by Owner.

O. Control joints (C.J.) shall be saw-cut a minimum of 1/4 of slab thickness and with a maximum spacing as shown on the drawings.

P. Isolation joints (I.J.) if required shall receive 1/2" thick expansion joint filler extending from bottom of slab to 1/2" below top of slab and the top 1/2" filled with Polyurethane joint sealant, unless otherwise noted.

Q. Construction joints (Const. J.), if required, shall be formed using "Key-Loc Joint System" manufactured by Form-A-Key.

R. All dimensions and grades shall be verified in the field (V.I.F.) by the contractor and any discrepancies or interferences shall be reported to the Architect before proceeding with affected work.

S. Where shown, all junctions of walls, piers and floors to have 1/2" wide expansion joints, filled with elastic expansion joint material.

T. Exposed piers and foundation walls to have rubbed finish. Any honeycombing that occurs that is less than 4" in diameter is to be filled and finished with a non-expanding grout. Contact the architect immediately for any honeycombing that is 4" or greater in diameter, for review of the concrete and resolution of the issue.

U. Concrete Contractor to place all exterior equipment pads unless otherwise directed during bidding. Coordinate final size, details and locations with the applicable sub−trades.

05000 METALS

A. Provide structural and miscellaneous metal items as shown on drawings, and as required to complete the project.

B. Furnish shop drawings to satisfy local code requirements, fabricate materials and install all metal work as needed. This shall include structural steel and miscellaneous steel items.

C. Take field measurements prior to fabrication. Subcontractor shall be responsible for the accuracy of all such measurements and the precise fitting and assembly of the finished products.

D. Use materials of size and thickness indicated or, if not indicated, as required to develop the maximum loads in the member. Weld corners and seams continuously, complying with AWS recommendations. Provide for anchorage of type shown, coordinated with supporting structure. Fabricate and space anchoring devices to provide adequate support for intended use.

E. Clean and Shop paint miscellaneous metal work, except members or portions of members to be embedded in concrete or masonry, surfaces and edges to be field welded unless otherwise indicated.

F. Furnish bent or otherwise custom fabricated, plates, anchors, hangers, dowels and other miscellaneous steel shapes as required.

G. Provide loose bearing and leveling plates for steel items bearing on masonry, concrete construction, or other portions of the structure as indicated.

H. Provide miscellaneous steel elements, framing and supports that are not a part of structural steel framework, as required to complete work.

I. Provide anchorage devices and fasteners where necessary for securing miscellaneous metal fabrications to in-place construction; including, threaded fasteners for concrete and masonry inserts, toggle bolts, through-bolts, lag bolts, wood screws and other connectors as required.

J. Provide A-325 bolts as shown on the plans or as required to develop the maximum capacity of the connection shown.

K. Perform cutting, drilling and fitting required for installation of miscellaneous metal fabrications.

L. Field Welding shall comply with AWS Code for procedures of manual shielded metal-arc welding, appearance and quality of welds made, and methods used in correcting welding work.

M. Set loose leveling and bearing plates on wedges, or other adjustable devices. After the bearing members have been positioned and plumbed, tighten anchor bolts. Do not remove wedges or shims, but if protruding, cut-off flush with the edge of the bearing plate before packing with grout. Use metallic non-shrink grout in concealed locations where not exposed to moisture; use non-metallic non-shrink grout in exposed locations, unless otherwise indicated. Pack grout solidly between bearing surfaces and plates to ensure that no voids remain.

N. Touch-Up Painting immediately after erection, clean field welds, bolted connections, and abraded areas of shop paint, and paint exposed areas with same material used for shop painting. Apply by brush or spray to provide a minimum dry film thickness of 2.0 mils.

O. Miscellaneous Items:

1. Steel Plates, Shapes and Bars: ASTM A-36
2. Cold formed Steel Tubing use ASTM A-500
3. Hot-rolled Steel Tubing use ASTM A- 501
4. Hot-rolled Structural Steel Sheet use ASTM A-570. Class 1 or grade required for design loading.
5. Cold-rolled Structural Steel Sheet use ASTM A-611. Class 1 or grade required for design loading.
6. Non-Shrink Metallic Grout to be pre-mixed, factory-packaged, non- staining, non-corrosive, non-gaseous grout complying with CE CRD-C588. Provide grout specifically recommended by manufacturer for interior and exterior applications.
7. Zinc-coated fasteners for exterior use or where built into exterior walls. Select fasteners for the type, grade and class required.

