

# 2021 NEW BUILDING SHELL

# HOPKINSVILLE RETAIL CENTER

3980 FT. CAMPBELL BOULEVARD  
HOPKINSVILLE, KY 42240



## DRAWING LIST

### GENERAL DRAWINGS

G101 LIFE SAFETY PLAN  
CODE INFORMATION

### CIVIL DRAWINGS

C1.0 COVER SHEET  
C2.0 DEMOLITION PLAN  
C3.0 SITE PLAN  
C4.0 GRADING PLAN  
C5.0 COMPOSITE DRAINAGE PLAN  
C6.0 SWPP PLAN  
C7.0 DETAILS  
C7.1 DETAILS

### STRUCTURAL DRAWINGS

S101 FOUNDATION PLAN  
FOUNDATION DETAILS

S201 FRAMING PLAN

### ARCHITECTURAL DRAWINGS

A101 ARCHITECTURAL FLOOR PLAN  
A102 SPATIAL FLOOR PLAN  
A201 DOOR AND FRAME SCHEDULE  
DOOR AND FRAME ELEVATIONS  
PARTITION WALL DETAILS  
LIGHT FIXTURE SCHEDULE  
A301 ROOF PLAN  
ROOF DETAILS  
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A402 EXTERIOR ELEVATIONS  
A500 WALL SECTION NOTES  
BUILDING SECTION  
A501 WALL SECTIONS  
A502 WALL SECTIONS  
A503 WALL SECTIONS  
A504 WALL SECTIONS



2021 NEW BUILDING SHELL | 3980 FT. CAMPBELL BOULEVARD  
HOPKINSVILLE RETAIL CENTER | HOPKINSVILLE, KY 42240



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**Code Rqmts for Occupancies:**

1. THE ENTIRE BUILDING IS BEING CONSIDERED AN 'A-2' OCCUPANCY BASED ON POTENTIAL TENANTS. (KBC-303.3)
2. FOR PURPOSES OF DETERMINING EXITS, EXIT TRAVEL, AND OCCUPANT LOADS, THE ENTIRE BUILDING IS BEING CALCULATED AS AN 'A-2' ASSEMBLY OCCUPANCY. (KBC-TABLE 1004.1.2, 1016, 1017, 1022, 1028)

**Code Rqmts for Construction Type:**

1. THE ENTIRE BUILDING IS CONSIDERED A 'II-B' CONSTRUCTION TYPE. (KBC-602.2, TABLE 601)

**Code Rqmts for Height and Area:**

1. THE BUILDING IS DESIGNED AS A SINGLE-OCCUPANCY, ONE-STORY BUILDING. ALLOWABLE AREA WILL BE DETERMINED IN ACCORDANCE WITH EQUATION 5-1. (KBC-506.2.1)
2. THE BUILDING HAS 100 PERCENT OF ITS PERIMETER ON A PUBLIC WAY OR OPEN SPACE HAVING WIDTH OF NOT LESS THAN 20 FEET. FRONTAGE INCREASE WILL BE DETERMINED IN ACCORDANCE WITH EQUATION 5-5. (KBC-506.3.1, 506.3.2, 506.3.3)
3. THE BUILDING IS DESIGNED WITH NON-SEPARATED OCCUPANCIES IN CASE ALL TENANTS BECOME ASSEMBLY OCCUPANCIES. HOWEVER, THE DEMISING WALLS BETWEEN TENANTS AND OCCUPANCIES ARE BEING PROVIDED AS 1 HOUR RATED FIRE BARRIERS FOR ANTICIPATED TENANT OCCUPANCIES. (KBC-TABLE 508.4, 508.4.4)

**Code Rqmts for Fire Sprinkler:**

1. A FIRE SPRINKLER SYSTEM IS REQUIRED FOR THIS 'A-2' OCCUPANCY. THE FIRE AREA WILL HAVE AN OCCUPANT LOAD OF 100 OR MORE. (KBC-903.2.1.2, ITEM 2)

**Code Rqmts for Fire Alarm:**

1. A MANUAL FIRE ALARM SYSTEM IS NOT REQUIRED FOR THIS 'A-2' OCCUPANCY. THE OCCUPANT LOAD DUE TO THE ASSEMBLY OCCUPANCY WILL NOT BE 300 OR MORE. (KBC-907.2.1)

**Code Rqmts for Means of Egress:**

1. EXIT ACCESS TRAVEL DISTANCE FOR THIS 'A-2' OCCUPANCY IS 250'. (KBC-TABLE 1017.2)

**Code Rqmts for Fire Ratings:**

1. BUILDING ELEMENTS. NO RATINGS REQUIRED. (KBC-TABLE 601, 704.1)
2. EXTERIOR WALLS. NO RATINGS REQUIRED. ALL FIRE SEPARATION DISTANCES EXCEED 30' MINIMUM. (KBC-TABLE 601, TABLE 602, 705.2.1)
3. EXTERIOR WALL OPENINGS. NO RATINGS OR PROTECTIONS REQUIRED. ALL FIRE SEPARATION DISTANCES EXCEED 30' MINIMUM. (KBC-TABLE 705.8, 705.8)
4. FIRE WALLS. NONE REQUIRED. NOT APPLICABLE. (KBC-706)
5. FIRE BARRIERS. TENANT DEMISING WALLS ARE 1 HOUR RATED OCCUPANCY SEPARATIONS. (KBC-707, TABLE 508.4)
6. FIRE PARTITIONS. NONE REQUIRED. NOT APPLICABLE. (KBC-708)
7. SMOKE BARRIERS. NONE REQUIRED. NOT APPLICABLE. (KBC-709)
8. SMOKE PARTITIONS. NONE REQUIRED. NOT APPLICABLE. (KBC-710)
9. FLOOR AND ROOF ASSEMBLIES. NONE REQUIRED. NOT APPLICABLE. (KBC-711)
10. VERTICAL OPENINGS. NONE REQUIRED. NOT APPLICABLE. (KBC-712)
11. SHAFT ENCLOSURES. NONE REQUIRED. NOT APPLICABLE. (KBC-713)
12. PENETRATIONS. NONE REQUIRED. NOT APPLICABLE. (KBC-714)
13. JOINT SYSTEMS. NONE REQUIRED. NOT APPLICABLE. (KBC-715.1)
14. OPENING PROTECTIVES. NONE REQUIRED. NOT APPLICABLE. (KBC-716)

**Plan Legend:**



**Code Summary:**

CODE INFORMATION:	A-2
BUILDING OCCUPANCY:	II-B
CONSTRUCTION TYPE:	FULLY SPRINKLERED
FIRE PROTECTION:	
HEIGHT (TABULAR):	7'-0" (KBC-TABLE 504.3)
HEIGHT (ACTUAL):	24'-0"
STORIES (TABULAR):	3 (KBC-TABLE 504.4)
STORIES (ACTUAL):	1
AREA (TABULAR):	38,000 SF (KBC-TABLE 506.2)
AREA (ALLOWABLE):	45,125 SF (SEE BELOW)
AREA (ACTUAL):	6,000 SF

**ALLOWABLE AREA CALCULATIONS:**

FRONTAGE INCREASE - EQUATION 5-5 (KBC-506.2):  
 $Ii = (F/P - 0.25) W/30$   
 $Ii = (320/320 - 0.25) 30/30$   
 $Ii = (0.75) 1$   
 $Ii = 0.75$

ALLOWABLE AREA - EQUATION 5-1 (KBC-506.2.1):  
 $Aa = At + (Ns \times Ii)$   
 $Aa = 38,000 + (9,500 \times 0.75)$   
 $Aa = 38,000 + (7,125)$   
 $Aa = 45,125 SF (ALLOWABLE BLDG AREA PER STORY)$

**Life Safety Plan General Notes:**

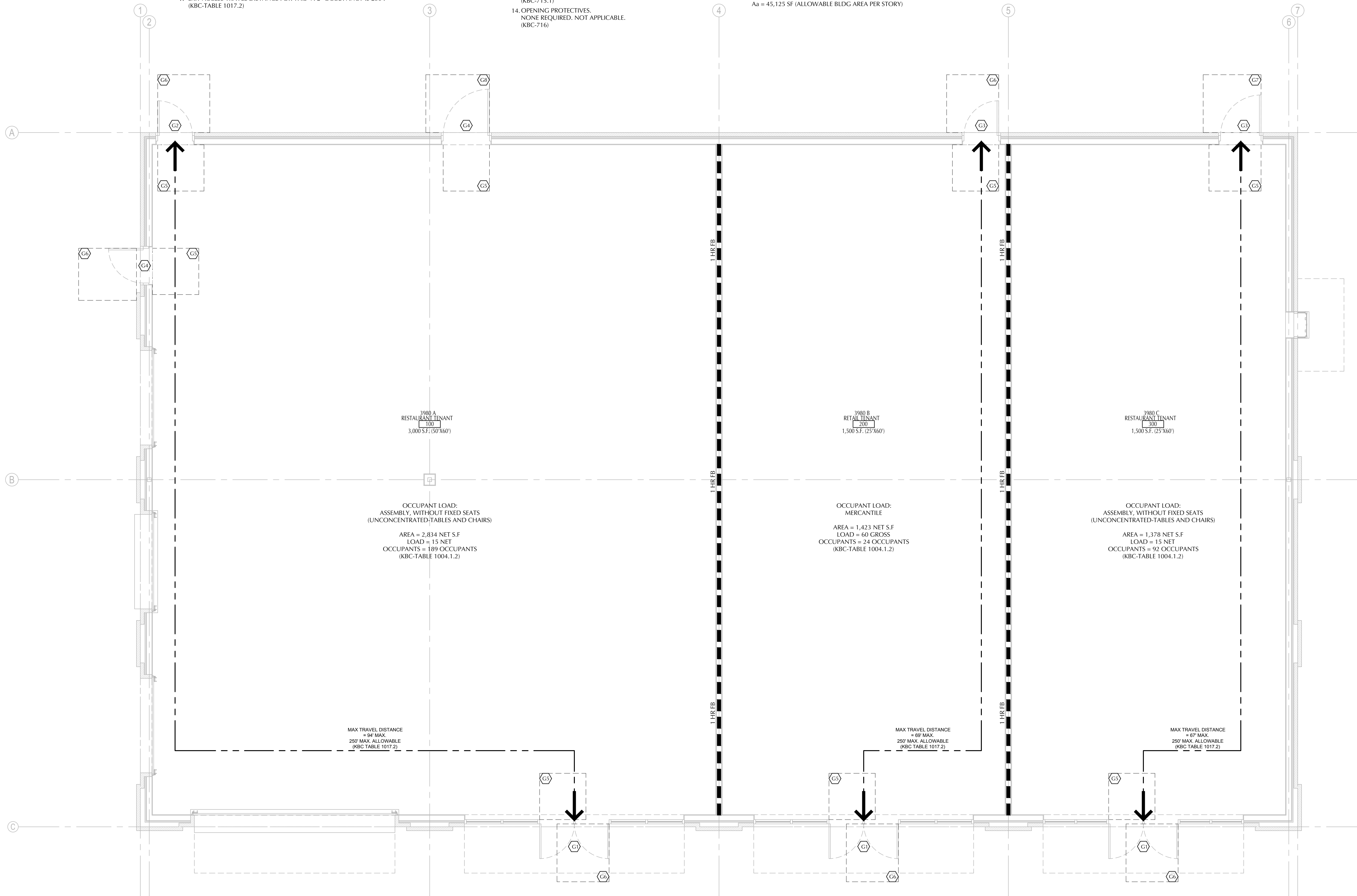
1. REFER TO PLANS, SECTIONS, DETAILS, AND OTHER DRAWINGS IN THE CONSTRUCTION DOCUMENT SET FOR OTHER INFORMATION IN REFERENCE TO CODE REQUIREMENTS.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE PROTECTION AT ALL FIRE RATED WALLS AND ASSEMBLIES THROUGHOUT THE PROJECT AND FOR ALL WORK REQUIRED FOR ALL TRADES AND ALL COMPONENTS, WHETHER OR NOT ITEMS ARE SPECIFICALLY INDICATED ON OTHER DRAWING SHEETS.

**Life Safety Plan Keynotes:**

- (C1) DOUBLE DOOR IS A REQUIRED MEANS OF EGRESS; DOOR ANTICIPATED TO REQUIRE PANIC HARDWARE; PANIC HARDWARE WILL BE PROVIDED IF AND WHERE REQUIRED; EGRESS REQUIREMENTS WILL BE VERIFIED WITH FINAL TENANT BUILDOUT
- (C2) SINGLE DOOR IS A REQUIRED MEANS OF EGRESS; DOOR ANTICIPATED TO REQUIRE PANIC HARDWARE; PANIC HARDWARE WILL BE PROVIDED IF AND WHERE REQUIRED; EGRESS REQUIREMENTS WILL BE VERIFIED WITH FINAL TENANT BUILDOUT
- (C3) SINGLE DOOR MAY BE A REQUIRED MEANS OF EGRESS; DOOR MAY REQUIRE PANIC HARDWARE DEPENDENT ON OCCUPANT LOAD; PANIC HARDWARE WILL BE PROVIDED IF AND WHERE REQUIRED; EGRESS REQUIREMENTS WILL BE VERIFIED WITH FINAL TENANT BUILDOUT
- (C4) SINGLE DOOR IS NOT A REQUIRED MEANS OF EGRESS; DOOR WILL NOT REQUIRE PANIC HARDWARE; EGRESS REQUIREMENTS WILL BE VERIFIED WITH FINAL TENANT BUILDOUT
- (C5) 48"W X 48"D CLEAR FLOOR SPACE MANEUVERING CLEARANCE REQUIRED AT PUSH SIDE OF DOORWAY
- (C6) 54"W X 60"D CLEAR FLOOR SPACE MANEUVERING CLEARANCE REQUIRED AT PULL SIDE OF DOORWAY
- (C7) 60"W X 60"D CLEAR FLOOR SPACE MANEUVERING CLEARANCE REQUIRED AT PULL SIDE OF DOORWAY
- (C8) 66"W X 60"D CLEAR FLOOR SPACE MANEUVERING CLEARANCE REQUIRED AT PULL SIDE OF DOORWAY

**APPLICABLE CODES: KENTUCKY - 2021**

- LIFE SAFETY**  
2018 KENTUCKY BUILDING CODE (KBC) (815 KAR 7:120) (MODEL CODE: 2015 INTERNATIONAL BUILDING CODE)
- 2012 INTERNATIONAL FIRE CODE (WHEN SPECIFICALLY REFERENCED BY THE KBC)
- ACCESSIBILITY**  
CHAPTER 11 - ACCESSIBILITY (2018 KENTUCKY BUILDING CODE)
- ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1, 2009 EDITION)
- PLUMBING**  
2013 KENTUCKY PLUMBING CODE (815 KAR CHAPTER 20)
- FUEL GAS**  
NATIONAL FUEL GAS CODE (MODEL CODE: 2009 NFPA 54)
- MECHANICAL**  
2012 INTERNATIONAL MECHANICAL CODE
- ELECTRICAL**  
NATIONAL ELECTRICAL CODE (MODEL CODE: 2014 NFPA 70)
- ENERGY**  
2012 INTERNATIONAL ENERGY CONSERVATION CODE



PROJECT NO: 21-03-01

DATE: 03/11/2021

DRAWN: J. LAKE

REVIEWED: J. LAKE

REVISION:

**DENTON FLOYD**  
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2021 NEW BUILDING SHELL  
**HOPKINSVILLE  
RETAIL CENTER**

3980 Ft. Campbell Boulevard - Hopkinsville, KY 42240

**G101**

# CONSTRUCTION PLANS

for

# RESTAURANT / RETAIL

## 3980 FORT CAMPBELL BOULEVARD

## HOPKINSVILLE, KY 42240

### GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIAL, EQUIPMENT, TOOLS, AND SERVICES REQUIRED TO COMPLETE CONSTRUCTION AND MATERIAL TESTING FOR THE WORK. ALL WORK SHALL BE PERFORMED IN A SAFE AND REASONABLE WORKING MANNER IN ACCORDANCE WITH THE BEST PRACTICES AND PROCEDURES.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL ORDINANCES, REGULATIONS AND REQUIREMENTS NECESSARY TO COMPLETE THE WORK; THIS INCLUDES PROVISIONS FOR MAINTENANCE OF TRAFFIC, CONSTRUCTION AND THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

### PAVEMENTS

1. ASPHALT CONCRETE SURFACE SHALL BE CLASS 1 TYPE A, COMPACTED DEPTH AS SHOWN.
2. ASPHALT CONCRETE BINDER SHALL BE CLASS 1 COMPACTED DEPTH AS SHOWN.
3. STONE BASE AND SUBBASE SHALL BE PLACED AND COMPACTED IN SEPARATE COURSES.
4. TACK COAT SHALL BE APPLIED AT THE RATE OF 0.1 GALLONS PER SQ. YD. WITH INSTALLATION OF SURFACE ASPHALT. WHEN THE FINAL SURFACE ASPHALT INSTALLATION OCCURS AT A DIFFERENT TIME THAN THAT OF THE ASPHALT BASE COURSE, AND ASPHALTIC TACK COAT SHALL BE APPLIED AT THE SAME RATE OF 0.1 GALLONS PER SQ. YD. THE ASPHALTIC TACK COAT SHALL BE APPLIED UNIFORMLY AND OUT TO THE EDGES OF THE BASE COURSE TO INSURE PROPER ADHESION OF SURFACES.

### SIDEWALKS, CURBS, DRAINAGE

1. ALL CONCRETE TO BE A MINIMUM OF 3,500 PSI UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT BETWEEN THE CURB AND GRATE ON ALL CURB INLETS.
3. CONSTRUCT 1/2" EXPANSION JOINTS AT ALL BREAKS IN ALIGNMENT, AT ALL DRAINAGE BOXES AND OTHER FIXED OBJECTS, AT THE BEGINNING AND ENDING POINTS OF CURVES AND AT THE BEGINNING, QUARTER, MIDDLE AND ENDING POINTS OF SEMICIRCULAR CURVES.
4. ON LONG STRAIGHT, LINEAR RUNS OF CURBING, CONSTRUCT EXPANSION JOINTS A MAXIMUM OF EVERY 30' ON CENTER AND CONTROL/SCORE JOINTS EVERY 10' ON CENTER.
5. EXPANSION JOINTS WILL NOT BE REQUIRED AT THE QUARTER POINTS FOR SEMI CIRCLES HAVING RADI OF 5' OR LESS.
6. A MINIMUM OF (12) INCH DEPTH OF COVER OVER ALL CULVERT PIPES IS REQUIRED. A MINIMUM OF SIX (6) INCH ENCLOSED CLASS A CONCRETE ENCASMENT WITH A MINIMUM PROTECTION INTO THE PAVEMENT STRUCTURE FOR ANY PIPE WITH REDUCED COVER IS REQUIRED.
7. ALL PIPE BACKFILL MUST MEET AASHTO H=20 LOADING REQUIREMENTS.

### SIGNING & PAVEMENT MARKINGS

1. ALL SIGNS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, CURRENT EDITION.
2. ALL SIGNS SHALL BE RETRO REFLECTIVE INCLUDING MESSAGE, BORDER, AND BACKGROUND.
3. STREET SIGNS SHALL HAVE A WHITE LEGEND ON A GREEN BACKGROUND.
4. REFER TO SECTION 2A-14 LETTERING AND DIMENSIONS "STANDARD HIGHWAY SIGNS-"BOOK"; "STANDARD ALPHABET FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS".
5. ALL ARROWS, TRACKING AND STOP BARS SHALL BE THERMOPLASTIC, NOT PAINTED.
6. SIGNS SHALL BE PER THE JEFFERSONVILLE DEVELOPMENT CODE REQUIREMENTS AND SUBMITTED TO STAFF FOR APPROVAL.

### MISCELLANEOUS

1. ALL EMBANKMENT BACKFILL AND SUBGRADE MATERIALS SHALL BE CONSTRUCTED AND COMPACTED TO 95% OF MAXIMUM DENSITY AND PLUS 2 OR MINUS 4 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
2. THE DEVELOPER WILL UTILIZE A REGISTERED GEOTECHNICAL ENGINEER TO TEST, VERIFY AND REPORT TO PROVIDE SATISFACTORY ASSURANCE OF EMBANKMENT AND PAVEMENT STABILITY. ALL EMBANKMENT SECTIONS IN EXCESS OF FOUR (4) FOOT DEPTH SHOULD BE TESTED AT ONE (1) FOOT LAYERS. CONTRACTOR SHALL UTILIZE A REGISTERED GEOTECHNICAL ENGINEER TO TEST, VERIFY AND REPORT ALL EMBANKMENT IN EXCESS OF FOUR (4) FOOT DEPTH.
3. ANY UNSUITABLE SOILS AND OTHER MATERIALS ENCOUNTERED DURING CONSTRUCTION OF THE ROADWAY SECTION WILL BE REMOVED TO THE DEPTH AND WIDTH SPECIFIED BY THE GEOTECHNICAL ENGINEER. THE EXCAVATION WILL BE BACKFILLED WITH SELECTED MATERIALS AND COMPACTED IN ACCORDANCE WITH EMBANKMENT SPECIFICATIONS.
4. CONTRACTOR SHALL NOTIFY OWNER/DEVELOPER BEFORE CONSTRUCTION BEGINS SO THAT OWNER MAY ENGAGE A GEOTECHNICAL ENGINEER FOR COMPACTION TESTING.
5. ACTIONS SHALL BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY. ANY WORK PERFORMED BY A PUBLIC AGENCY TO CORRECT THE CONDITIONS WILL BE CHARGED TO THE DEVELOPER.
6. THE CONTRACTOR WILL PREGRADE THE ENTIRE ROADWAY SECTION WITHIN THE RIGHT-OF-WAY LIMITS, INCLUDING THE ROADWAY SLOPES, DRAINAGE DITCHES AND ROADWAY CROSS-SECTION AS SHOWN ON THE TYPICAL ROADWAY SECTION PRIOR TO PLACEMENT OF THE ROCK BASE COURSE.
7. ALL FIRE HYDRANTS WILL BE INSTALLED IN ACCORDANCE WITH THE CURRENT ORDINANCES.
8. IF ANY UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION, EXTREME CAUTION SHOULD BE EXERCISED AND THE UTILITY COMPANY NOTIFIED IMMEDIATELY. ANY DAMAGES SHALL BE REPAIRED IMMEDIATELY AT THE DIRECTION OF THE UTILITY COMPANY INCLUDING TEMPORARY AND PERMANENT WORK AT NO ADDITIONAL EXPENSE TO OWNER/DEVELOPER.
9. ALL EXISTING TRAFFIC, WARNING, AND REGULATORY SIGNING WILL BE LOCATED, MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES, AND IMMEDIATELY REPLACED AFTER CONSTRUCTION IS COMPLETED BY THE CONTRACTOR.
10. LANDSCAPING SHALL BE SELECTED AND PLACED IN SUCH A MANNER AS TO INSURE ADEQUATE AND SAFE "SIGHT DISTANCE" FOR MOTORIST USING THE ROADS TO BE CONSTRUCTED WITHIN THIS SUBDIVISION.
11. A LANDSCAPING PLAN SHOWING THE TYPE AND LOCATION OF ALL PLANTINGS WITHIN THE ROAD RIGHT-OF-WAY SHALL BE PREPARED AND SUBMITTED FOR APPROVAL. THE ULTIMATE (OR MATURE) HEIGHT AND SPREAD OF THE VARIOUS TYPE OF PLANTINGS SHALL BE SPECIFIED ON THE PLAN.

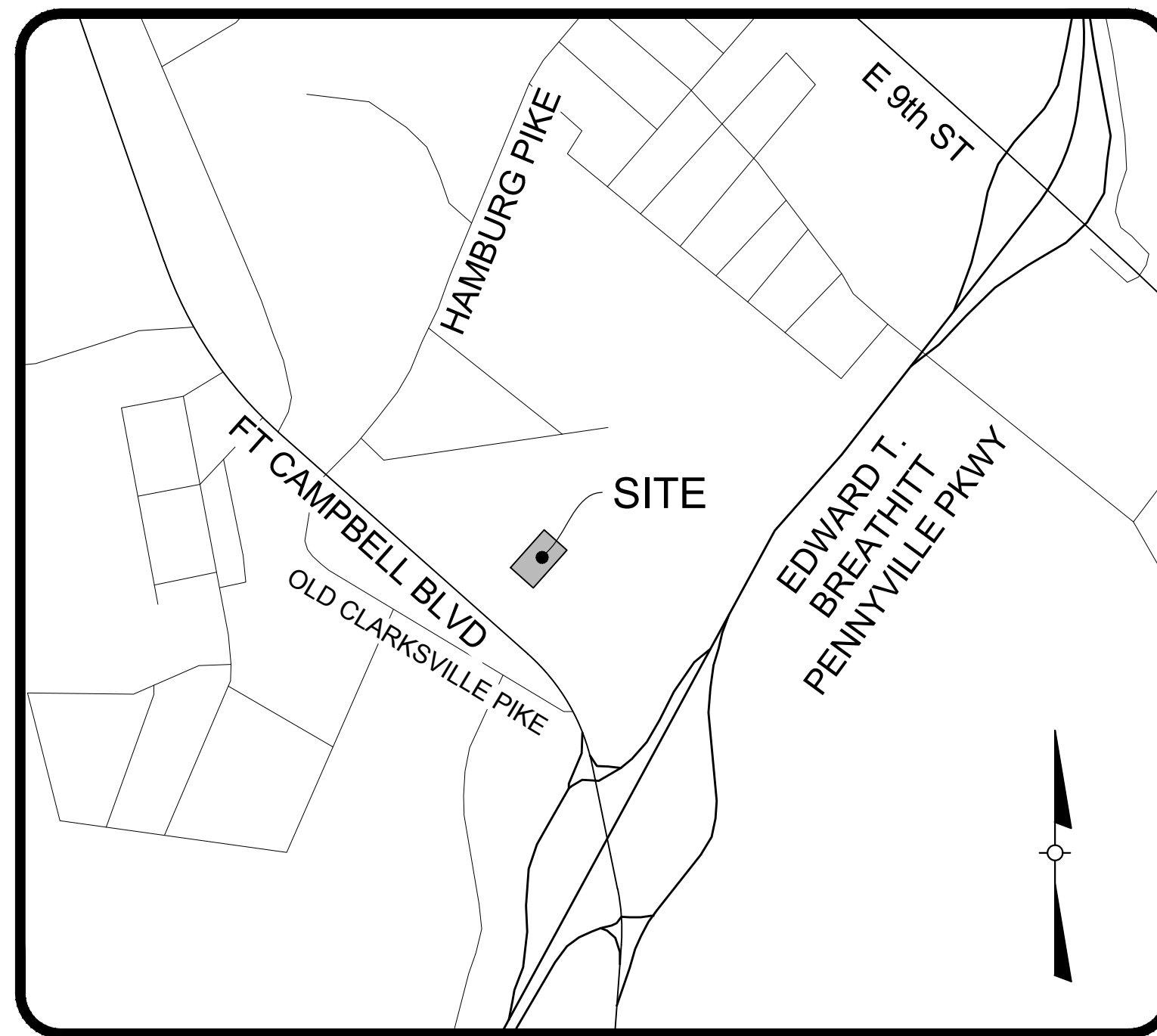
### UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) TWO (2) WORKING DAYS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

### TEMPORARY BENCHMARK DESCRIPTIONS:

TBM #1  
MAGNIPOLE  
ELEVATION = 543.52

Revision	Date	Description	Chk'd By	Approved By
1	3/26/21	AGENCY REVIEW	SK	DD



LOCATION MAP  
NOT TO SCALE

### UTILITY CONTACTS:

**WATER:** HOPKINSVILLE WATER ENVIRONMENT AUTHORITY  
CONTACT: S. KING (270) 887-4234

**ELECTRIC:** HOPKINSVILLE ELECTRIC COMPANY  
CONTACT: DUSTIN LOVE (270) 887-4207

**TELEPHONE:** AT&T  
CONTACT: CONNOR LUDWIG (317) 224-4189

**GAS:** ATMOS ENERGY  
CONTACT: RYAN TOLBERT (270) 625-3490

**STORM:** HOPKINSVILLE WATER ENVIRONMENT AUTHORITY  
CONTACT: S. KING (270) 887-4234

**SANITARY:** HOPKINSVILLE WATER ENVIRONMENT AUTHORITY  
CONTACT: S. KING (270) 887-4234

### IMPERVIOUS AREAS

EXISTING	39,046 S.F.
PROPOSED	48,739 S.F.
CHANGE	+ 9,693 S.F.

### AREA OF DISTURBANCE

1.67 ACRES

Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	COMPOSITE DRAINAGE PLAN
C6.0	SWPP PLAN
C7.0	DETAIL SHEET
C7.1	DETAIL SHEET

ENGINEER:

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DENTON FLOYD  
REAL ESTATE GROUP  
1024 S. 3RD STREET  
LOUISVILLE, KY 40203

PROJECT:

CONSTRUCTION PLANS  
FOR  
RESTAURANT / RETAIL  
3980 FORT CAMPBELL BOULEVARD  
HOPKINSVILLE, KY 42240  
COVER SHEET

29-MAR-21

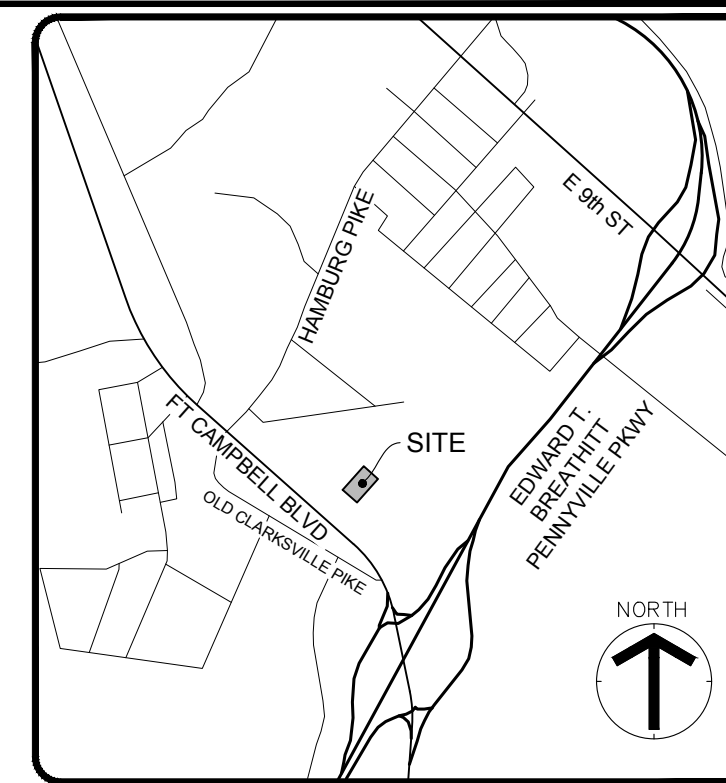
JOB NO:	20064
HORIZ. SCALE:	N/A
VERTICAL SCALE:	N/A
DESIGNED BY:	DD
DETAILED BY:	SK
CHECKED BY:	CD
DATE:	MARCH 2021

SHEET

# C1.0

of 8

X:\AA-Projects-2020\20064 - Denton Floyd - Hopkinsville Retail\Construction\20064 - DEMO.dwg PLOT DATE: March 29, 2021 - 8:48am

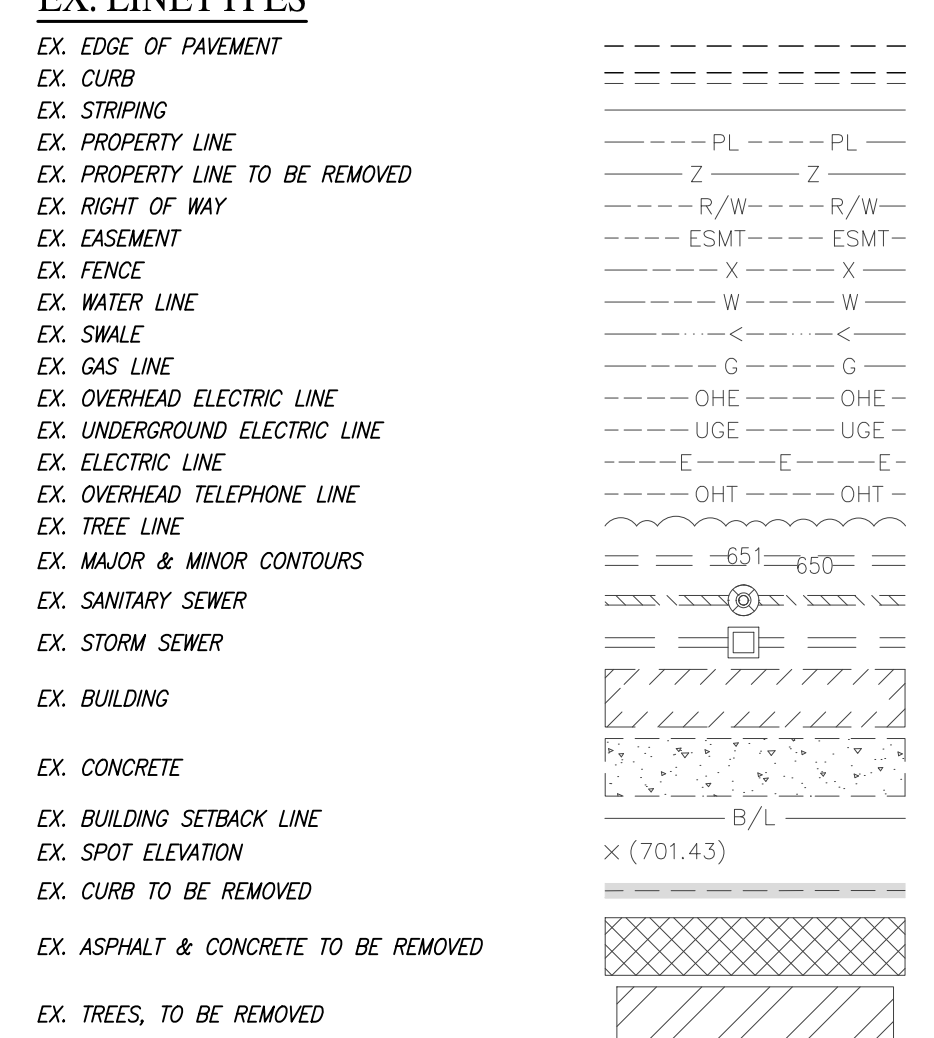


**LOCATION MAP**  
NOT TO SCALE

**EX. BLOCKS**

- EX. FIRE HYDRANT
- EX. SANITARY SEWER
- EX. TELEPHONE PEDESTAL
- EX. LIGHT POLE
- EX. POWER POLE
- EX. GUYWIRE
- EX. SIGN
- EX. TREE

**EX. LINETYPES**



**DEMOLITION NOTES:**

- 1) THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- 2) ABANDON AND FILL WITH GROUT, REMOVE AND REPLACE WITH CONTROLLED FILL, OR RELOCATE EX. UTILITIES WHICH WILL INTERFERE WITH THE NEW CONSTRUCTION. COORDINATE WITH UTILITY COMPANIES.
- 3) REMOVE ALL OTHER OBSTRUCTIONS AS REQUIRED WITHIN THE DEVELOPED AREA.
- 4) COMPLETELY REMOVE ANY EXISTING UNDERGROUND CISTERNS, VAULTS, TANKS, ETC. BACKFILL VOIDS WITH COMPACTED GRANULAR BACKFILL PER THE GEOTECHNICAL REPORT.
- 5) THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
- 6) NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS SHOWN ON PLAN AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS TO PROVIDE THE NECESSARY PROTECTION, IN ACCORDANCE WITH THE SPECIFICATIONS FOR TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMITS OF GRADING OR WITHIN THE DRIPLINES OF TREES TO REMAIN.
- 7) SHOULD THE DRIPLINE OF A TREE FALL WITHIN THE LIMITS OF CONSTRUCTION BUT STILL BE PROPOSED TO REMAIN; IT SHALL BE CONSIDERED PRESERVED BUT NOT SAVED. EVERY EFFORT TO PRESERVE THE TREE SHOULD BE MADE.
- 8) CONSTRUCTION FENCING SHALL BE ERRECTED AT THE EDGE OF THE AREA OF DEVELOPMENT PRIOR TO ANY GRADING OR CONSTRUCTION TO PROTECT THE EXISTING TREE STANDS AND THEIR ROOT SYSTEMS FROM COMPACTION. THE FENCING SHALL ENCLOSE THE ENTIRE AREA BENEATH THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIAL STORAGE, OR CONSTRUCTION ACTIVITIES ARE PERMITTED WITHIN THE PROTECTED AREA.
- 9) CARE MUST BE TAKEN TO REMOVE THE ENTIRE ROOTBALL OF TREES TO BE REMOVED. THE RESULTING EXCAVATION MUST BE BACKFILLED WITH PROPERLY PLACED AND COMPACTED FILL TO AVOID LOCALIZED SOFT SPOTS THAT CAN COMPROMISE THE PERFORMANCE OF THE PROPOSED CONSTRUCTION.
- 10) IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERFORM ALL ENVIRONMENTAL SITE ASSESSMENTS AND PROPERLY REMOVE AND DISPOSE OF ANY HAZARDOUS MATERIALS ENCOUNTERED WITHIN EXISTING STRUCTURES. THESE MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, ASBESTOS. ALL FEDERAL, STATE AND LOCAL ABATEMENT REGULATIONS SHALL BE FOLLOWED.
- 11) ALL EPSC MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION OF ANY KIND. SEE SWPP PLAN. A COPY OF THE SWPP PLAN SHALL BE ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 12) SHOULD THE CONTRACTOR DAMAGE EXISTING CONDITIONS OUTSIDE OF THE LIMITS OF DISTURBANCE BOUNDARIES THE COST FOR ALL REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
- 13) MATERIALS TO BE STRIPPED: VEGETATION, LARGE ROOT ZONES, ORGANIC MATERIAL, AND EXCESSIVELY WE, DESICCATED, FROZEN CONTAMINATED OR OTHERWISE UNSUITABLE SOILS. REFER TO THE GEOTECHNICAL REPORT BY GEM ENGINEERING FOR RECOMMENDATIONS RELATED TO EXISTING FILL.

**ABBREVIATIONS**

PROPOSED	PR.
EXISTING	EX.
DO NOT DISTURB	DND
TO BE REMOVED	TBR
FINISHED FLOOR ELEVATION	F.F.E.
TOP OF GRATE	TG
TOP OF LID	T/L
INVERT ELEVATION	I.E.
PROPERTY SERVICE CONNECTION	PSC
MANHOLE	MH
STORM MANHOLE	STRMH
SANITARY MANHOLE	SHMH
JUNCTION BOX	JB
CATCH BASIN	CB
TEMPORARY BENCHMARK	TBM
RIGHT OF WAY	R/W
PROPERTY LINE	PL
BUILDING	BLDG.
LANDSCAPE BUFFER AREA	L.B.A.
PROPOSED PARKING COUNTS	# SPACES
EXISTING PARKING COUNTS	# Ex. Spaces
TOP OF CURB	TOC
BASE OF CURB	BOC

**TEMPORARY BENCHMARK DESCRIPTIONS:**

TBM #1  
MAGNIPOLE  
ELEVATION = 543.52

**UTILITY NOTE:**  
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Revision	Date	Description	Detaild By	Chk'd By	Approved By
1	3/26/21	AGENCY REVIEW	SK	DD	DD



**HERITAGE ENGINEERING, LLC**

ENGINEER:

603 North Shore Drive  
Jeffersville, IN 47130  
(812) 280-8201  
(812) 280-8201 Fax

642 South 4th Street  
Suite 100  
Louisville, KY 40202  
(502) 562-1412  
(502) 562-1413 Fax

OWNER/DEVELOPER:

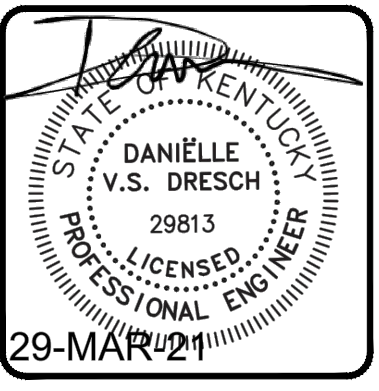
**DENTON FLOYD REAL ESTATE GROUP**  
1024 S. 3RD STREET  
LOUISVILLE, KY 40203

CONSTRUCTION PLANS FOR RESTAURANT / RETAIL

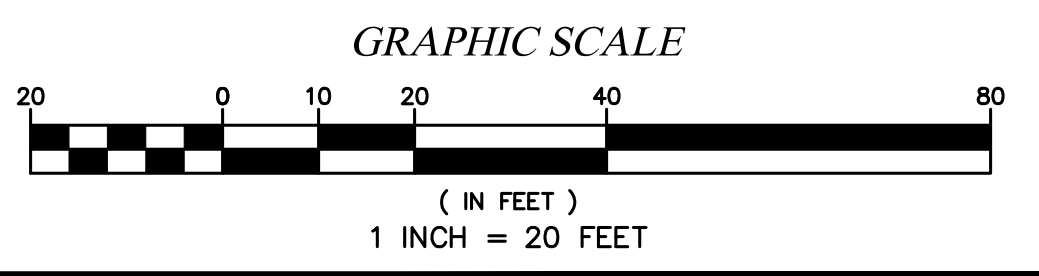
3980 FORT CAMPBELL BOULEVARD  
HOPKINSVILLE, KY 42240

DEMOLITION PLAN

PROJECT:



JOB NO:	20064
HORIZ. SCALE:	1"=20'
VERTICAL SCALE:	N/A
DESIGNED BY:	DD
DETAILED BY:	SK
CHECKED BY:	CD
DATE:	MARCH 2021



SHEET

**C20**

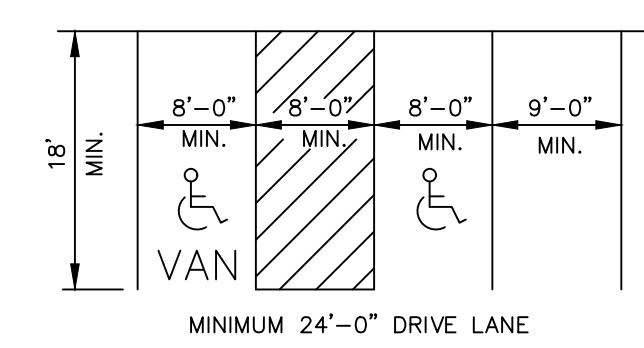
of 8

**ABBREVIATIONS**

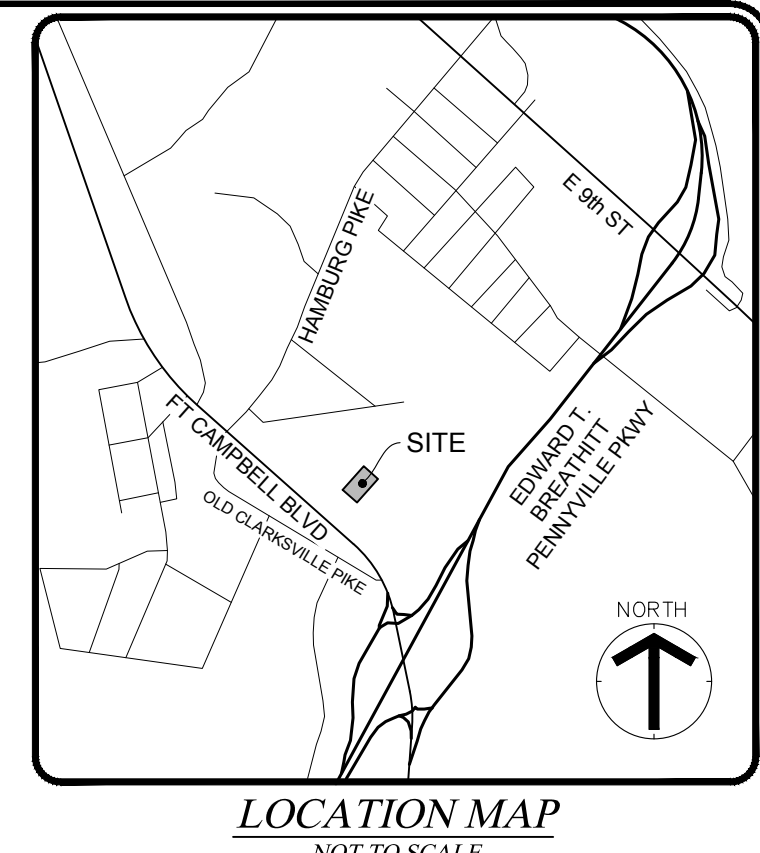
PROPOSED	PR
EXISTING	EX
DO NOT DISTURB	DND
TO BE REMOVED	TBR
FINISHED FLOOR ELEVATION	F.F.E.
TOP OF GRATE	TG
TOP OF LID	T/L
INVERT ELEVATION	I.E.
PROPERTY SERVICE CONNECTION	PSC
MANHOLE	MH
STORM MANHOLE	STMH
SANITARY MANHOLE	SANMH
JUNCTION BOX	JB
CATCH BASIN	CB
TEMPORARY BENCHMARK	TBM
RIGHT OF WAY	R/W
PROPERTY LINE	PL
BUILDING	BLDG.
LANDSCAPE BUFFER AREA	L.B.A.
PROPOSED PARKING COUNTS	# SPACES
EXISTING PARKING COUNTS	# Ex. Spaces
TOP OF CURB	TOC
BASE OF CURB	BOC

**SIGN/STRIPING LEGEND**

1	STOP BAR
2	STOP SIGN
3	ACCESSIBLE SYMBOL
4	ACCESSIBLE PARKING SIGN
5	CROSSWALK
6	THRU ARROW
7	4" SOLID WHITE STRIPE



**TYPICAL PARKING SPACE LAYOUT**  
NOT TO SCALE



**EX. LINETYPES**

---	EX. EDGE OF PAVEMENT
---	EX. CURB
---	EX. STRIPING
---	EX. PROPERTY LINE
---	EX. PROPERTY LINE TO BE REMOVED
---	EX. RIGHT OF WAY
---	EX. EASEMENT
---	EX. FENCE
---	EX. WATER LINE
---	EX. PROPERTY SERVICE CONNECTION
---	EX. SWALE
---	EX. GAS LINE
---	EX. OVERHEAD ELECTRIC LINE
---	EX. UNDERGROUND ELECTRIC LINE
---	EX. ELECTRIC LINE
---	EX. OVERHEAD TELEPHONE LINE
---	EX. UNDERGROUND TELEPHONE LINE
---	EX. FIBER OPTIC LINE
---	EX. CABLE LINE
---	EX. LANDSCAPE BUFFER LINE
---	EX. TREE LINE
---	EX. SANITARY SEWER
---	EX. STORM SEWER
---	EX. BUILDING
---	EX. CONCRETE
---	EX. BUILDING SETBACK LINE

**PR. LINETYPES**

---	PR. EDGE OF PAVEMENT
---	PR. CURB
---	PR. PROPERTY LINE
---	PR. RIGHT OF WAY
---	PR. EASEMENT
---	PR. FENCE
---	PR. WATER LINE
---	PR. PROPERTY SERVICE CONNECTION
---	PR. SWALE
---	PR. GAS LINE
---	PR. OVERHEAD ELECTRIC LINE
---	PR. UNDERGROUND ELECTRIC LINE
---	PR. ELECTRIC LINE
---	PR. OVERHEAD TELEPHONE LINE
---	PR. UNDERGROUND TELEPHONE LINE
---	PR. FIBER OPTIC LINE
---	PR. CABLE LINE
---	PR. DRAIN LINE
---	PR. STORM SEWER
---	PR. SAW CUT
---	PR. LIGHT DUTY PAVEMENT
---	PR. HEAVY DUTY PAVEMENT
---	PR. BUILDING
---	PR. CONCRETE
---	PR. GRAVEL

**EX. BLOCKS**

[Symbol]	EX. FIRE HYDRANT
[Symbol]	EX. SANITARY SEWER
[Symbol]	EX. TELEPHONE PEDESTAL
[Symbol]	EX. LIGHT POLE
[Symbol]	EX. POWER POLE
[Symbol]	EX. GUYWIRE
[Symbol]	EX. SIGN
[Symbol]	EX. TREE