06410 WOOD CASEWORK

A. Furnish and install a complete system for cabinets and casework following the standards set forth by AWI and millwork best practices.

B. Cabinets to be oak finish MDF board with overlay doors, wire pulls and fully adjustable plywood shelves, by "Merillat" or approved equal.

C. Tops to be square edge, plastic laminate covered with 4" splash at all walls, scribe fit. Colors to be selected by owner from standard lines.

D. Provide elevations and shop drawings for review by owner.

07000 MOISTURE PROTECTION

A. Insulation:

1. Roll glass fiber insulation to be thickness and type shown on drawings for specific uses, to be "Fiberglass" or "Celotex".
2. Blown-In Fiberglass Insulation:
   a) Insulation to be thickness shown on drawings for the specified uses. Product to meet ASTM C764, Mineral Fiber Loose-Fill Thermal Insulation Type 1 or better standards. Product to be by CertainTeed, Owens Corning or Approved Equal.
   b) At all eave vents, vertically install a 2x6 insulation dam between all trusses, on top of the wall bearing plates.
   c) At all eave vents, install a 24” wide by 48” long rafter baffle, made of extruded polystyrene foam. Product to be by Owens Corning or approved equal.
3. Rigid below grade insulation at foundation and basement walls to be extruded, expanded polystyrene 2” thick (R-value: 5), unless otherwise noted on the plans.
4. Exterior concrete masonry units to receive "Core-fill 500" foamed in place system or approved equal.

B. Caulking:

1. Use Sherwin Williams 950A siliconized acrylic latex caulk, GE Silicone II or approved equal. Color to match surrounding area being caulked. Caulk all exterior joints and both sides of all door and window frames.
2. All Equipment, Mechanical, Plumbing and Electrical Contractors shall supply all flashings and curbs for roof or wall penetrations to the building erector. Building erector shall install and flash all building penetrations as part of their bid project.
3. Where called out on the drawings, fire caulk to meet all ASTM requirements for fire and smoke barrier. Product to be 3M Fire Barrier Sealant CP 25WB+ or approved equal.

07213 PRE-ENGINEERED METAL BUILDING SUSPENDED INSULATION

4. Simple Saver insulation hanging and moisture barrier system to be installed at the roof line, attached to the underside of the roof purlins.
5. Product to be Simple Saver by Thermal Design or approved equal.
6. Install product per manufacturer's instructions and recommendations.

08000 DOORS AND WINDOWS

A. Doors & frames to be as shown on drawings. Finish hardware to comply with building code.

B. Egress doors shall be able to be opened from inside without a key or special knowledge.

C. All exterior outward swinging hinged doors are to have Non-Removable Pin (NRP) hinges, unless otherwise specified on the drawings.

D. Hollow metal frames shall be standard profile, 16ga. shop primed. Three (3) anchors each side, one (1) at head. Use wrap around frames at Gypsum board partitions.

E. Hollow metal doors shall be flush, 18 GA., 1 3/4" thick, exterior doors to be insulated with rigid bd. insulation. Head of doors to be solid and flush. Doors to be shop primed.

F. Finish hardware shall be medium grade commercial products by Stanley, Schlage, Von Duprin, Yale or an approved equal. Finish to be selected by owner. U.L. rated and Handicapped accessible hardware as required. See door schedule.

08380 SECTIONAL OVERHEAD DOOR SYSTEM

A. Sectional overhead doors (upward acting) to be by Crawford, Overhead Door, or approved equal. Install door per manufacturer's instructions and recommendations.

B. Door to have an electronic operated with chain hoist backup.

C. Operator to be medium duty, commercial grade, 3/4 h.p motor, unless otherwise noted on the plans. See door schedule for final sizes.