**PR. BLOCKS**

[Symbol]	PR. FIRE HYDRANT
[Symbol]	PR. WATER VALVE
[Symbol]	PR. WATER METER
[Symbol]	PR. 4" PSC
[Symbol]	PR. 6" PSC
[Symbol]	PR. CLEAN OUT
[Symbol]	PR. STORM MANHOLE
[Symbol]	PR. CATCH BASIN TYPE 1
[Symbol]	PR. CATCH BASIN TYPE 2
[Symbol]	PR. DOWN SPOUT
[Symbol]	PR. TELEPHONE MANHOLE
[Symbol]	PR. TELEPHONE PEDESTAL
[Symbol]	PR. ELECTRIC MANHOLE
[Symbol]	PR. TRANSFORMER
[Symbol]	PR. ELECTRIC METER
[Symbol]	PR. LIGHT POLE
[Symbol]	PR. POWER POLE
[Symbol]	PR. GUYWIRE
[Symbol]	PR. SIGN
[Symbol]	PR. GAS VALVE
[Symbol]	PR. GAS METER
[Symbol]	PR. BOLLARD

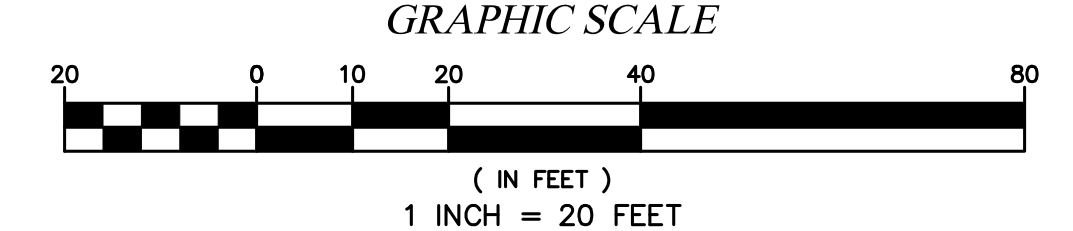
**PARKING SUMMARY**

RETAIL	PARKING REQUIRED	9 SPACES
	1,500 SF FLOOR AREA (1 SPACE/200 SF = 5 SPACES)	
	8 EMPLOYEES (1 SPACE/2 EMPLOYEES = 4 SPACES)	
PENN STATION RESTAURANT	PARKING REQUIRED	8 SPACES
	1,500 SF FLOOR AREA (1 SPACE/200 SF = 5 SPACES)	
	10 EMPLOYEES (1 SPACE/3 EMPLOYEES = 3 SPACES)	
	-OR-	
	24 SEATS (1 SPACE/3 FIXED SEATS = 8 SPACES)	
PARLOUR RESTAURANT	PARKING REQUIRED	23 SPACES
	3,000 SF FLOOR AREA (1 SPACE/300 SF = 10 SPACES)	
	30 EMPLOYEES (1 SPACE/3 EMPLOYEES = 10 SPACES)	
	-OR-	
	70 SEATS (1 SPACE/3 FIXED SEATS = 23 SPACES)	
PARLOUR OUTDOOR DINING	PARKING REQUIRED	17 SPACES
	1,500 SF FLOOR AREA (1 SPACE/200 SF = 5 SPACES)	
	15 EMPLOYEES (1 SPACE/3 EMPLOYEES = 5 SPACES)	
	-OR-	
	50 SEATS (1 SPACE/3 FIXED SEATS = 17 SPACES)	
TOTAL PARKING REQUIRED		57 SPACES
EXISTING PARKING ON-SITE		75 SPACES
TOTAL PARKING PROVIDED		75 SPACES
	(INCLUDING 3 ADA SPACES)	

**STRUCTURE LEGEND**

STRUCTURE	TYPE	DETAIL
S.I.1	SINGLE CURB INLET	SEE SHEET C7.0
H.W.	SLOPED & FLARED END SECTION	SEE SHEET C7.0
TD	CONTECH SLOTTED DRAIN w/ VARIABLE HEIGHT GRATE AND MESH HEEL GUARD	SEE SHEET C7.0

- LAYOUT & UTILITY NOTES**
- CONTRACTOR IS TO CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
  - PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
  - CONTRACTOR TO COORDINATE ALL BUILDING SERVICE UTILITY CONNECTIONS (DOMESTIC WATER, FIRE, ELECTRIC, GAS & TELECOMMUNICATION), SIZES, ELEVATIONS & LOCATIONS WITH ARCHITECTURAL PLANS.
  - CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR ALL UTILITY CONNECTION LOCATIONS AND FEES.
  - THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
  - ALL TRAFFIC SIGNS & PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF THE MUTCD.
  - ROADWAY DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADI NOT LABELED SHALL BE 4'R.



- KEYNOTES**
- CONNECT ROOF DRAINS TO STORM SYSTEM USING 6" STORM DRAIN AT MIN 1% SLOPE. PROVIDE CLEAN OUTS AT ALL UPSTREAM ENDS AND BENDS.
  - CONTRACTOR TO INSTALL 6" PROPERTY SERVICE CONNECTION. COORDINATE THE IN AND DEPTH WITH MEP PLANS. PSC MUST MEET LOCAL & STATE REQUIREMENTS FOR SLOPE, MATERIAL, CLEANOUT LOCATIONS & INSTALLATION.
  - CONSTRUCT GAS SERVICE. COORDINATE WITH PLUMBING PLANS & UTILITY PROVIDER.
  - CONSTRUCT DOMESTIC WATER SERVICE. COORDINATE SIZE MEP PLANS & UTILITY PROVIDER.
  - CONSTRUCT ELECTRIC SERVICE. COORDINATE WITH MEP PLANS & UTILITY PROVIDER.
  - PR. GAS METER
  - PR. ELECTRIC METER
  - PR. GREASE INTERCEPTOR, MINIMUM 1000 GALLONS
  - PR. WATER METER. CONNECT TO EX. WATER LINE.

**TEMPORARY BENCHMARK DESCRIPTIONS:**

TBM #1  
MAGNIPOLE  
ELEVATION = 543.52

**OWNER**  
PENNSYLVANIA GRANITE, LLC.  
PO BOX 1928  
MT AIRY, NC 27030

**SITE DATA**  
FT CAMPBELL BLVD  
HOPKINSVILLE, KY  
D.B. 536, PG. 584  
PVA MAP# 227-00 02 025.00

TOTAL SITE AREA: 1.65 ACRES (71,881 SF)  
EX. ZONING: B-4  
EX. LAND USE: VACANT  
PR. LAND USE: COMMERCIAL  
PR. BUILDING: 6,000 SF  
BUILDING SITE COVERAGE: 55%  
ALLOWED: 55%  
PROPOSED: 8.4%

**SETBACK DATA**  
FRONT YARD: 40'  
SIDE YARD: 20'  
REAR YARD: 50'  
MAX. BUILDING HEIGHT: 50'

**IMPERVIOUS AREA**  
PRE: 38,811 SF  
POST: 47,484 SF  
PERCENTAGE OF CHANGE: 22.4%

**LANDSCAPE DATA**  
PROPOSED V.I.A.: 38,059 SF  
I.L.A. REQUIRED (8%): 1,903 SF  
I.L.A. PROVIDED: 2,205 SF

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Revision	Date	Description	Detailed By	Chk'd By	Approved By
1	3/26/21	AGENCY REVIEW	SK	DD	DD



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**DENTON FLOYD REAL ESTATE GROUP**  
1024 S. 3RD STREET  
LOUISVILLE, KY 40203

**CONSTRUCTION PLANS FOR RESTAURANT / RETAIL**  
3980 FORT CAMPBELL BOULEVARD  
HOPKINSVILLE, KY 42240

**SITE PLAN**

STATE OF KENTUCKY  
DANIELLE V.S. DRESCH  
29813  
LICENSED PROFESSIONAL ENGINEER

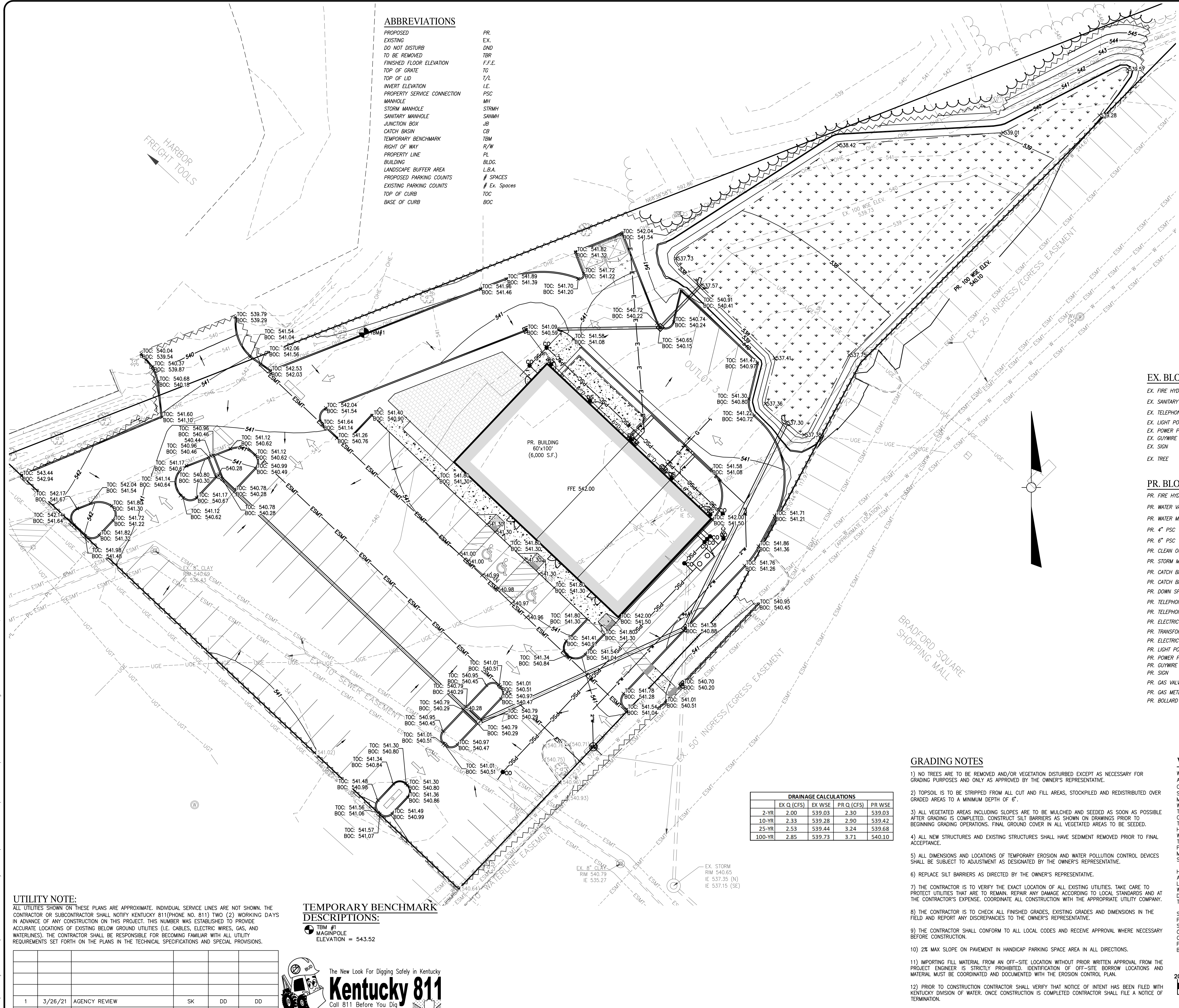
29-MAR-2021

JOB NO: 20064  
HORIZ. SCALE: 1"=20'  
VERTICAL SCALE: N/A  
DESIGNED BY: DD  
CHECKED BY: SK  
DATE: MARCH 2021

SHEET  
**C3.0**  
of 8

X:\AA-Projects-2020\20064 - Denton Floyd - Hopkinsville Retail\Construction\20064 - SITE.dwg PLOT DATE: March 29, 2021 - 8:51am

X:\AA-Projects-2020\20064 - Denton Floyd - Hopkinsville Retail Construction\20064 - GRADING.dwg PLOT DATE: March 29, 2021 - 8:53am



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**TEMPORARY BENCHMARK DESCRIPTIONS:**  
 TBM #1  
 MAGNIPOLE  
 ELEVATION = 543.52

Revision	Date	Description	Detailed By	Chk'd By	Approved By
1	3/26/21	AGENCY REVIEW	SK	DD	DD



- ABBREVIATIONS**
- PROPOSED
  - EXISTING
  - DO NOT DISTURB
  - TO BE REMOVED
  - FINISHED FLOOR ELEVATION
  - TOP OF GRATE
  - TOP OF LD
  - INVERT ELEVATION
  - PROPERTY SERVICE CONNECTION
  - MANHOLE
  - STORM MANHOLE
  - SANITARY MANHOLE
  - JUNCTION BOX
  - CATCH BASIN
  - TEMPORARY BENCHMARK
  - RIGHT OF WAY
  - PROPERTY LINE
  - BUILDING
  - LANDSCAPE BUFFER AREA
  - PROPOSED PARKING COUNTS
  - EXISTING PARKING COUNTS
  - TOP OF CURB
  - BASE OF CURB
- PR.
  - EX.
  - DND
  - TBR
  - F.F.E.
  - TG
  - T/A
  - I.E.
  - PSC
  - MH
  - STRMH
  - SANMH
  - JB
  - CB
  - TBM
  - R/W
  - PL
  - BLDG.
  - L.B.A.
  - # SPACES
  - # Ex. Spaces
  - TOC
  - BOC

**DRAINAGE CALCULATIONS**

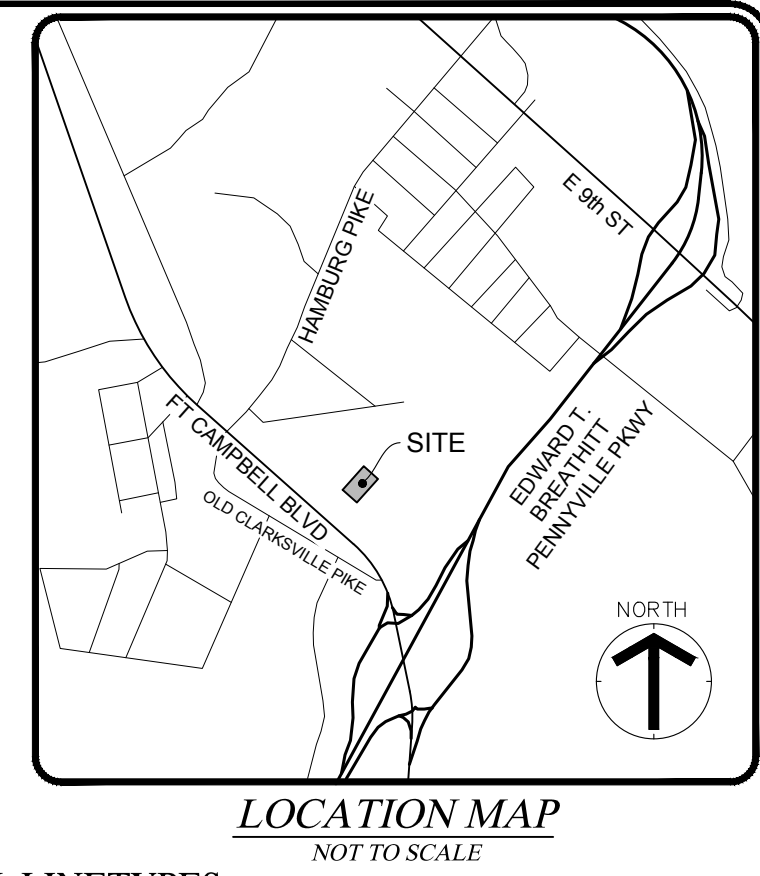
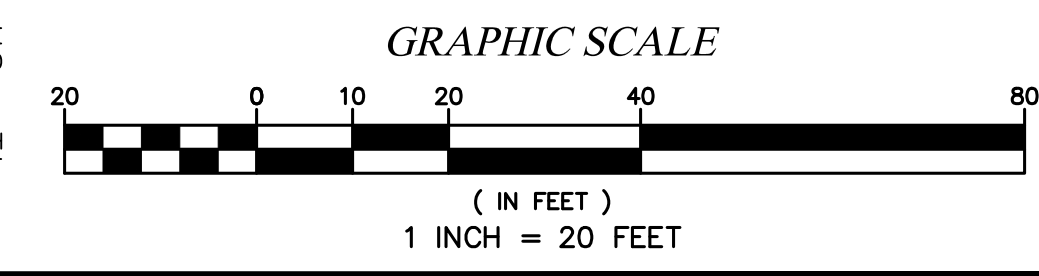
	EX Q.(CFS)	EX WISE	PR Q.(CFS)	PR WISE
2-YR	2.00	539.03	2.30	539.03
10-YR	2.33	539.28	2.90	539.42
25-YR	2.53	539.44	3.24	539.68
100-YR	2.85	539.73	3.71	540.10

- GRADING NOTES**
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
  - TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6".
  - ALL VEGETATED AREAS INCLUDING SLOPES ARE TO BE MULCHED AND SEEDED AS SOON AS POSSIBLE AFTER GRADING IS COMPLETED. CONSTRUCT SILT BARRIERS AS SHOWN ON DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS. FINAL GROUND COVER IN ALL VEGETATED AREAS TO BE SEEDED.
  - ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
  - ALL DIMENSIONS AND LOCATIONS OF TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
  - REPLACE SILT BARRIERS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
  - THE CONTRACTOR IS TO CHECK ALL FINISHED GRADES, EXISTING GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
  - 2% MAX SLOPE ON PAVEMENT IN HANDICAP PARKING SPACE AREA IN ALL DIRECTIONS.
  - IMPORTING FILL MATERIAL FROM AN OFF-SITE LOCATION WITHOUT PRIOR WRITTEN APPROVAL FROM THE PROJECT ENGINEER IS STRICTLY PROHIBITED. IDENTIFICATION OF OFF-SITE BORROW LOCATIONS AND MATERIAL MUST BE COORDINATED AND DOCUMENTED WITH THE EROSION CONTROL PLAN.
  - PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY THAT NOTICE OF INTENT HAS BEEN FILED WITH KENTUCKY DIVISION OF WATER. ONCE CONSTRUCTION IS COMPLETED CONTRACTOR SHALL FILE A NOTICE OF TERMINATION.

**WASTE DISPOSAL:**  
 ALL WASTE MATERIALS THAT MAY LEACH POLLUTANTS (PAINT & PAINT CONTAINERS, CAULK TUBES, OIL/GREASE CONTAINERS, LIQUIDS OF ANY KIND, SOLUBLE MATERIALS, ETC.) WILL BE COLLECTED & STORED IN A COVERED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL & STATE SOLID WASTE MANAGEMENT REGULATIONS. CONSTRUCTION DEBRIS & OTHER WASTES THAT DO NOT LEACH POLLUTANTS WILL BE DEPOSITED IN A COVERED OR OPEN TOPPED DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE A WEEK OR MORE OFTEN IF NECESSARY. THE TRASH WILL BE HAULED TO AN APPROVED LANDFILL. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER & THE INDIVIDUAL WHO MANAGES THE DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

**HAZARDOUS WASTE:**  
 ALL WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES & THE INDIVIDUAL WHO MANAGES DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

**SANITARY WASTE:**  
 PORTABLE TOILETS WILL BE USED ON SITE FOR SANITARY WASTES. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION. PORTABLE UNITS WILL BE PLACED AWAY FROM STORM DRAIN INLETS, DITCHES, CREEKS & OTHER WATER BODIES.



- EX. LINETYPES**
- EX. EDGE OF PAVEMENT
  - EX. CURB
  - EX. STRIPING
  - EX. PROPERTY LINE
  - EX. PROPERTY LINE TO BE REMOVED
  - EX. RIGHT OF WAY
  - EX. EASEMENT
  - EX. FENCE
  - EX. WATER LINE
  - EX. PROPERTY SERVICE CONNECTION
  - EX. SWALE
  - EX. GAS LINE
  - EX. OVERHEAD ELECTRIC LINE
  - EX. UNDERGROUND ELECTRIC LINE
  - EX. ELECTRIC LINE
  - EX. OVERHEAD TELEPHONE LINE
  - EX. UNDERGROUND TELEPHONE LINE
  - EX. FIBER OPTIC LINE
  - EX. CABLE LINE
  - EX. LANDSCAPE BUFFER LINE
  - EX. TREE LINE
  - EX. MAJOR & MINOR CONTOURS
  - EX. SANITARY SEWER
  - EX. STORM SEWER
  - EX. BUILDING
  - EX. CONCRETE
  - EX. SPOT ELEVATION
- PR. LINETYPES**
- PR. EDGE OF PAVEMENT
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  - PR. OVERHEAD TELEPHONE LINE
  - PR. UNDERGROUND TELEPHONE LINE
  - PR. FIBER OPTIC LINE
  - PR. CABLE LINE
  - PR. MAJOR & MINOR CONTOURS
  - PR. STORM SEWER
  - PR. LIMITS OF DISTURBANCE
  - PR. SAW CUT
  - PR. BUILDING
  - PR. CONCRETE
  - PR. GRAVEL
  - PR. SPOT ELEVATION

- EX. BLOCKS**
- EX. FIRE HYDRANT
  - EX. SANITARY SEWER
  - EX. TELEPHONE PEDESTAL
  - EX. LIGHT POLE
  - EX. POWER POLE
  - EX. GUYWIRE
  - EX. SIGN
  - EX. TREE

- PR. BLOCKS**
- PR. FIRE HYDRANT
  - PR. WATER VALVE
  - PR. WATER METER
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**CONSTRUCTION PLANS FOR RESTAURANT / RETAIL**  
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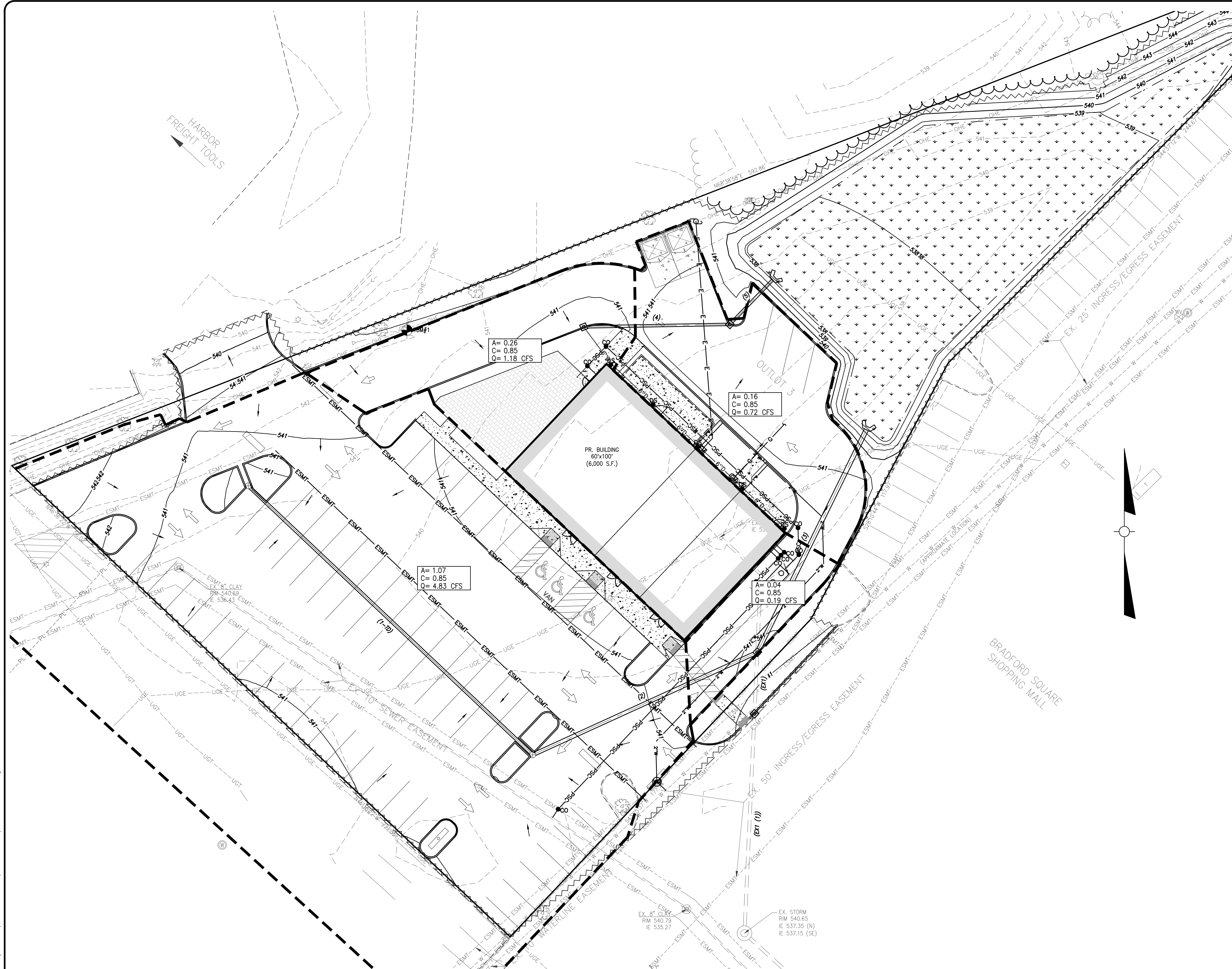
**GRADING PLAN**

**DANIELLE V.S. DRESCH**  
 29813  
 LICENSED PROFESSIONAL ENGINEER  
 29-MAR-21

JOB NO: 20064  
 HORIZ. SCALE: 1"=20'  
 VERTICAL SCALE: N/A  
 DESIGNED BY: DD  
 DETAILED BY: SK  
 CHECKED BY: CD  
 DATE: MARCH 2021

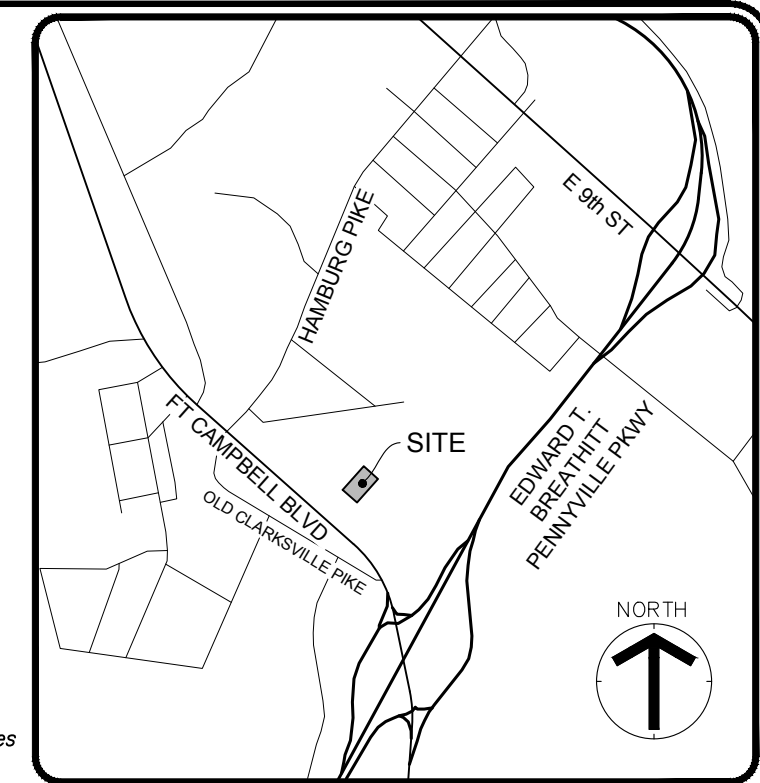
SHEET **C4.0** of 8

X:\AA-Projects-2020\20064 - Denton Floyd - Hopkinsville Retail\Construction\20064 - GDP.dwg PLOT DATE: March 29, 2021 - 8:55am



**ABBREVIATIONS**

- PROPOSED
- EXISTING
- DO NOT DISTURB
- TO BE REMOVED
- FINISHED FLOOR ELEVATION
- TOP OF GRATE
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- SANITARY MANHOLE
- JUNCTION BOX
- CATCH BASIN
- TEMPORARY BENCHMARK
- RIGHT OF WAY
- PROPERTY LINE
- BUILDING
- LANDSCAPE BUFFER AREA
- PROPOSED PARKING COUNTS
- EXISTING PARKING COUNTS
- TOP OF CURB
- BASE OF CURB



LOCATION MAP  
NOT TO SCALE

**EX. LINETYPES**

- EX. EDGE OF PAVEMENT
- EX. CURB
- EX. STRIPING
- EX. PROPERTY LINE
- EX. PROPERTY LINE TO BE REMOVED
- EX. RIGHT OF WAY
- EX. EASEMENT
- EX. FENCE
- EX. WATER LINE
- EX. PROPERTY SERVICE CONNECTION
- EX. SWALE
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC LINE
- EX. UNDERGROUND ELECTRIC LINE
- EX. ELECTRIC LINE
- EX. OVERHEAD TELEPHONE LINE
- EX. UNDERGROUND TELEPHONE LINE
- EX. FIBER OPTIC LINE
- EX. CABLE LINE
- EX. LANDSCAPE BUFFER LINE
- EX. TREE LINE
- EX. MAJOR & MINOR CONTOURS
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. BUILDING
- EX. CONCRETE

**PR. LINETYPES**

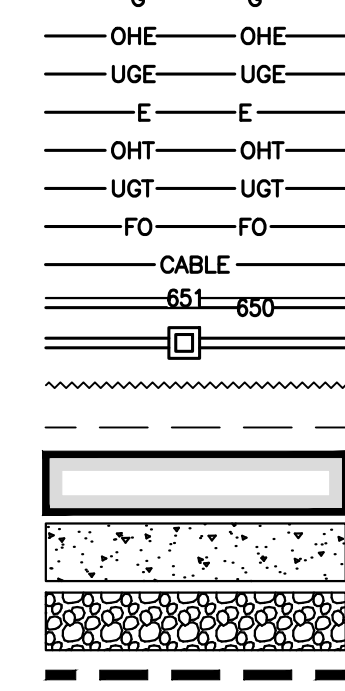
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- PR. STORM SEWER
- PR. LIMITS OF DISTURBANCE
- PR. SAW CUT
- PR. BUILDING
- PR. CONCRETE
- PR. GRAVEL
- PR. DRAINAGE COMPOSITE BOUNDARIES

**EX. BLOCKS**

- EX. FIRE HYDRANT
- EX. SANITARY SEWER
- EX. TELEPHONE PEDESTAL
- EX. LIGHT POLE
- EX. POWER POLE
- EX. GUYWIRE
- EX. SIGN
- EX. TREE

**PR. BLOCKS**

- PR. FIRE HYDRANT
- PR. WATER VALVE
- PR. WATER METER
- PR. 4" PSC
- PR. 6" PSC
- PR. CLEAN OUT
- PR. STORM MANHOLE
- PR. CATCH BASIN TYPE 1
- PR. CATCH BASIN TYPE 2
- PR. DOWN SPOUT
- PR. TELEPHONE MANHOLE
- PR. TELEPHONE PEDESTAL
- PR. ELECTRIC MANHOLE
- PR. TRANSFORMER
- PR. ELECTRIC METER
- PR. LIGHT POLE
- PR. POWER POLE
- PR. GUYWIRE
- PR. SIGN
- PR. GAS VALVE
- PR. GAS METER
- PR. BOLLARD

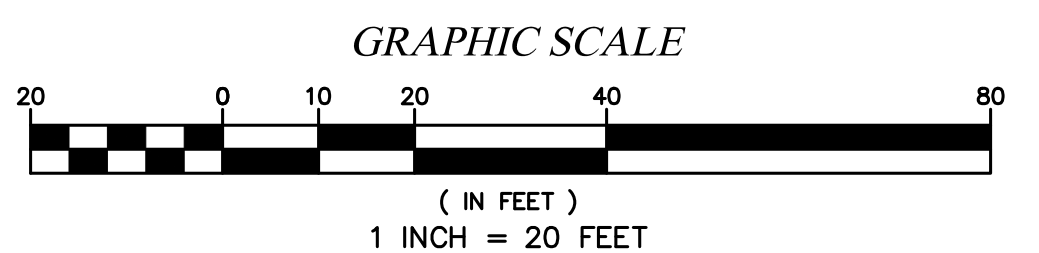


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**TEMPORARY BENCHMARK DESCRIPTIONS:**  
TBM #1  
MAGNIPOLE  
ELEVATION = 543.52

Revision	Date	Description	Designed By	Chk'd By	Approved By
1	3/26/21	AGENCY REVIEW	SK	DD	DD

Pipe No.	Area (sf)	Area (acres)	Sum of Area (acres)	Area C	C x A	Sum of C x A	Weighted C	I (in/hr)	Tc (min.)	S Q10 (cfs)	S Q100 (cfs)	Size (in)	Length (ft)	Slope (%)	Capacity (cfs)	Velocity (fps)	HW 100	CB Depth	Upstream Invert	Downstream Invert	Grate Elev
1-TD	45691	1.05	1.05	0.85	0.89	0.89	0.85	5.30	10.00	4.73	6.52	15	159	0.48%	4.75	3.87	1.96	NA	538.53	537.80	NA
2	0	0.00	1.05	0.85	0.00	0.89	0.85	5.30	10.00	4.73	6.52	18	99	0.41%	7.27	4.11	1.55	NA	537.80	537.40	NA
3	1854	0.04	1.09	0.85	0.04	0.93	0.85	5.30	10.00	4.92	6.79	21	101	0.10%	5.41	2.25	1.49	3.48	537.40	537.30	540.88
4	11427	0.26	0.26	0.85	0.22	0.22	0.85	5.30	10.00	1.18	1.63	12	59	0.74%	3.33	4.24	0.84	2.50	538.09	537.65	540.59
5	7005	0.16	0.42	0.85	0.14	0.36	0.85	5.30	10.00	1.91	2.63	12	26	0.31%	2.16	2.74	1.12	2.50	537.65	537.57	540.15



**HERITAGE ENGINEERING, LLC**  
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Louisville, KY 40202  
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(502) 562-1413 Fax

**DENTON FLOYD REAL ESTATE GROUP**  
1024 S. 3RD STREET  
LOUISVILLE, KY 40203

**CONSTRUCTION PLANS FOR RESTAURANT / RETAIL**  
3980 FORT CAMPBELL BOULEVARD  
HOPKINSVILLE, KY 42240

**COMPOSITE DRAINAGE PLAN**

DANIELLE V.S. DRESCH  
29813  
LICENSED PROFESSIONAL ENGINEER  
29-MAR-2021

JOB NO: 20064  
HORIZ. SCALE: 1"=20'  
VERTICAL SCALE: N/A  
DESIGNED BY: DD  
DETAILED BY: SK  
CHECKED BY: CD  
DATE: MARCH 2021

SHEET  
**C5.0**  
of 8

EROSION CONTROL DETAILS		
TYPE		DETAIL
①	TEMPORARY CONSTRUCTION ENTRANCE	SEE SHEET C7.0
②	INLET PROTECTION	
	DANDY SACK	SEE SHEET C7.0
	HEADWALL INLET PROTECTION	SEE SHEET C7.0
③	CONCRETE WASHOUT AREA	SEE SHEET C7.0
④	SILT FENCE	SEE SHEET C7.0
⑤	HARD SURFACE GUARD	ERTEC OR APPROVED EQUAL

**ABBREVIATIONS**

- PROPOSED  
 EXISTING  
 DO NOT DISTURB  
 TO BE REMOVED  
 FINISHED FLOOR ELEVATION  
 TOP OF GRATE  
 TOP OF LID  
 INVERT ELEVATION  
 PROPERTY SERVICE CONNECTION  
 MANHOLE  
 STORM MANHOLE  
 SANITARY MANHOLE  
 JUNCTION BOX  
 CATCH BASIN  
 TEMPORARY BENCHMARK  
 RIGHT OF WAY  
 PROPERTY LINE  
 BUILDING  
 LANDSCAPE BUFFER AREA  
 PROPOSED PARKING COUNTS  
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 TOP OF CURB  
 BASE OF CURB

**EX. LINETYPES**

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**PR. LINETYPES**

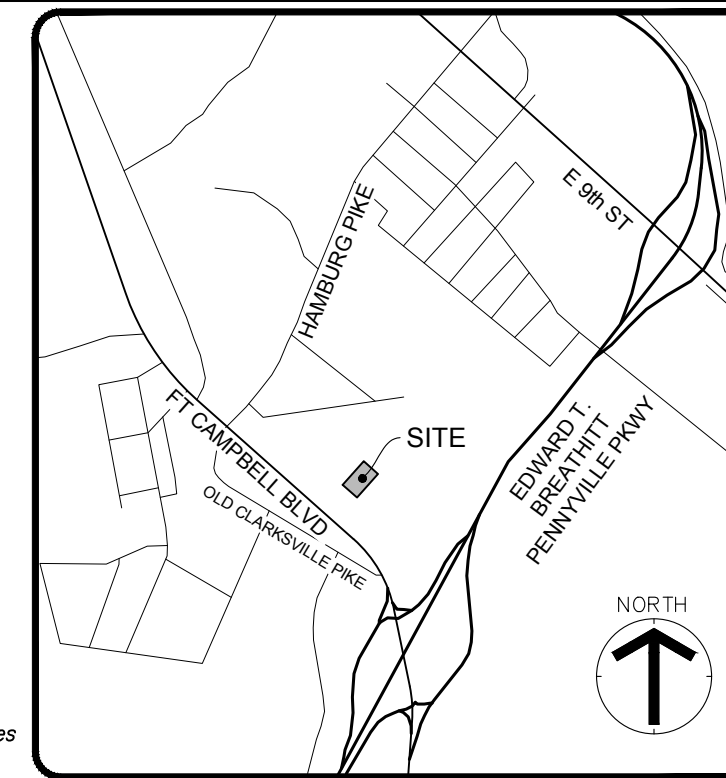
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 PR. LIMITS OF DISTURBANCE  
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 PR. BUILDING  
 PR. CONCRETE  
 PR. GRAVEL

**PHASING & SEQUENCING**

- PHASE I (BEFORE DEMOLITION & SITE CLEARING.)**
- CLEAR ONLY AREA NECESSARY FOR CONSTRUCTION ENTRANCE & CONCRETE WASHOUT AREA - COORDINATE WITH OWNER.
  - CONSTRUCT CONSTRUCTION ENTRANCE.
  - CONSTRUCT SILT FENCES.
  - CLEAR ONLY AREA TO CONSTRUCT SEDIMENT BASIN AND OUTLET PIPES.
  - CONSTRUCT SEDIMENT BASIN AND OUTLET PIPES.
- PHASE II (CLEARING & GRADING OF SITE.)**
- BEGIN CLEARING & DEMOLISHING OF THE SITE INSIDE DISTURBANCE AREAS.
  - BEGIN GRADING OF THE SITE INSIDE, CREATING AND MAINTAINING A POSITIVE FLOW TO SEDIMENT BASIN.
  - DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR 14 DAYS WILL BE STABILIZED WITH EROSION CONTROLS.
  - INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 20% DISTURBED.
  - SEDIMENT CONTROL STRUCTURES SHALL BE CLEANED ONCE DEPOSITED SEDIMENT REACHES 1/3 THE HEIGHT OF THE STRUCTURE.
  - INSTALL OTHER STORM PIPES & INLET PROTECTION ON STORM STRUCTURES AS SITE IS BROUGHT TO GRADE.
  - INSTALL SITE UTILITIES.
  - ALL BMP'S NEED TO BE MAINTAINED AFTER EVERY EVENT GREATER THAN 0.5 INCH OF PRECIPITATION.
- PHASE III (COMPLETE DEMOLITION, GRADING OF SITE & BUILDING CONSTRUCTION.)**
- COMPLETE GRADING OF SLAB AREAS WITH A PROCESS THAT WILL MAINTAIN POSITIVE FLOW TO BMP'S.
  - PERMANENT STABILIZED AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  - INSTALL CONCRETE SLABS AND FOUNDATION.
  - COMPLETE UTILITY INSTALLATION.
- PHASE IV (FINALIZE SITE FOR PAVEMENT ACTIVITIES, PAVEMENT & FINAL STABILIZATION.)**
- PREPARE PAVEMENT SUBGRADE.
  - FINALIZE SITE FOR PAVEMENT ACTIVITIES.
  - INSTALL ASPHALT CONCRETE & PAVEMENT.
  - INSTALL CURBS.
  - CONSTRUCT RAIN GARDEN.
  - REMOVE ALL REMAINING TEMPORARY CONTROL BMP'S AND STABILIZE ANY AREAS DISTURBED BY THESE REMOVALS.
  - PREPARE FINAL SEEDING AND LANDSCAPING.
  - MONITOR STABILIZED AREAS UNTIL FINAL STABILIZATION.
  - ONCE CONSTRUCTION HAS BEEN COMPLETED AND SITE HAS BEEN STABILIZED FILE NOTICE OF TERMINATION WITH KENTUCKY DIVISION OF WATER.

**EROSION CONTROL NOTES**

- THE APPROVED EROSION CONTROL PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN MUST BE REVIEWED AND APPROVED BY MSD.
- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO ADJACENT RETAIL PARKING & PUBLIC ROADWAYS. SOIL TRACKED ONTO THE PARKING & ROADWAY SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. SOIL STOCKPILES SHALL BE SEEDDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH USE OF SILT FENCE.
- WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- SEDIMENT LADEN GROUND WATER ENCOUNTERED DURING THE TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, AND/OR CATCH BASIN.



LOCATION MAP

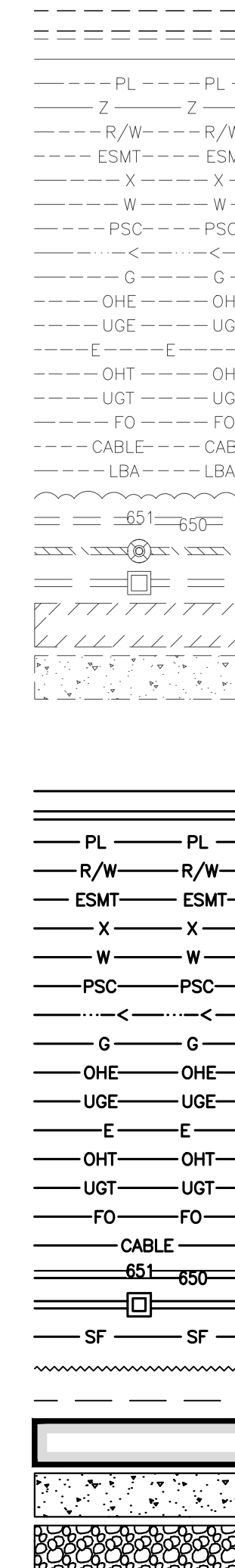
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**EX. BLOCKS**

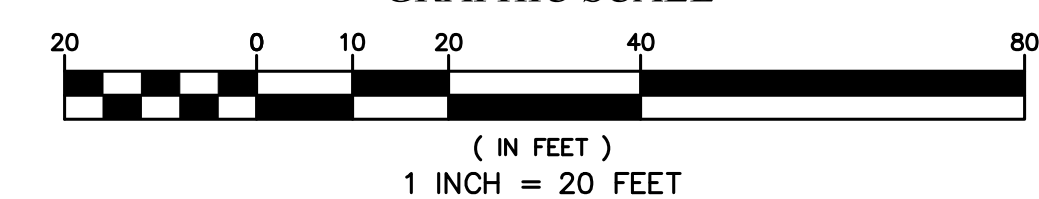
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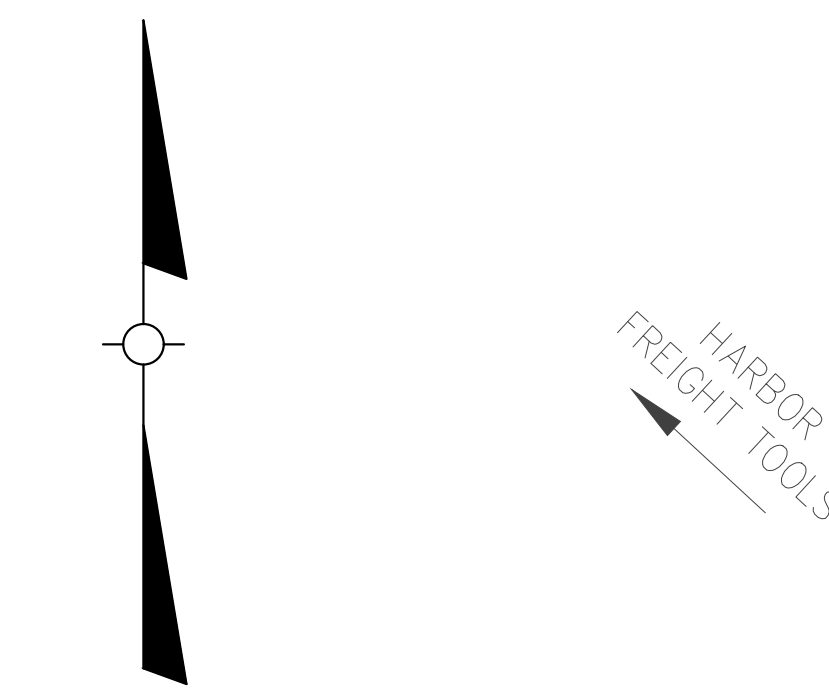


**GRAPHIC SCALE**



**TEMPORARY BENCHMARK DESCRIPTIONS:**

- TBM #1  
 MAGNIPOLE  
 ELEVATION = 543.52



**EROSION MAINTENANCE NOTE**

EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED EVERY SEVEN TO TEN CALENDAR DAYS AND AFTER EVERY RAINFALL EVENT THAT EQUALS OR EXCEEDS 1/2" OF PRECIPITATION.