D. Provide (1) wired 3-button (open, close and stop) controller station to be located by owner.

E. Panels to be insulated section, 2" compressed fiberglass blanket, 24 GA galvanized front and back panels. Use standard stiles and rails.

F. Tracks to be 2" galvanized steel with standard hardware.

G. Verify lift clearance before ordering.

H. Provide neoprene or vinyl weather stripping on entire perimeter.

I. Door to have electrically controlled photo eye that stops and reverses if senses an obstruction.

J. All doors and accessories not galvanized shall be factory primed. Interior and exterior door paint shall be selected later.

K. Glazing to as specified on construction documents, where listed and to conform to section 08800 Glazing.

09000 FINISHES

A. All finishes shall be as called for and specified on drawings.

B. Inspection of finished surfaces for blemishes and defect at the end of the project shall follow the generally accepted standard - PDCA (P1-09) Industry Standards for reviewing finished surfaces. “Viewing and inspection of finished surfaces shall be at a distance of thirty-nine (39) inches from the surface under finished lighting or natural lighting without the use of any optic magnifications or enhanced lighting. Any blemishes or defects detected at this range shall be removed or repaired and patched to match the surrounding.”

C. Gypsum Board:

1. All gypsum board to be 5/8" thick and installed per U.S. Gypsum association standards and best industry practices.
2. Use mold / moisture-resistant gypsum board ("Green" Board or equal) in all toilet rooms and within 4'-0" of all plumbing fixtures such as sinks, drinking fountains, washing machines or any other equipment not listed here in.
3. Where indicated on plans all fire rated assemblies are to use 5/8" Type 'X' gypsum board, installed per details and best industry practices.
4. Furnish and install metal or plastic corner bead at all outside corners and "J" mold at all exposed edges.
5. Control Joints: All walls are to follow the latest ASTM C840-08 and GA-216 as it pertains to control joint placement. Unless shown on the plans differently, all walls and ceilings greater than (30) linear feet in any direction are to have a control joint every 30'-0" O.C. All control joints are to receive a metal or plastic control joint strip, installed per manufacturer's recommendations.

D. Coating Schedule:

1. Surfaces not to be painted are floor coverings, items with factory applied final finish, concealed ducts, pipes and conduit, acoustical ceiling tiles, items with pre-finished surfaces, aluminum windows and door frames, and all items called not to be painted on plans.
2. Surfaces to be painted:

   Note: consult with Owner for final colors and finishes.

   a) Interior Metal:

   1st coat: Metal Primer
   2nd coat: Semi-Gloss Alkyd
   3rd coat: Semi-Gloss Alkyd

   b) Exterior Metal:

   1st coat: Metal Primer
   2nd coat: Semi-Gloss Alkyd Enamel
   3rd coat: Semi-Gloss Alkyd Enamel

   c) Asphalt Striping:

PROJECT: BLOOMFIELD FARMS BUILDING ADDITION - FILE: SP1.03 Specifications.dwg - DATE: Nov 17, 2020 11:04AM - BY: DEBBY BIRD

PROJECT NO: 20-4073
DRAWN BY: NM/DB/
DATE: 11-17-2020

CHARLES L. KEYES II REGISTERED ARCHITECT 3470 COMMONWEALTH OF KENTUCKY

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BUILDING ADDITION:
BLOOMFIELD FARMS BUILDING ADDITION
575 SPENCER-MATTINGLY LANE
BARDSTOWN, KY 40004

SPECIFICATIONS

SP1.01

Install 4" wide Bright White stripes at all shown parking spaces.
Install 4" wide Safety Yellow stripes at Handicapped parking and loading areas.
Directional arrows where shown, to be Safety Yellow.
All Striping and marking to be straight, perpendicular and uniform.