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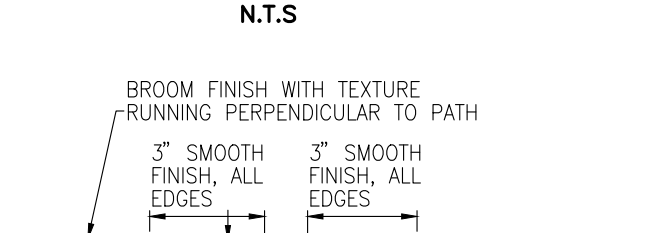
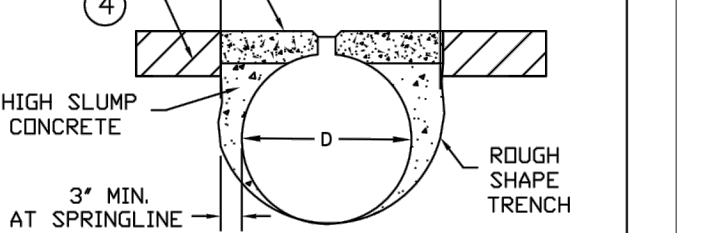
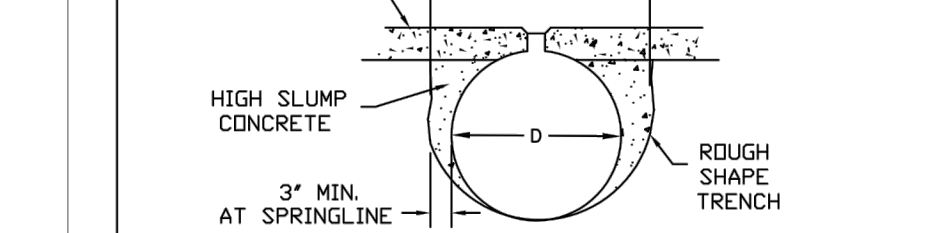
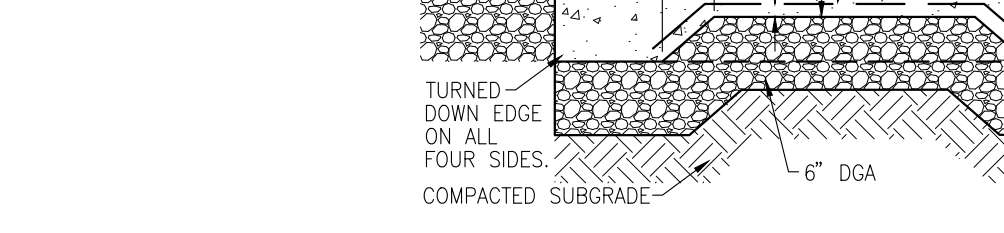
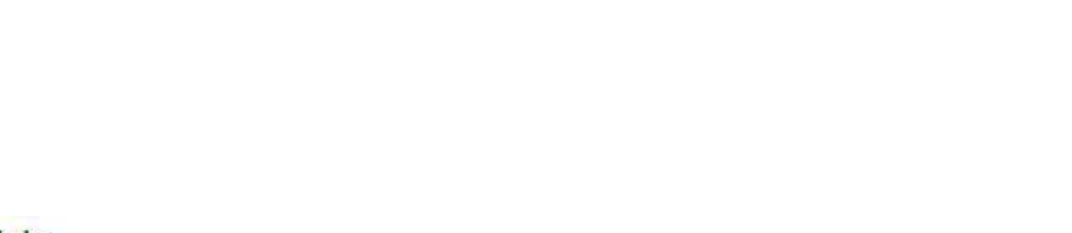
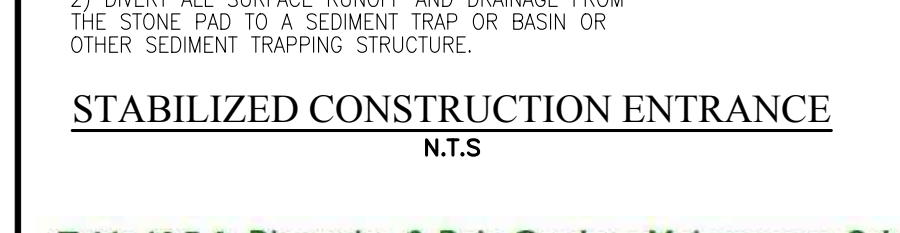
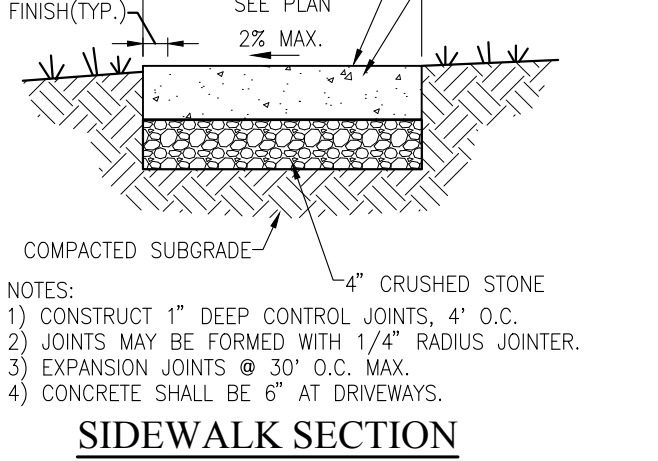
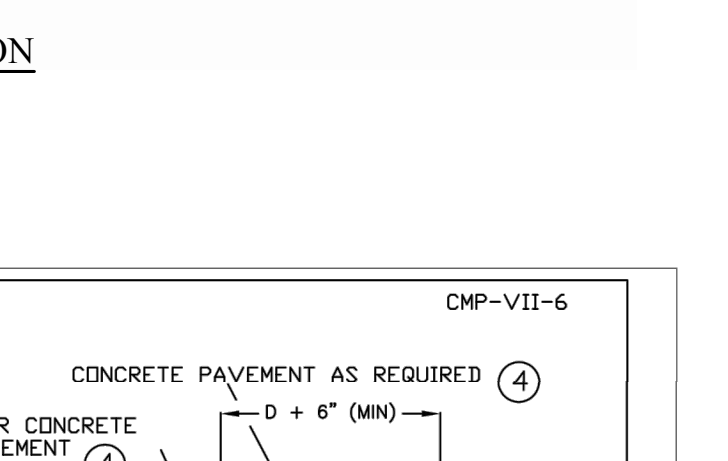
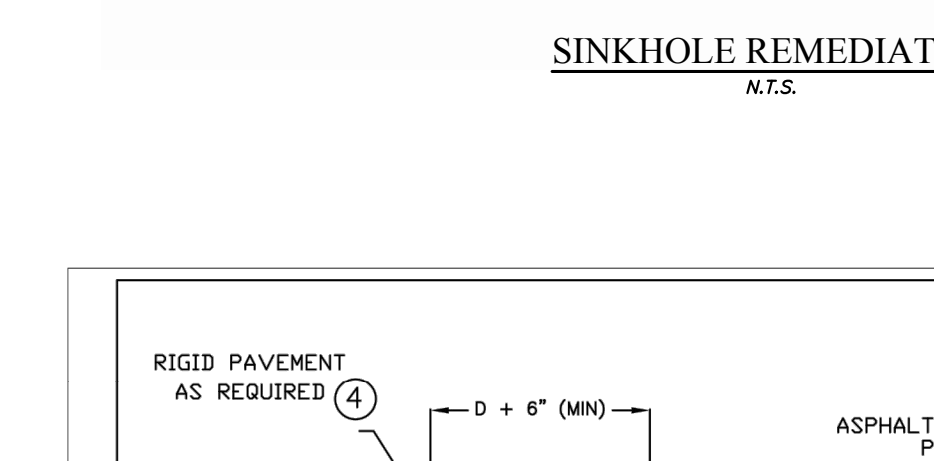
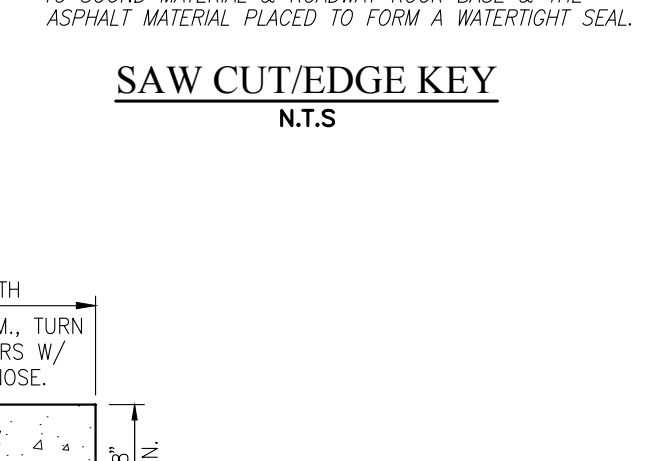
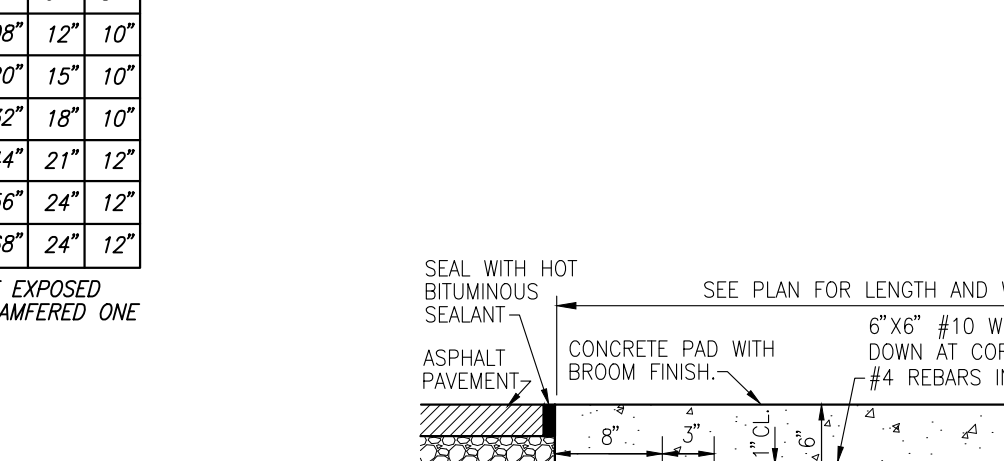
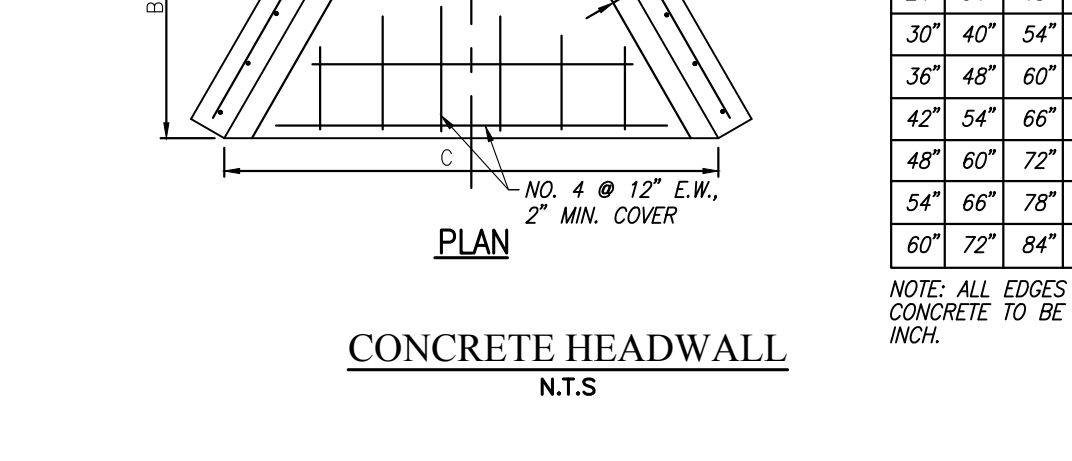
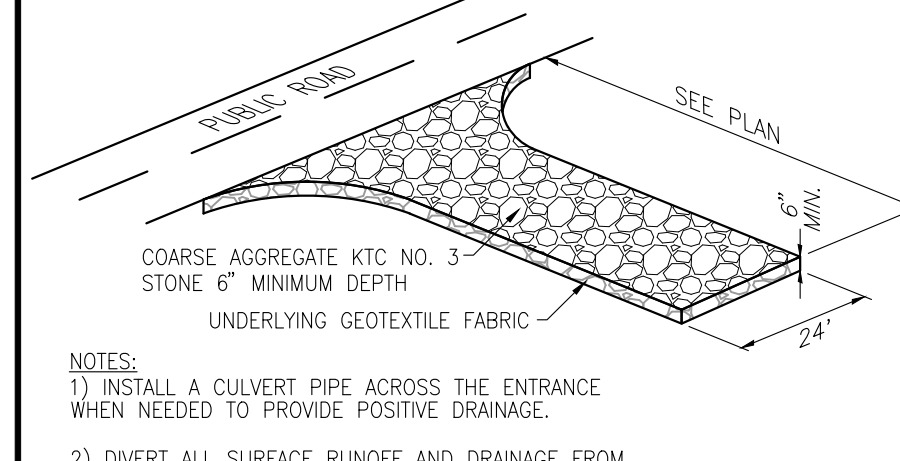
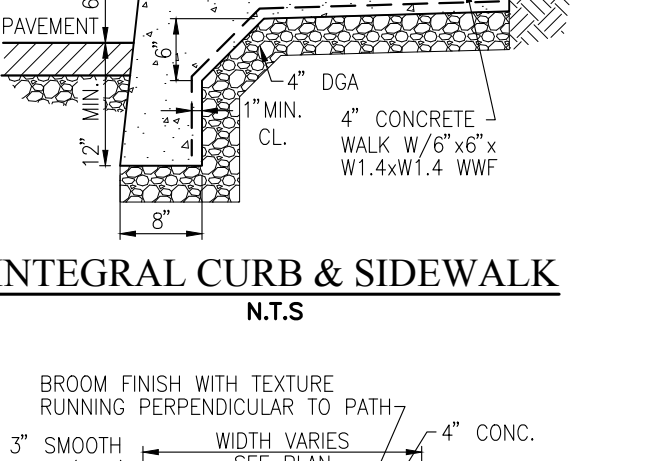
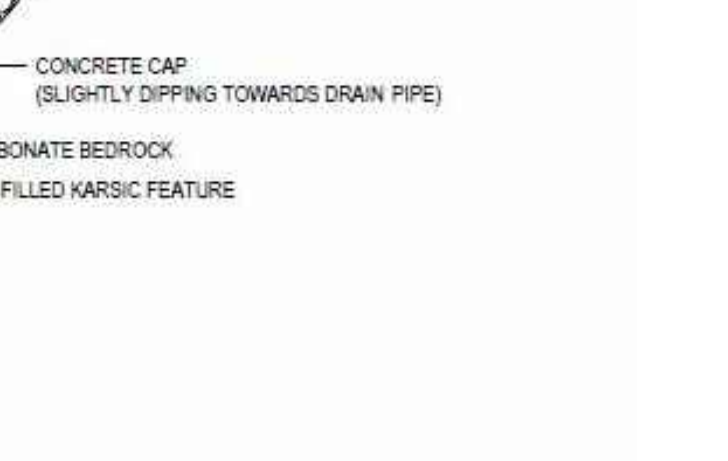
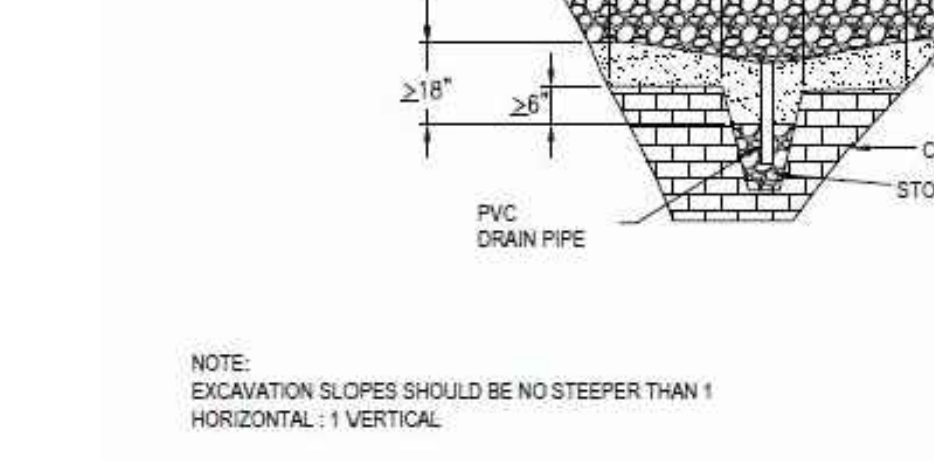
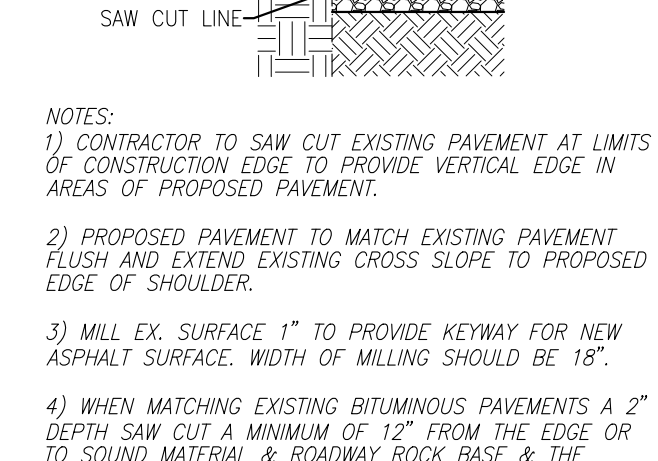
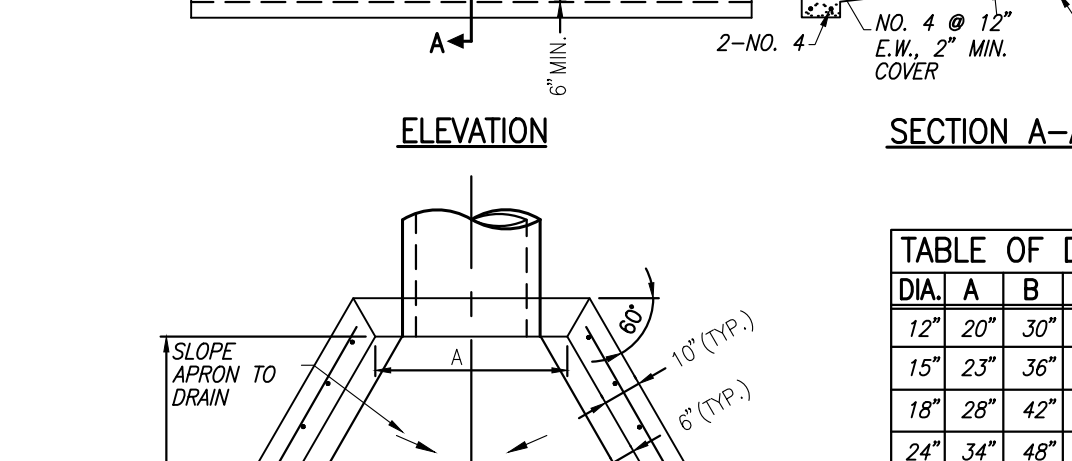
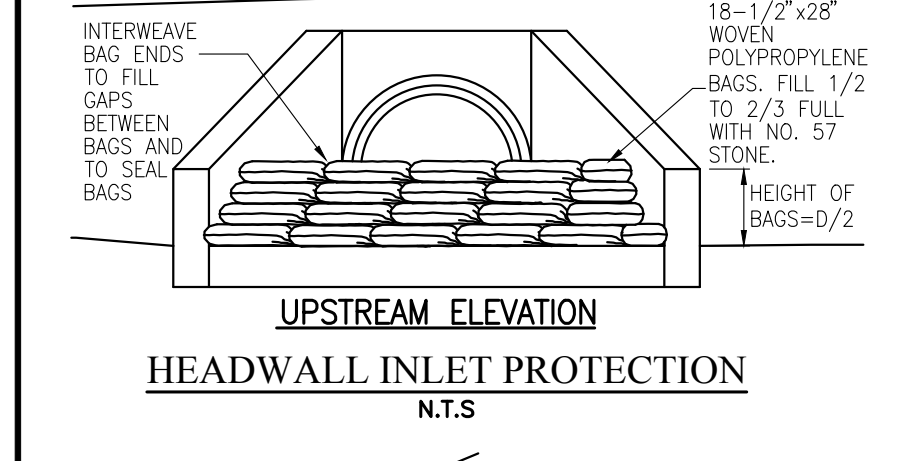
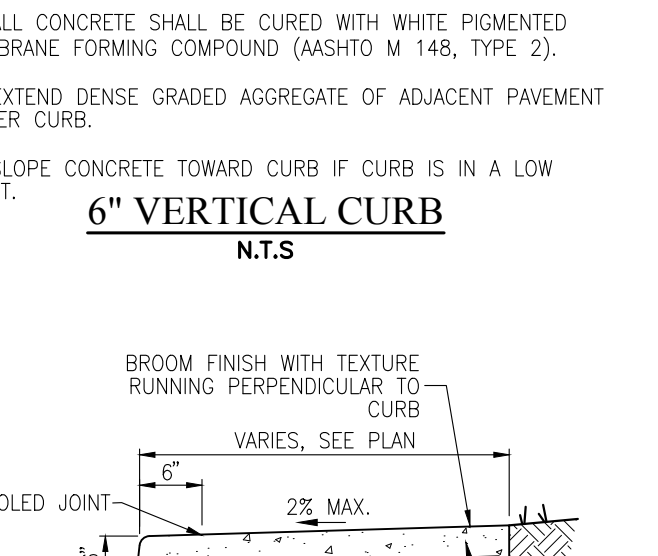
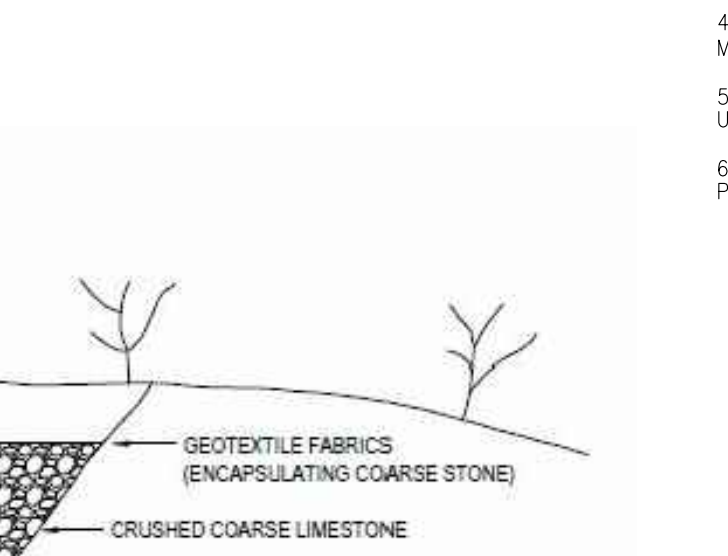
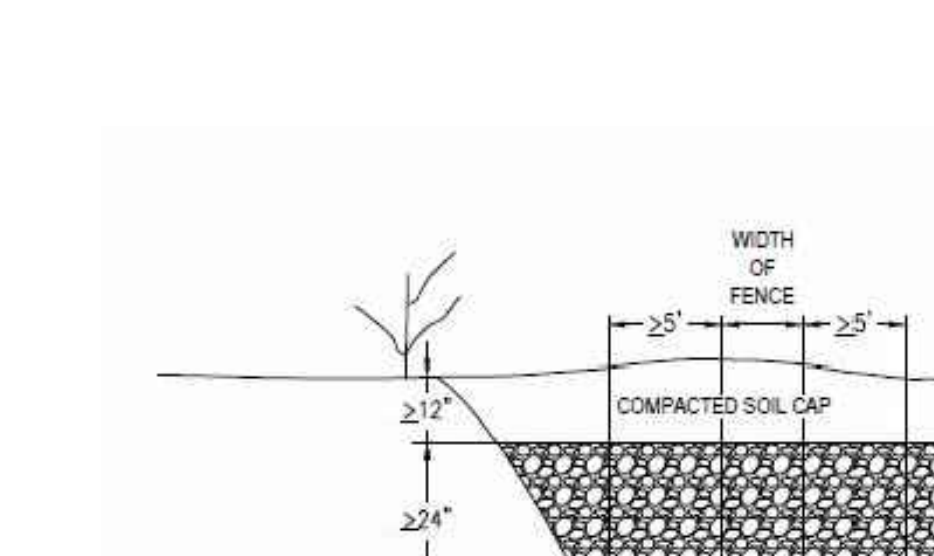
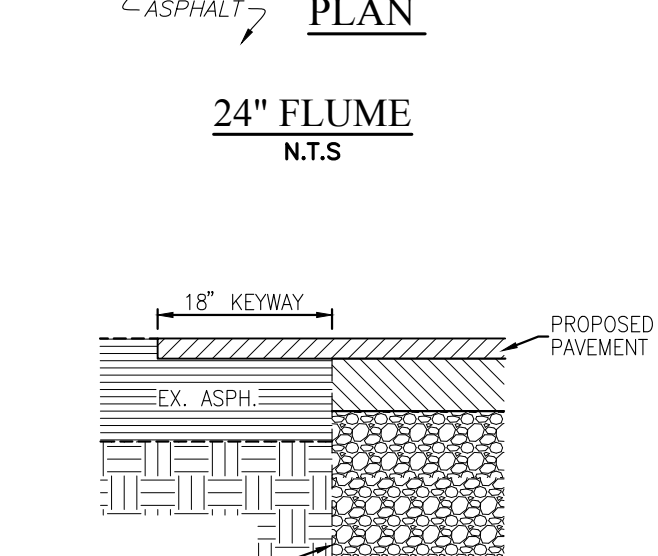
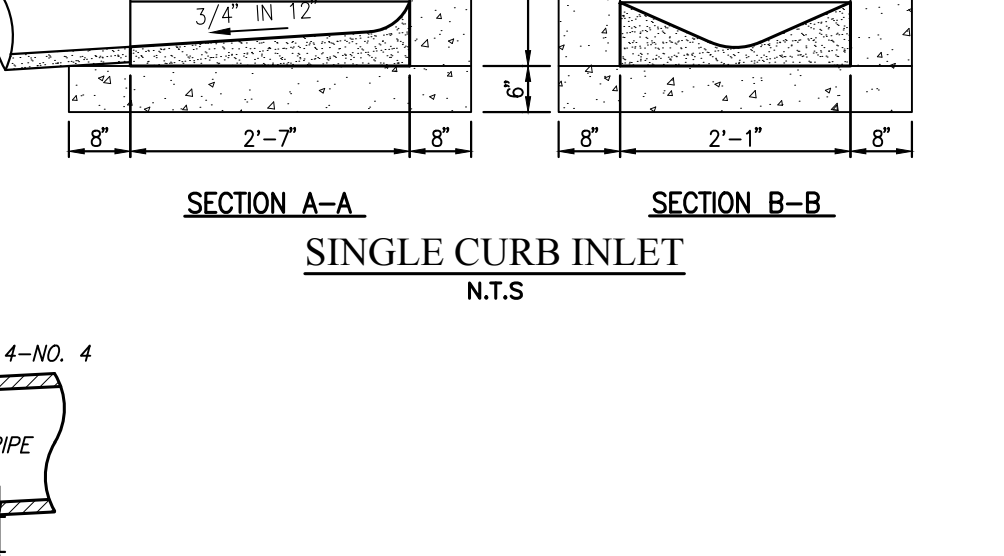
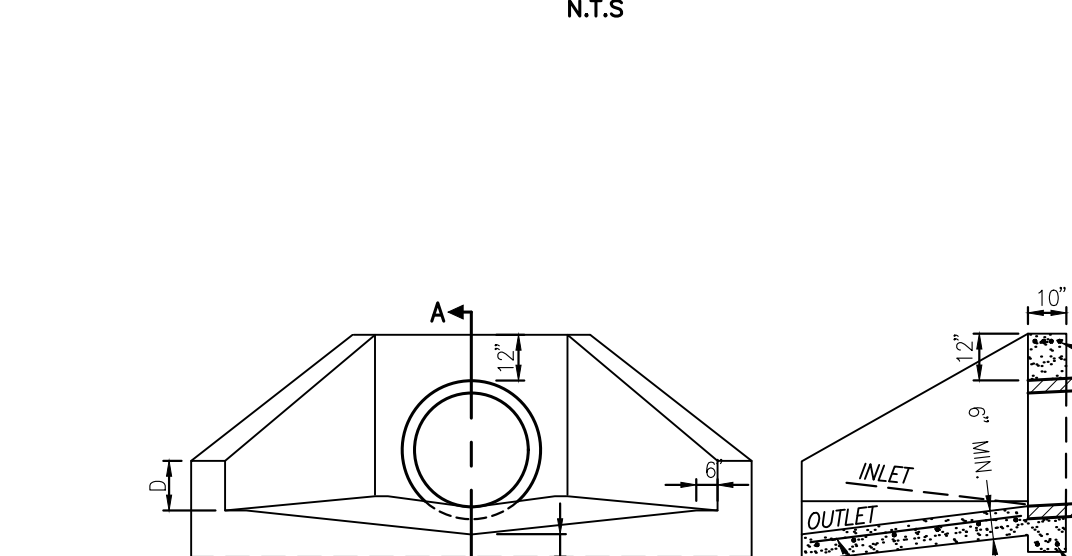
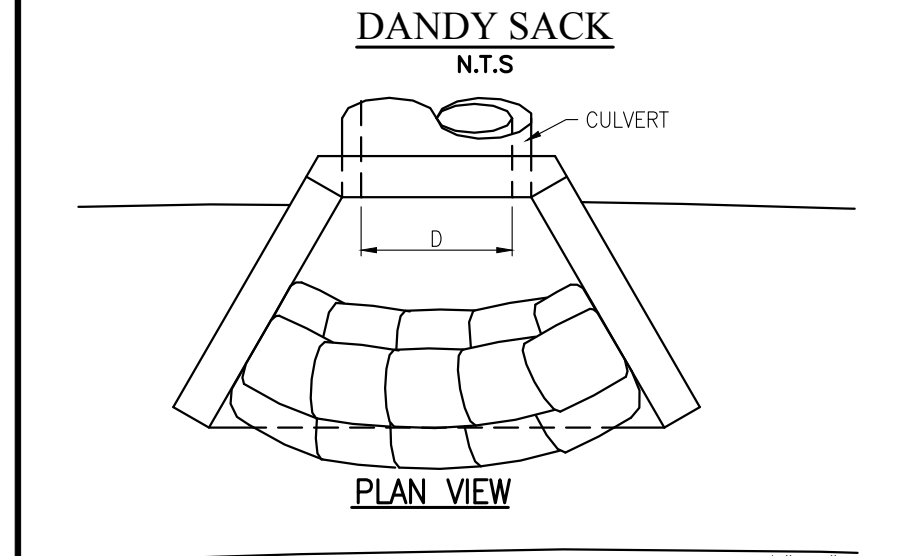
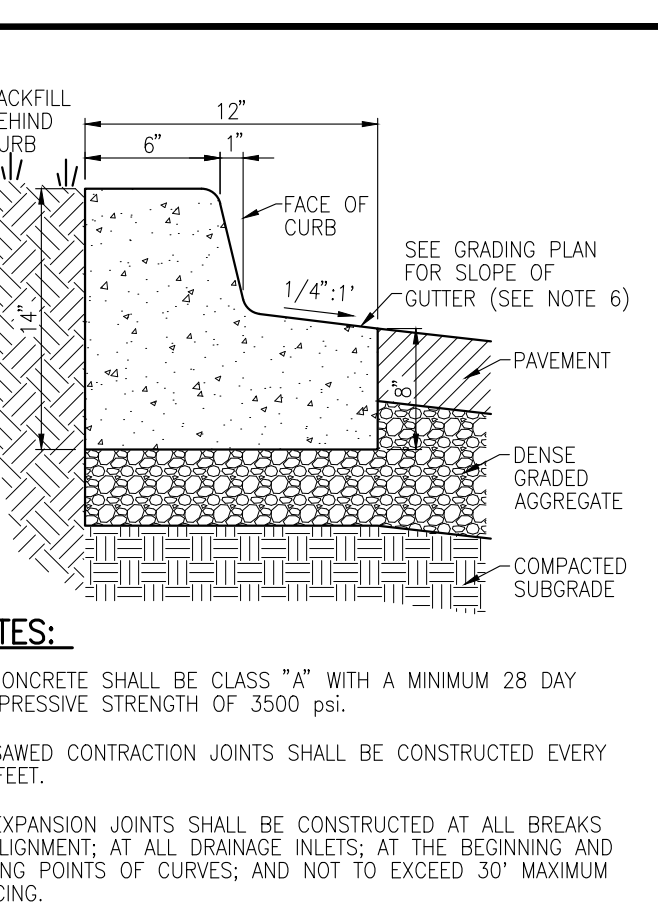
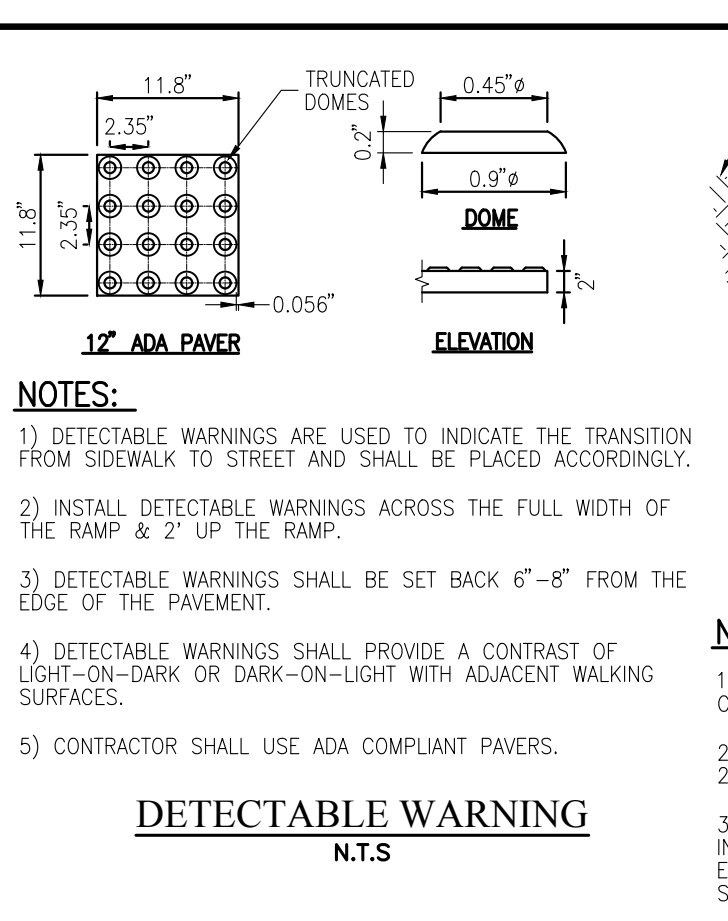
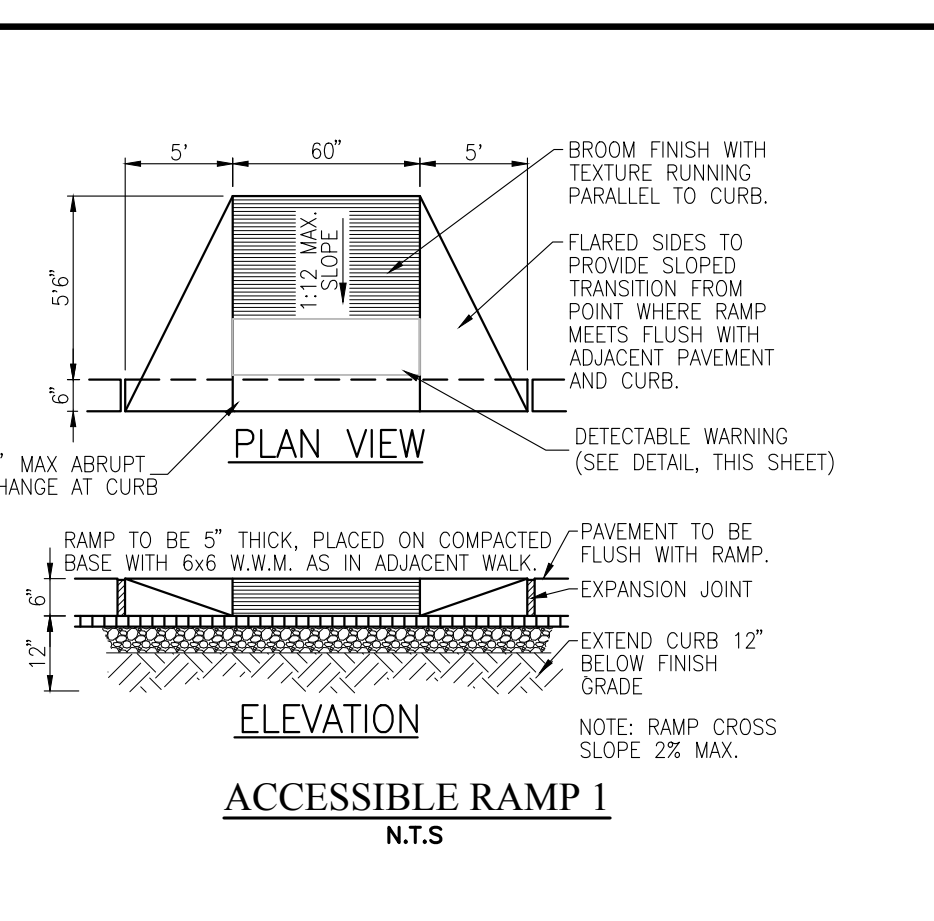
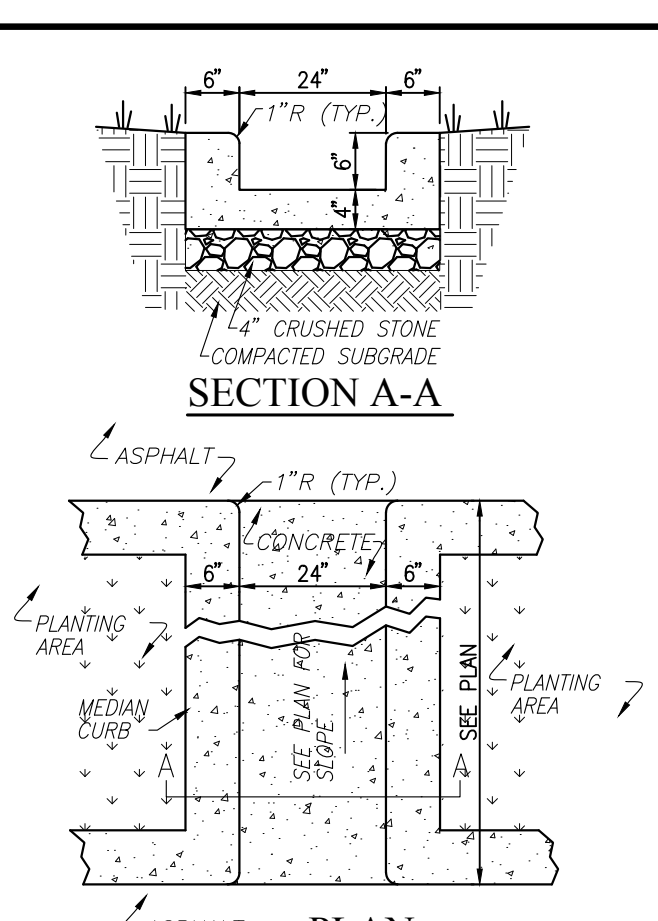
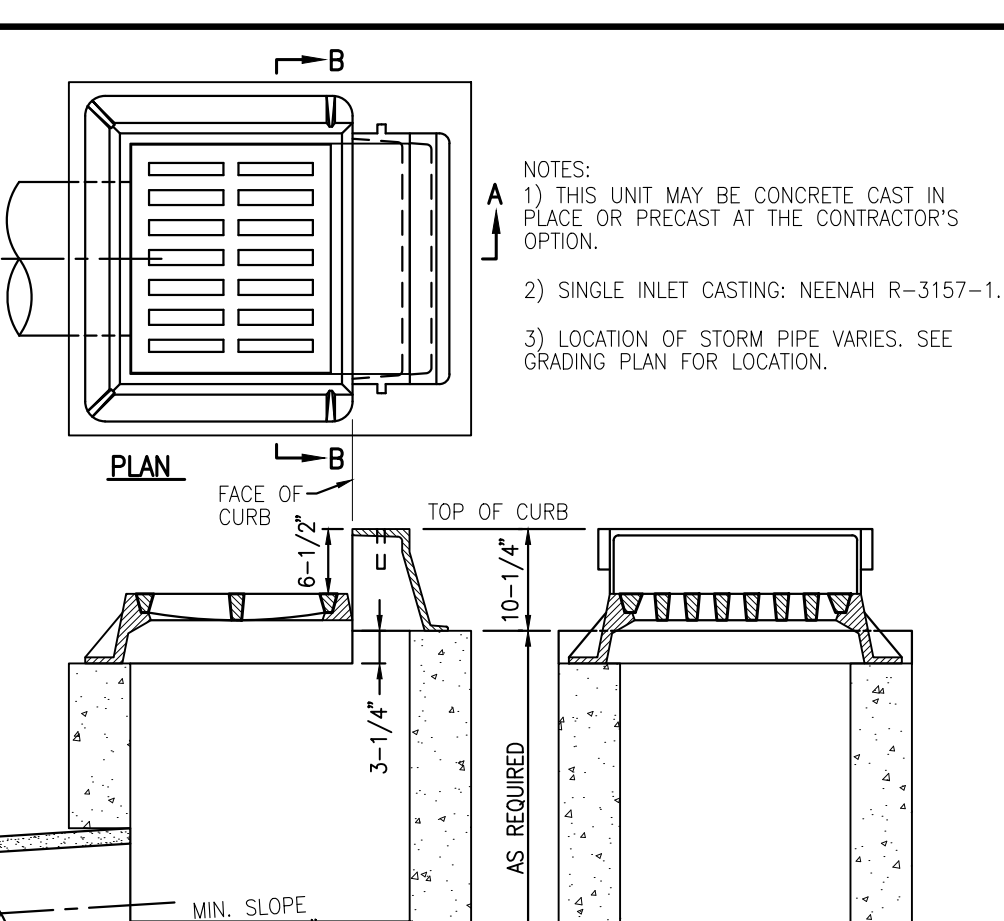
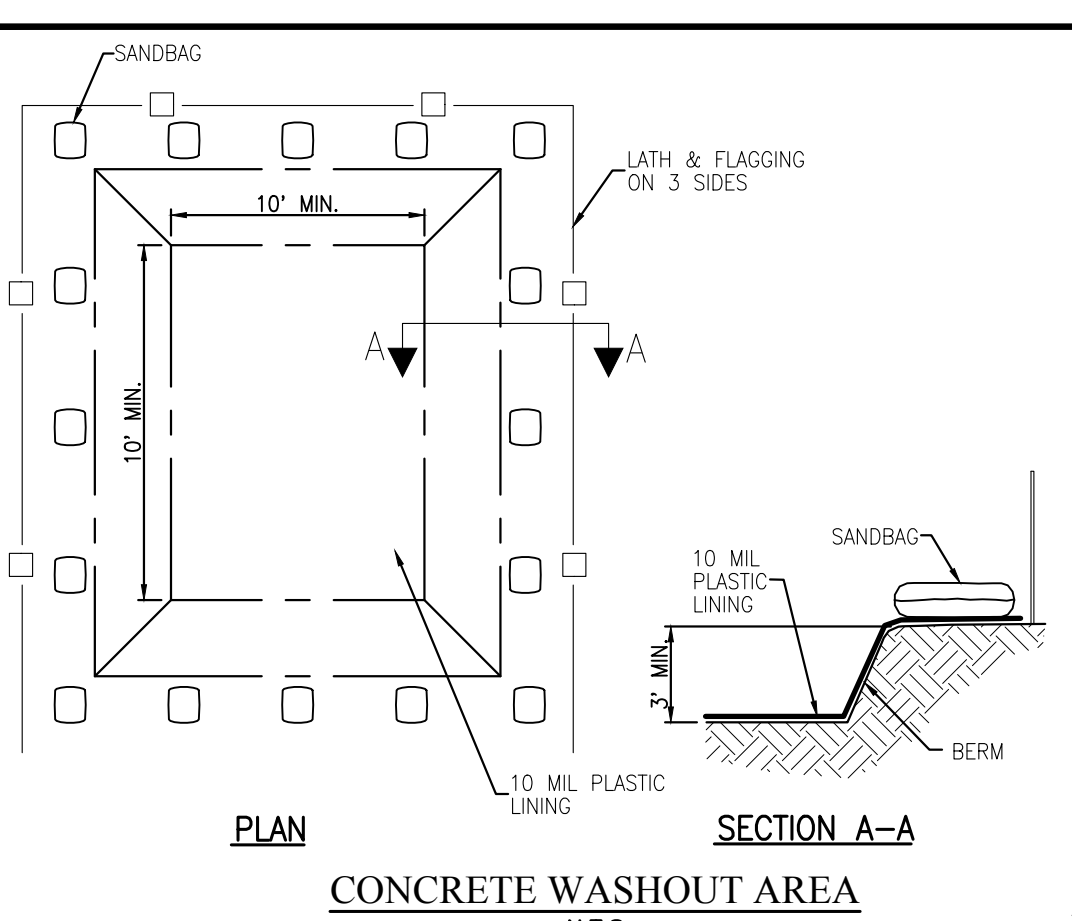
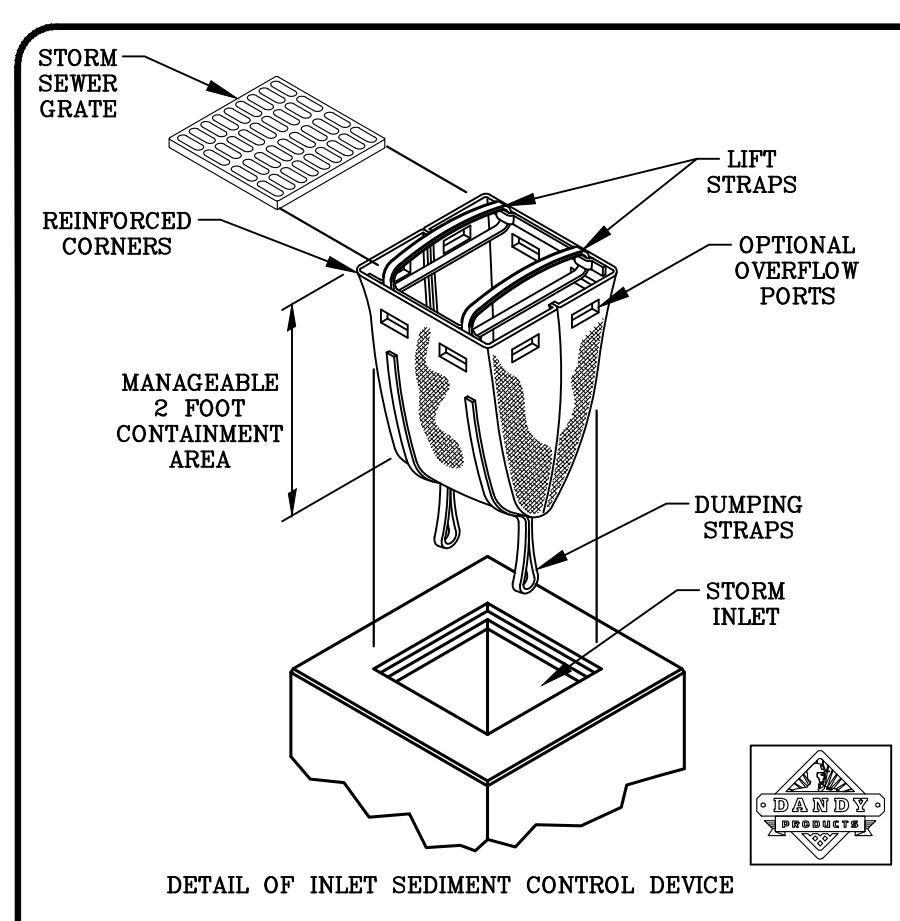
**SWPP PLAN**