10000 SPECIALTIES

A. Fire extinguisher and cabinets to be by owner as required by code and by the fire inspector.

12000 FURNISHINGS

A. Owner to furnish and install all furnishings not required or listed herein.

13000 SPECIAL CONSTRUCTION: PRE-ENGINEERED BUILDING PACKAGE

A. Owner to furnish any special construction not required or listed herein.

B. Building package to be generally as shown on drawings to include primary and secondary steel framing

C. Walls to be painted ribbed siding unless otherwise note on plans.

D. Canopy roofs to be painted vertical rib standing unless otherwise noted on plans.

E. Main roofs to be galvanized standing seam roof with thermal blocks (unless otherwise noted on plans) over 6" (min.) of vinyl faced insulation, with related flashing, gutters, downspouts, soffits and overhangs.

F. Full design responsibility of package to be by manufacturer. Roof loads to be 20#/s.f. plus 5#/s.f. for equipment loads, plus dead load and additional collateral loads as designed by manufacturer. Manufacturer to provide additional reinforcing required for any snow build-up, framing at canopies and for all roof top units (verify weight with mechanical contractors). Wind load of 15#/s.f. on walls and UL 90 uplift on roof. Building manufacturer to comply with all requirements of the State Building Codes. This includes all bracing and connections required to transfer loads to foundations as shown, or required. (Note: Live Load Reductions are not allowed in steel weights).

G. All roof curbs to be min. 6" high, seamless welded up curb units. Profile of curbs to match the panel profiles and colors of the roof it occurs on, have a water diverter on the top side and be stitched into the roof system. Units to be manufacturer by "Custom Curb" or approved equal.

H. Weather tightness of pre-engineered building component systems to be responsibility of building manufacturer.

14000 CONVEYING EQUIPMENT - Not Used

SPECIAL NOTE:

A. Final detailed layout of Steel Structures, Plumbing, Mechanical, Fire Suppression and Electrical systems are by separate Engineers or installers, it is the responsibility of the owner and General Contractor to coordinate all work with affected other trades to assure completeness and code compliance.

B. It is the responsibility of the General Contractor and the Mechanical, Electrical, and Plumbing Contractors to ensure that all parts of their work is to be accessible as per Federal ADAAG Guidelines and all State / Local Guidelines. This includes but is not limited to Electrical Controls such as Thermostats or Lighting Controls, Light Switches, Outlet Plugs, Hand Dryers, and Faucet Controls. If there are concerns about how to determine reach ranges, equipment clearance or other accessibility items, contact the architect immediately before work begins for guidance.

15330 AUTOMATIC SUPPRESSION SYSTEM

A. Contractor to furnish and install a complete wet pipe sprinkler system per N.F.P.A. 13 and Factory Mutual requirements. System to be design to give full coverage as required by N.F.P.A. requirements for the specific use areas of this building.

B. Bid to be complete to provide all work required. Include dedicated fire suppression line to the street, new tap and P.I.V. or vault. Riser, compressor and alarm to be located as shown. Coordinate final locations, power, communications and service with all other trades.

C. Coordinate P.I.V. and Fire Department connection, location and pipe threads with local fire department. Sprinkler lines to be installed so as not to interfere with future crane, piping systems, mechanical systems and electrical systems or fixtures.

D. Provide shop drawings for approval before ordering materials. Design, stamped drawings and obtaining agency approvals of system to be responsibility of sprinkler subcontractor.

E. Extension of existing fire suppression system per N.F.P.A. 13. (Minimum Requirements). Coordinate with owner, field verify existing system for extension before beginning construction.

END OF SPECIFICATIONS

ABBREVIATIONS

These are abbreviations used on the plans and in these specifications. Not all items may be use and are for reference only.

ACT - Acoustical Ceiling Tile
AFF - Above Finished Floor
CJ - Control Joint
E.I.F.S. - Exterior Insulation and Finish System
FRP - Fiberglass Reinforced Panels
Gyp. Bd. - Gypsum Board
I.B.C. - International Building Code
MAX - Maximum
MIN - Minimum
NRP - Non-Removable Pin
O.C. - On Center
VCT - Vinyl Composite Tile
VET - Vinyl Enhanced Tile
V.I.F. - Verify In Field

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CHARLES L. KEYES III REGISTERED ARCHITECT 3470 COMMONWEALTH OF KENTUCKY

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BUILDING ADDITION:
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575 SPENCER-MATTINGLY LANE
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SPECIFICATIONS

SP1.02