STATE OF KENTUCKY  
 DANIELLE V.S. DRESCH  
 29813  
 LICENSED PROFESSIONAL ENGINEER  
 29-MAR-21

JOB NO: 20064  
 HORIZ. SCALE: 1"=20'  
 VERTICAL SCALE: N/A  
 DESIGNED BY: DD  
 DETAILED BY: SK  
 CHECKED BY: CD  
 DATE: MARCH 2021

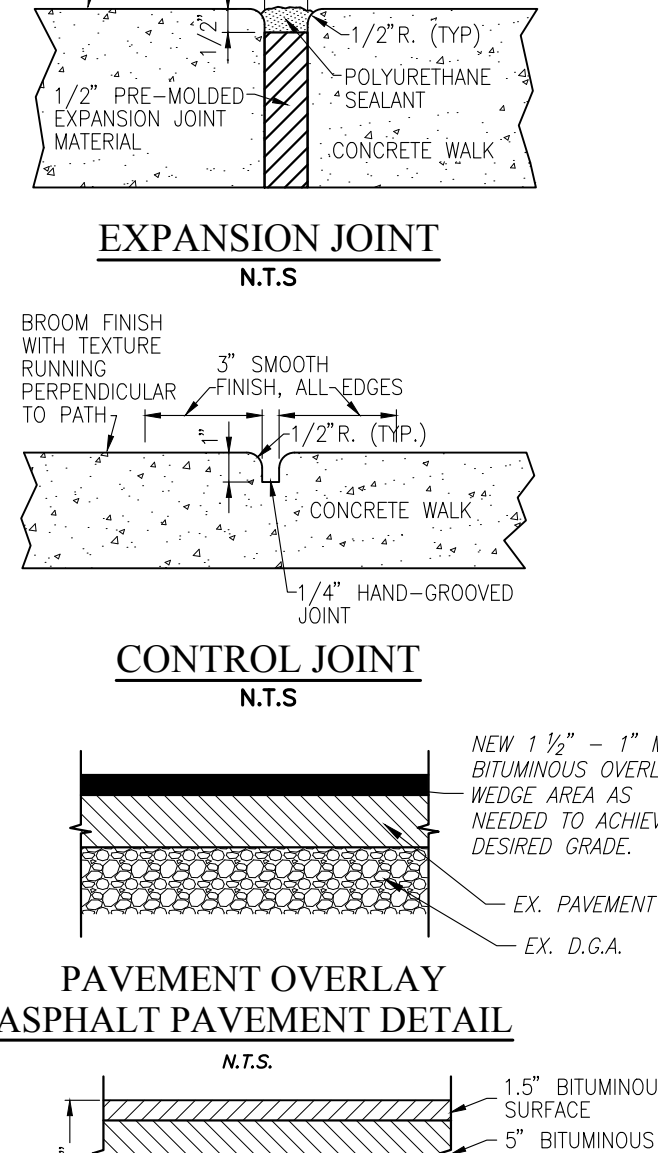
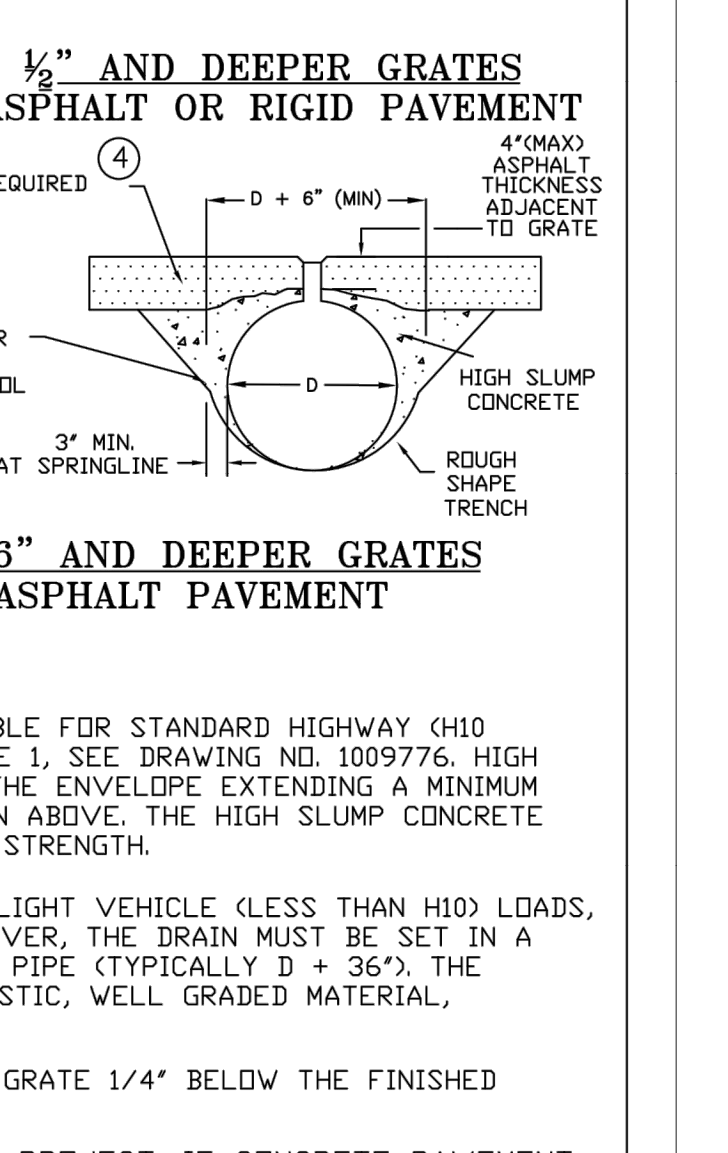
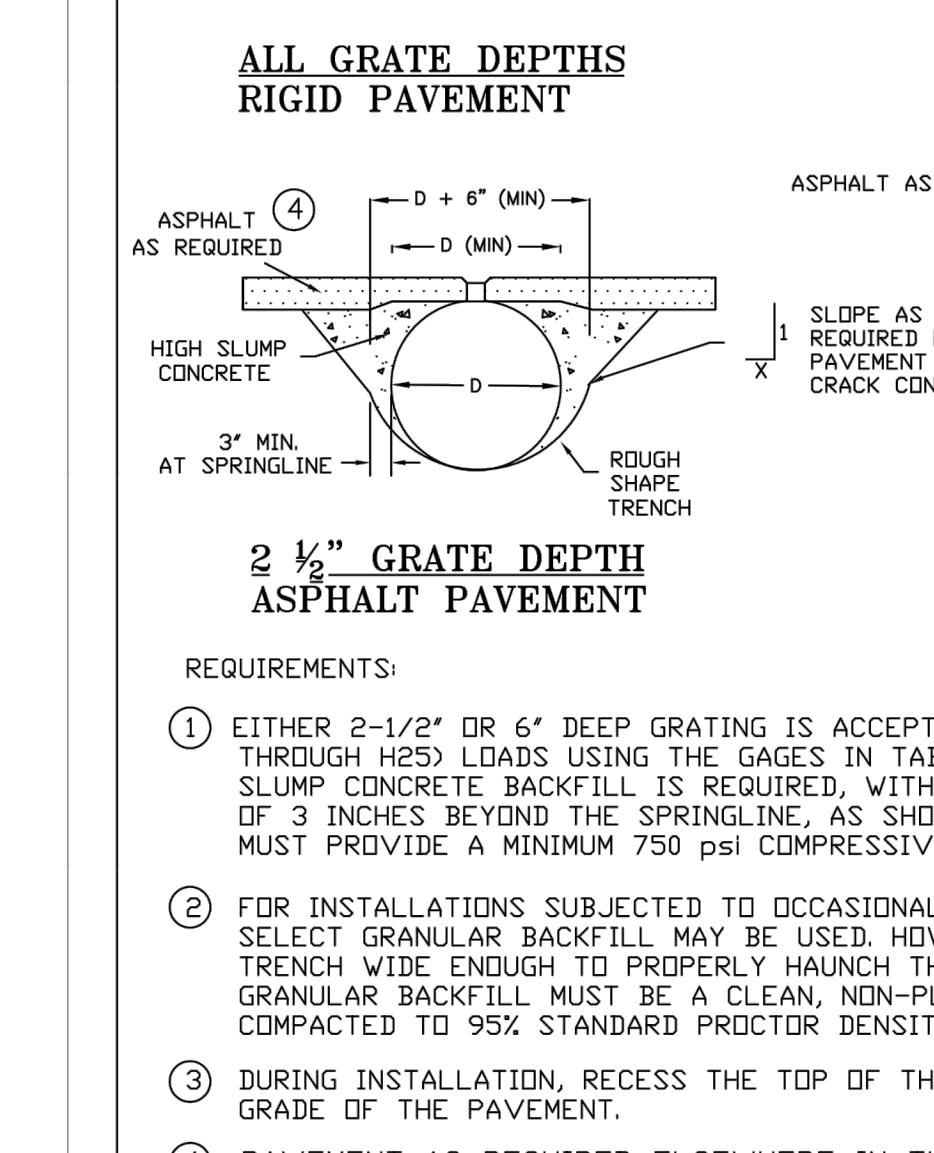
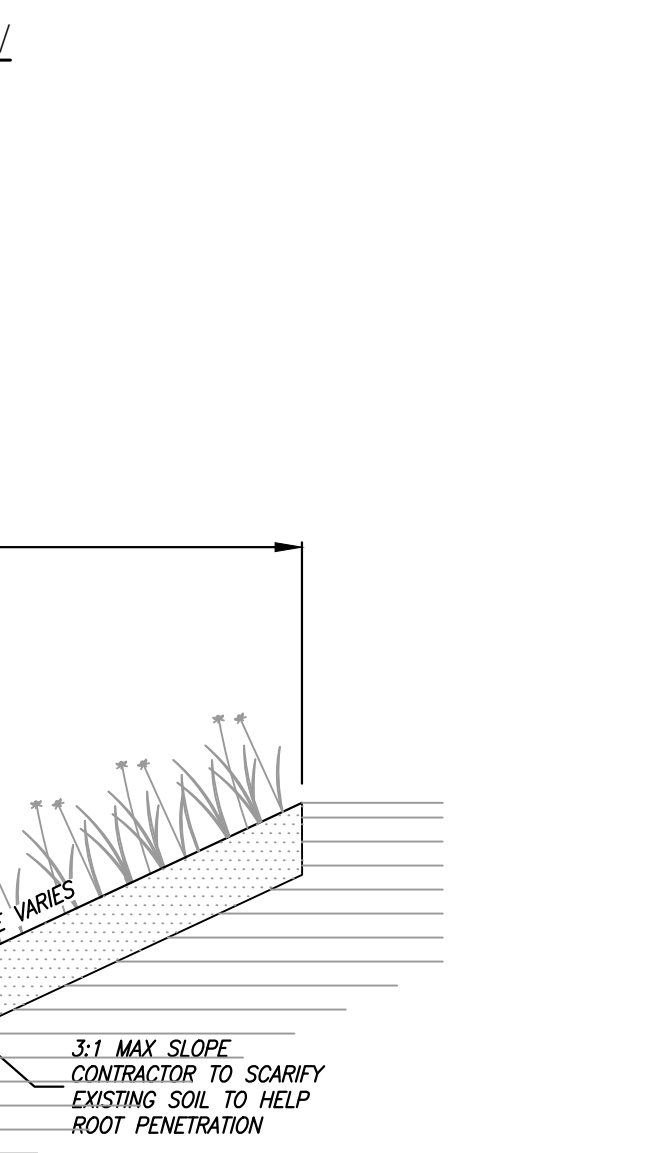
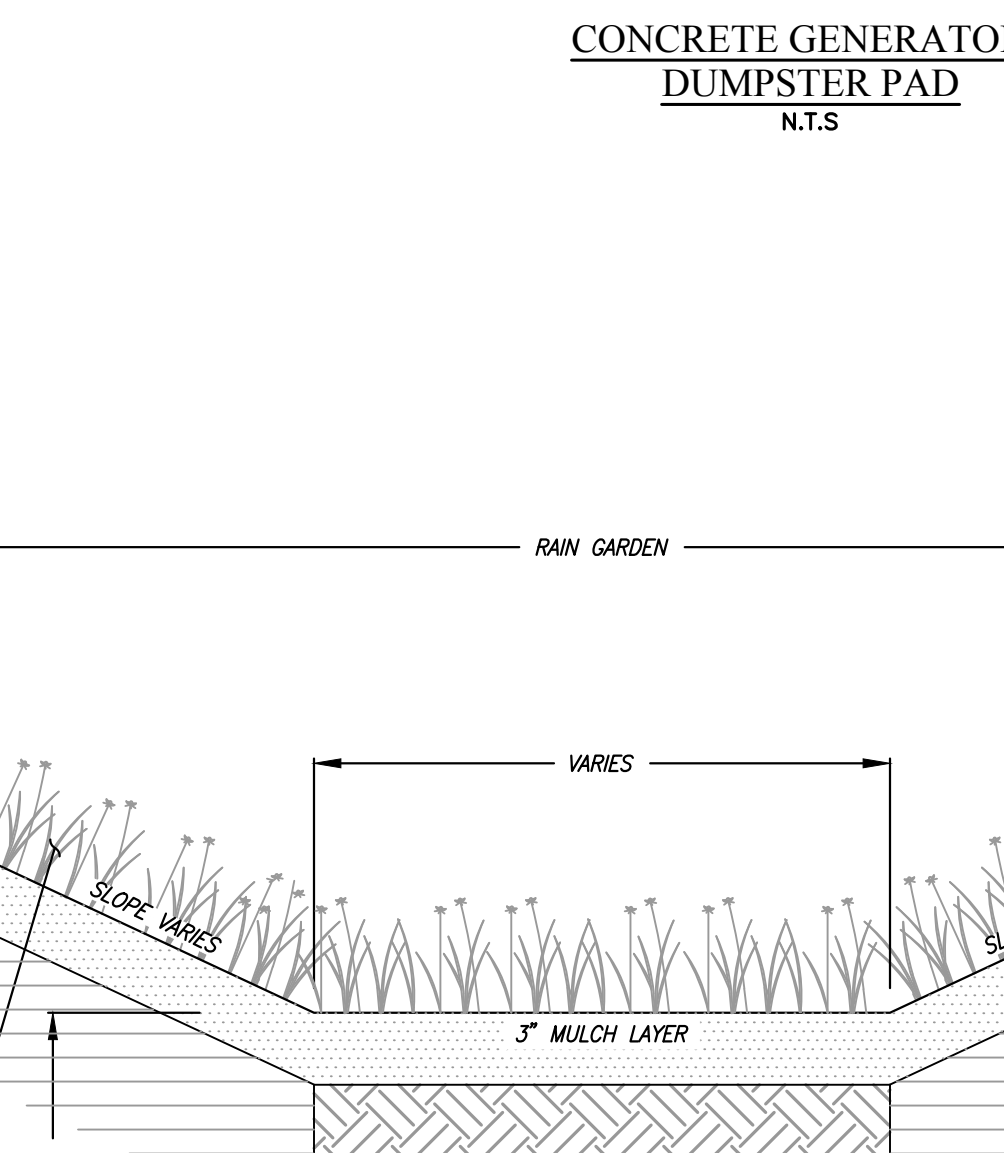
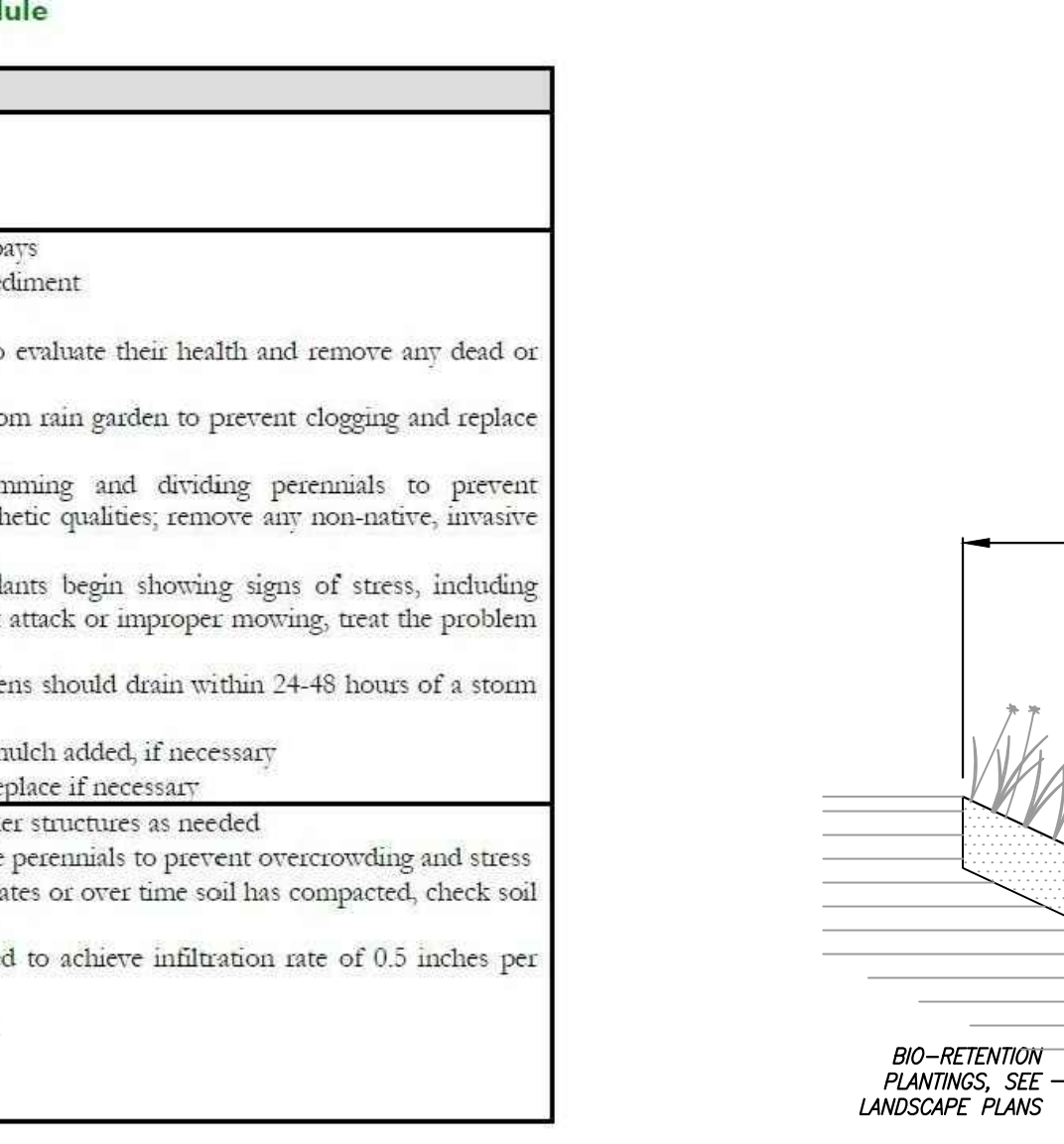
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**C6.0**  
 of 8





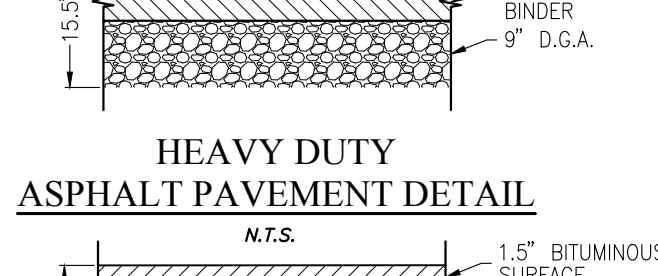
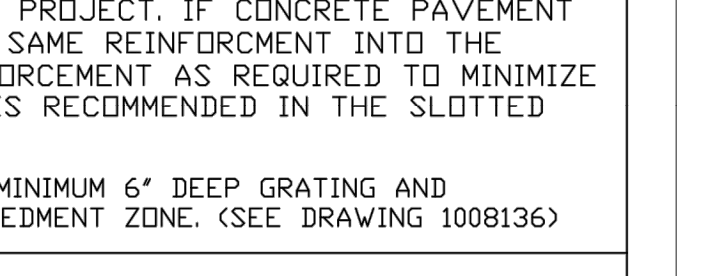
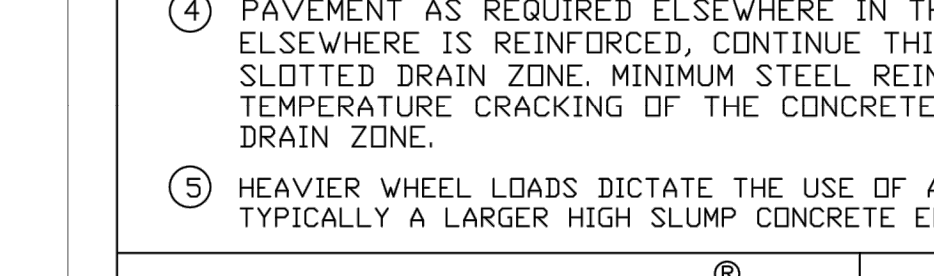
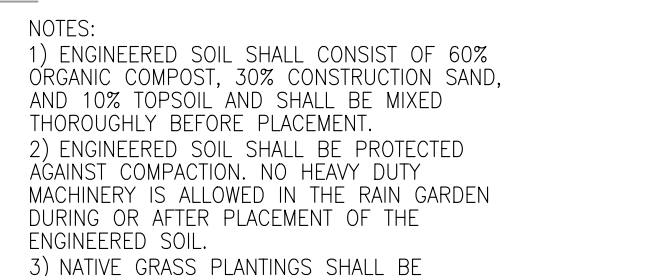
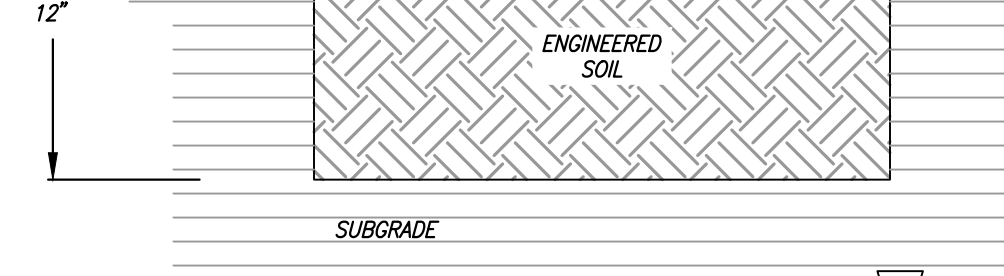
**Table 18.7-A. Bioswales & Rain Gardens Maintenance Schedule**

Schedule	Activity
Monthly during the growing season	<ul style="list-style-type: none"> <li>Prune and control weeds</li> <li>Remove and replace dead or damaged plants</li> <li>Mow perimeter areas as needed</li> </ul>
Semi-annually in spring and fall	<ul style="list-style-type: none"> <li>Remove sediment, trash and debris from inlets/forebays</li> <li>Inspect inlet points for clogging and remove any sediment</li> <li>Inspect for erosion, silt or gullies and repair</li> <li>Herbaceous trees and shrubs should be inspected to evaluate their health and remove any dead or severely diseased vegetation</li> <li>Remove fallen, clipped or trimmed plant material from rain garden to prevent clogging and replace dead plants</li> <li>Develop/adjust plant maintenance plan for tinning and dividing perennials to prevent overcrowding and stress and to achieve desired aesthetic qualities; remove any non-native, invasive species</li> <li>Inspect plants for health and signs of stress; if plants begin showing signs of stress, including drought, flooding, disease, nutrient deficiency, insect attack or improper mowing, treat the problem or replace the plants</li> <li>Observe infiltration rates after rain events; rain gardens should drain within 24-48 hours of a storm event</li> <li>Mulching depth should be inspected and additional mulch added, if necessary</li> <li>Evaluate areas containing low flow stone or gravel, replace if necessary</li> </ul>
2-3 times	<ul style="list-style-type: none"> <li>Replace/repair inlets, outlets, scour protection or other structures as needed</li> <li>Implement plant maintenance plan to trim and divide perennials to prevent overcrowding and stress</li> <li>If the rain garden is not meeting desired infiltration rates or over time soil has compacted, check soil infiltration rates by performing a percolation test</li> <li>Re-seed or replace soil and mulch layers as needed to achieve infiltration rate of 0.5 inches per hour</li> <li>When removing soil for replacement, take to landfill</li> </ul>



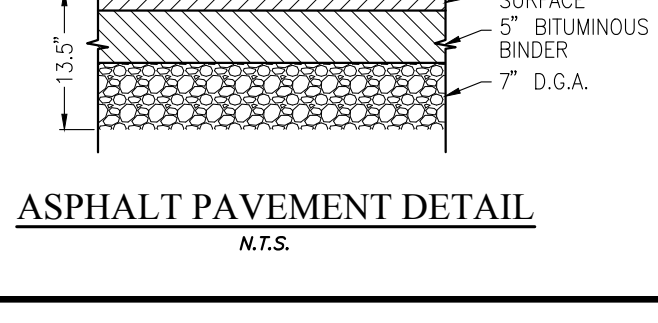
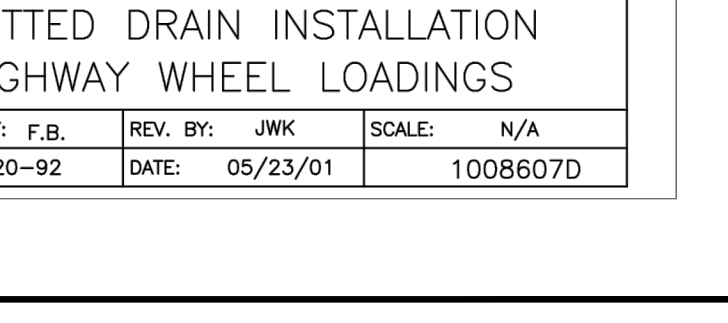
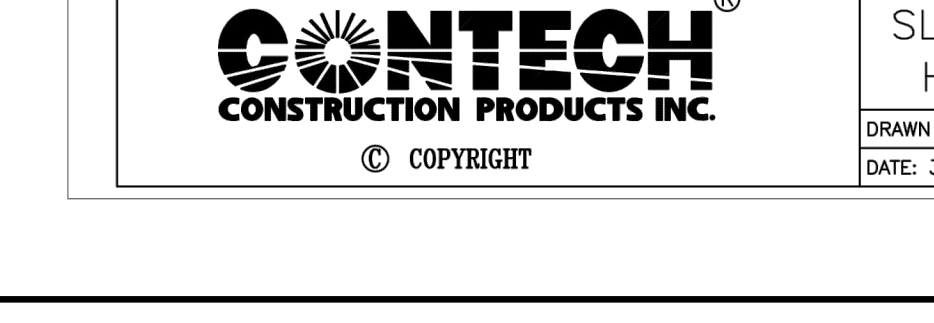
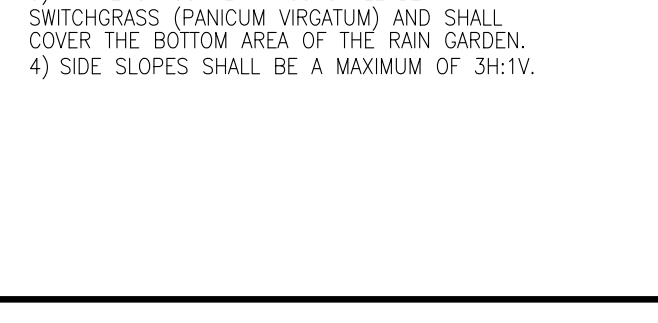
**UTILITY NOTE:**  
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811 (PHONE NO. 811) TWO (2) WORKING DAYS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

**TEMPORARY BENCHMARK DESCRIPTIONS:**  
TBM #1 MAGNIPOLE ELEVATION = 543.52



Revision	Date	Description	SK	DD	DD
1	3/26/21	AGENCY REVIEW	SK	DD	DD

The New Look For Digging Safely in Kentucky  
**Kentucky 811**  
Call 811 Before You Dig



**HERITAGE ENGINEERING, LLC**  
602 South Shore Drive  
Louisville, KY 40202  
(502) 562-1412  
(502) 562-1413 Fax

**DENTON FLOYD REAL ESTATE GROUP**  
1024 S. 3RD STREET  
LOUISVILLE, KY 40203

**CONSTRUCTION PLANS FOR RESTAURANT / RETAIL**  
3980 FORT CAMPBELL BOULEVARD  
HOPKINSVILLE, KY 42440

**DANIELLE V.S. DRESCH**  
29813  
LICENSED PROFESSIONAL ENGINEER  
29-MAR-21

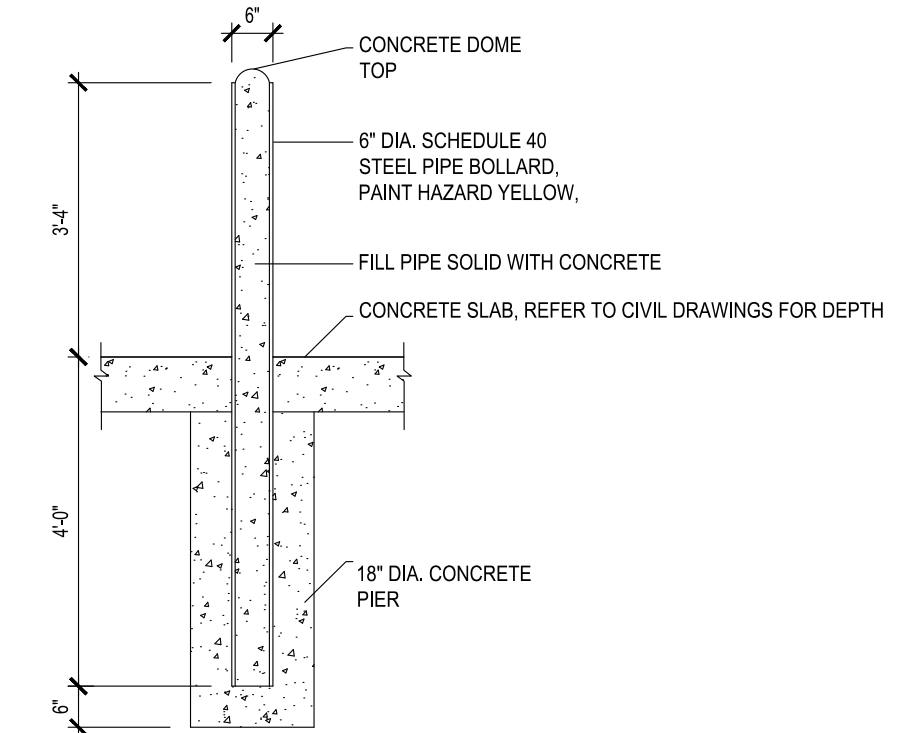
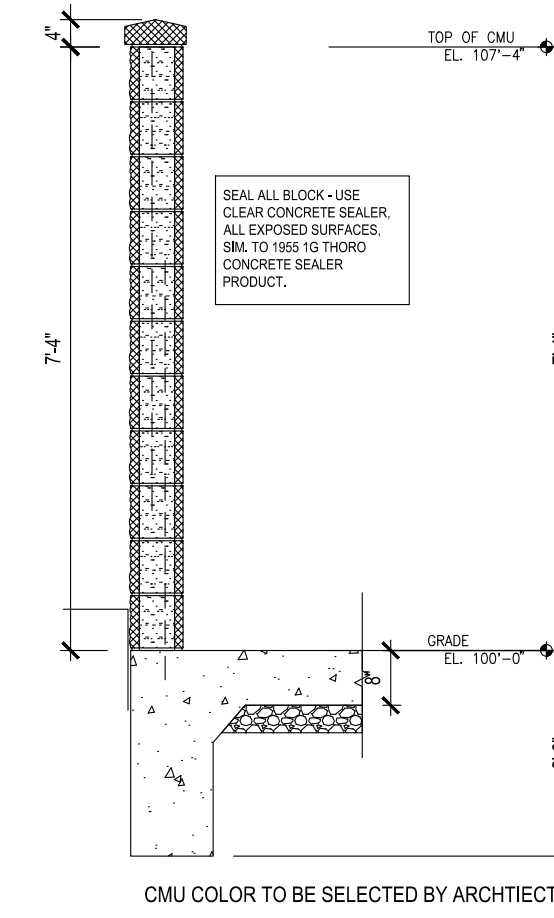
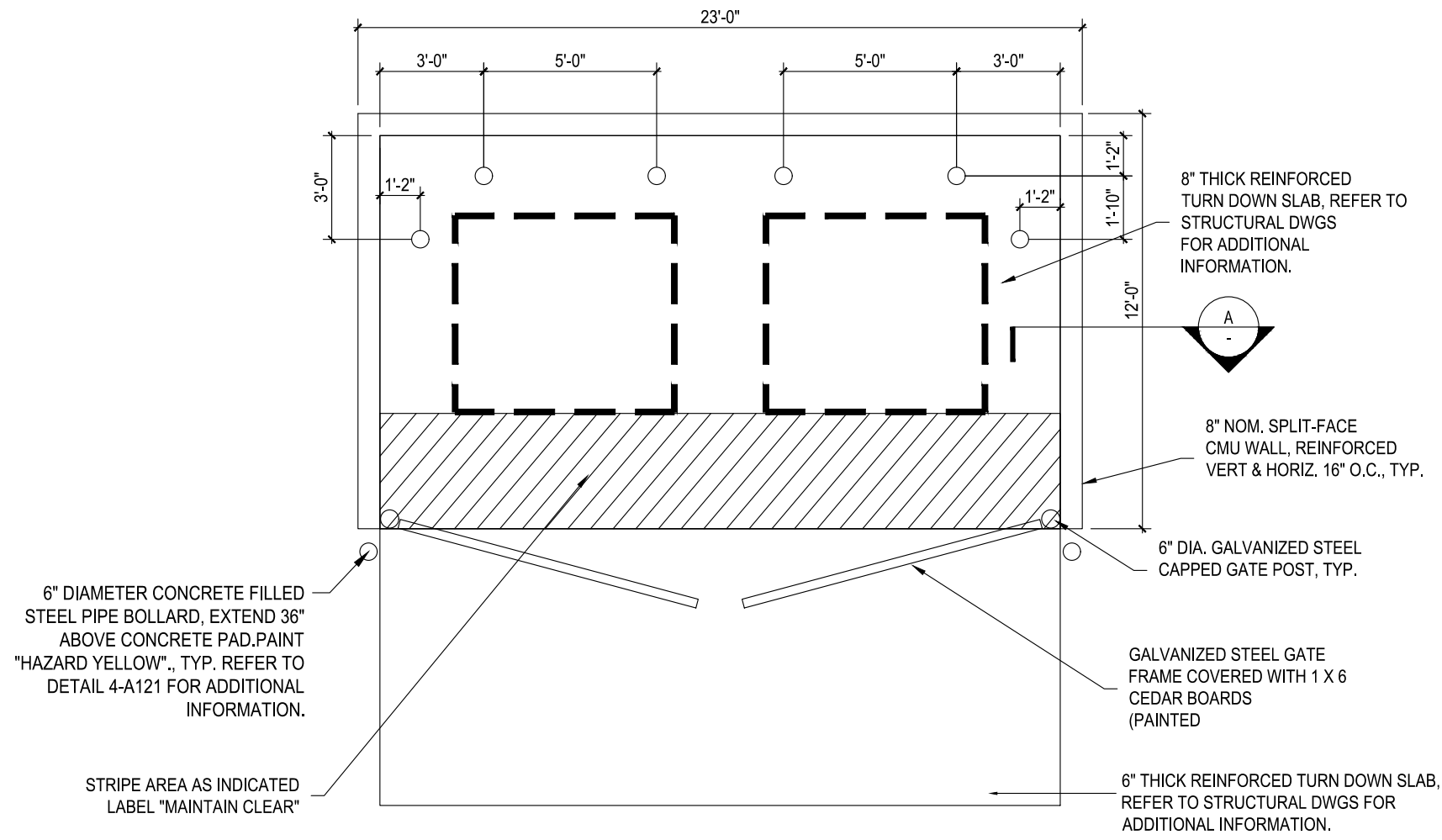
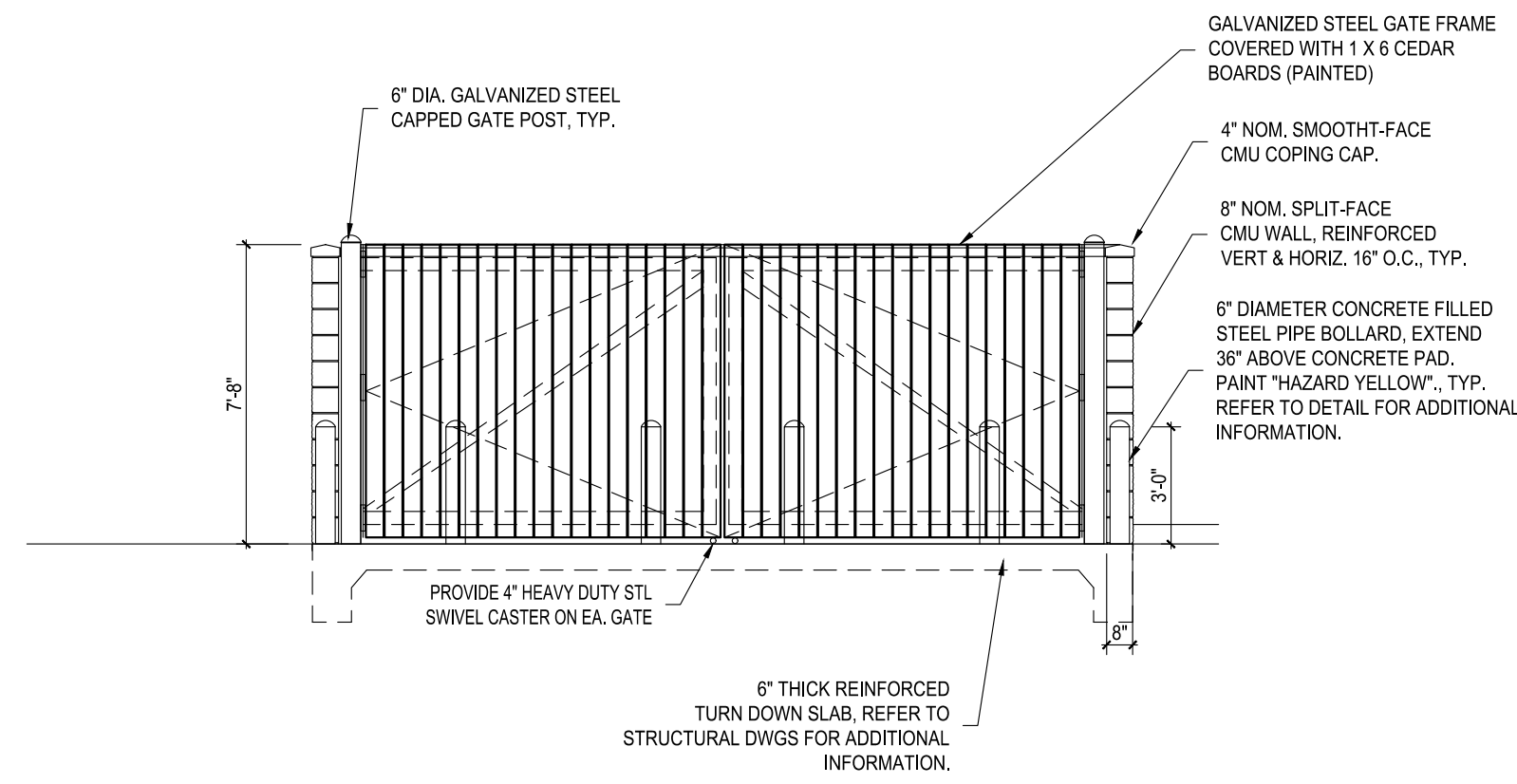
JOB NO: 20064  
HORIZ. SCALE: N/A  
VERTICAL SCALE: N/A  
DESIGNED BY: DD  
CHECKED BY: SK  
DATE: MARCH 2021

**C7.0**  
of 8

X:\AA-Projects-2020\20064 - Denton Floyd - Hopkinsville Retail Construction\20064 - DETAILS.dwg PLOT DATE: March 29, 2021 - 8:59am

**CONTECH CONSTRUCTION PRODUCTS INC.**  
SLOTTED DRAIN INSTALLATION HIGHWAY WHEEL LOADINGS  
DRAWN BY: F.B. REV. BY: JWK SCALE: N/A  
DATE: 3-20-92 DATE: 05/23/01 100B607D

X:\AA-Projects-2020\20064 - Denton Floyd - Hopkinsville Retail\Construction\20064 - DETAILS.dwg PLOT DATE: March 29, 2021 - 8:59am



DUMPSTER SCREEN DETAIL  
N.T.S.

**UTILITY NOTE:**  
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**TEMPORARY BENCHMARK DESCRIPTIONS:**  
TBM #1  
MAGNIPOLE  
ELEVATION = 543.52

Revision	Date	Description	Detailed By	Chk'd By	Approved By
1	3/26/21	AGENCY REVIEW	SK	DD	DD



ENGINEER:

**HERITAGE ENGINEERING, LLC**

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Jeffersville, TN 47130  
(812) 280-8201  
(812) 280-6281 Fax

642 South 10th Street  
Louisville, KY 40202  
(502) 562-1412  
(502) 562-1413 Fax

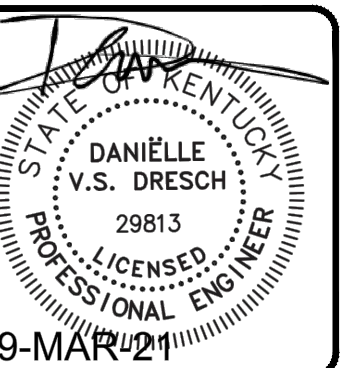
OWNER/DEVELOPER:

**DENTON FLOYD  
REAL ESTATE GROUP**  
1024 S. 3RD STREET  
LOUISVILLE, KY 40203

PROJECT:

**CONSTRUCTION PLANS  
FOR  
RESTAURANT / RETAIL**  
3980 FORT CAMPBELL BOULEVARD  
HOPKINSVILLE, KY 42240

DETAIL SHEET



JOB NO:	20064
HORIZ. SCALE:	N/A
VERTICAL SCALE:	N/A
DESIGNED BY:	DD
DETAILED BY:	SK
CHECKED BY:	CD
DATE:	MARCH 2021

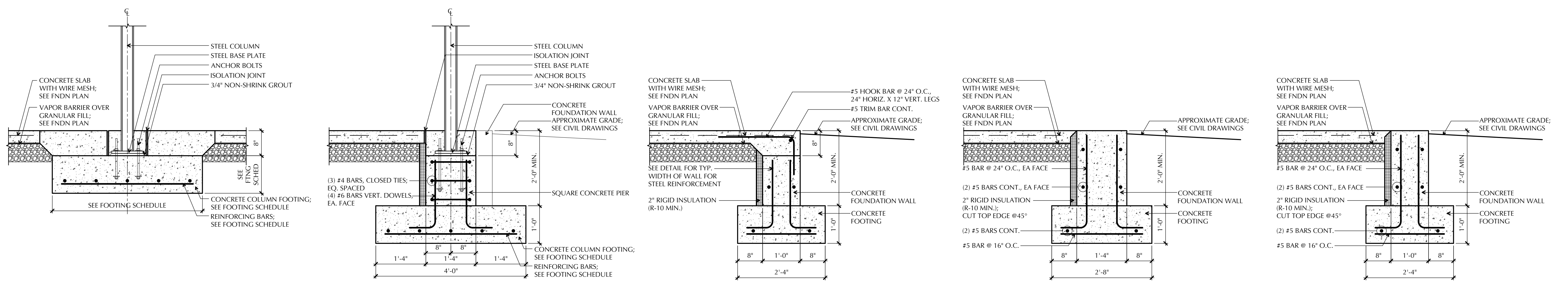
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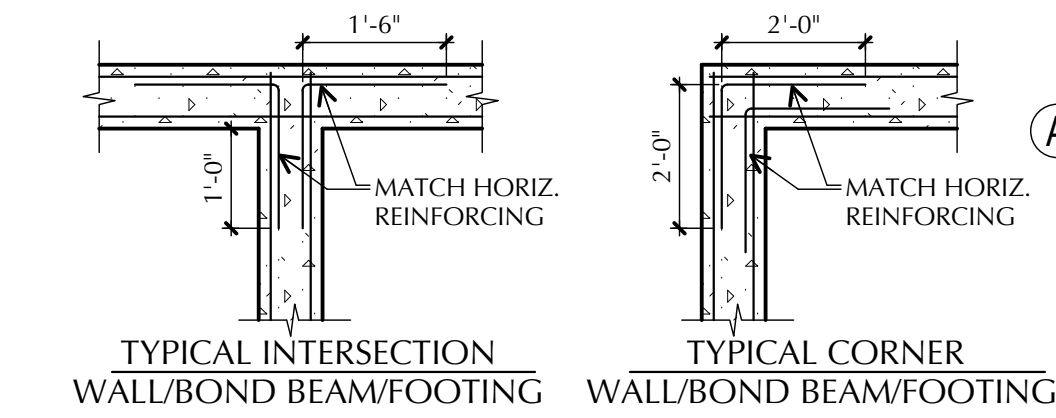
### Foundation General Notes

- ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. ALL CONCRETE EXPOSED TO TEMPERATURE CHANGES TO HAVE 4-6% AIR ENTRAINMENT.
- MINIMUM CONCRETE PROTECTION FOR STEEL: 3/4" FOR SLABS, 1-1/2" FOR WALLS, AND 3" FOR FOOTINGS.
- MINIMUM DEPTH FOR ALL FOOTINGS SHALL BE 2'-0" BELOW FINISH GRADE, OR AS OTHERWISE NOTED OR DETAILED.
- ALL FOOTINGS MUST BE ON UNDISTURBED EARTH. FOOTINGS ON FILL ARE PROHIBITED.
- REINFORCING STEEL SHALL BE 60 KSI, DEFORMED BARS.
- DRAINAGE FILL SHALL BE CRUSHED STONE OR GRAVEL.
- ALL CONCRETE SLABS TO RECEIVE ONE COAT 'KURE-N-SEAL'.
- SAW CUT CONTROL JOINTS IN CONCRETE SLAB AT COLUMN LINES AND ELSEWHERE AS SHOWN ON DRAWINGS USING 'SOFT-CUT' METHOD, SAME DAY OF POUR. CONTROL JOINTS TO BE SPACED 12'-6" O.C. MAX., EACH DIRECTION.
- APPLY TERMITE TREATMENT OVER ENTIRE UNDER-SLAB AREA OF BUILDING, ALONG INTERIOR SIDE OF FOUNDATION WALLS, GRADE BEAMS, BUILDING EXPANSION JOINTS, OPENINGS, PENETRATIONS, AND ALL PLANNED INTERIOR PARTITIONS.



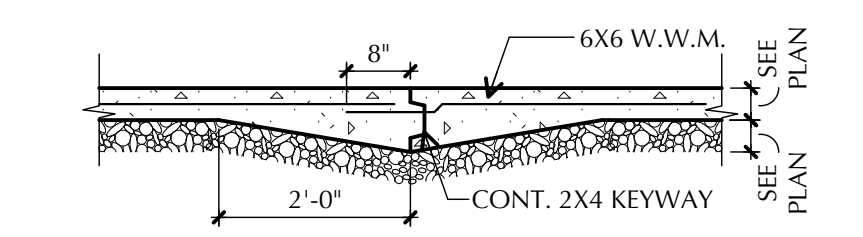
Footing Schedule (F)		
IDEN	SIZE	REINFORCING
F1	4'-0" x 4'-0" x 1'-0"	(5) #5 x 42" E.W. BOTTOM
F2	4'-0" x 4'-0" x 1'-0"	(5) #5 x 42" E.W. BOTTOM TIE INTO PERIMETER FNDN

Column Schedule (C)			
IDEN	SIZE	BASE PLATE	TOP PLATE
C1	HSS 4" x 4" x 3/8" VERIFY HEIGHT REQ'D	10" x 10" x 3/4" (4) 3/4" O ANCHOR BOLTS 8" EMBEDMENT INTO FTNG	10" x 10" x 3/4"
C2	HSS 4" x 4" x 3/8" VERIFY HEIGHT REQ'D	10" x 10" x 3/8" (4) 3/4" ANCHOR BOLTS 12" EMBEDMENT INTO PIER	10" x 10" x 3/4"



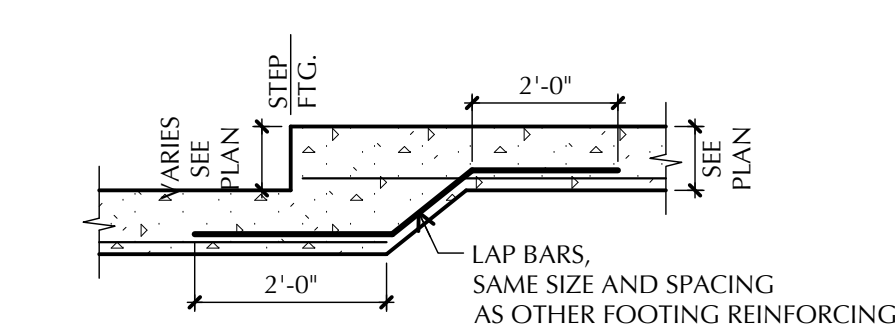
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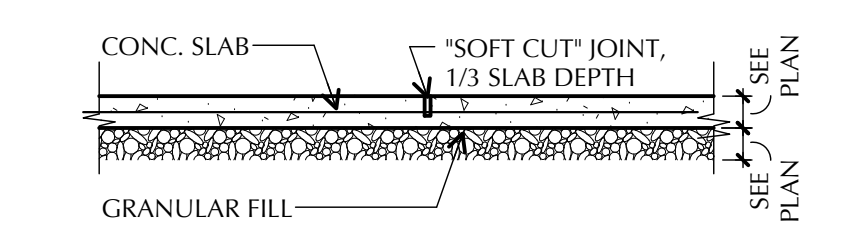
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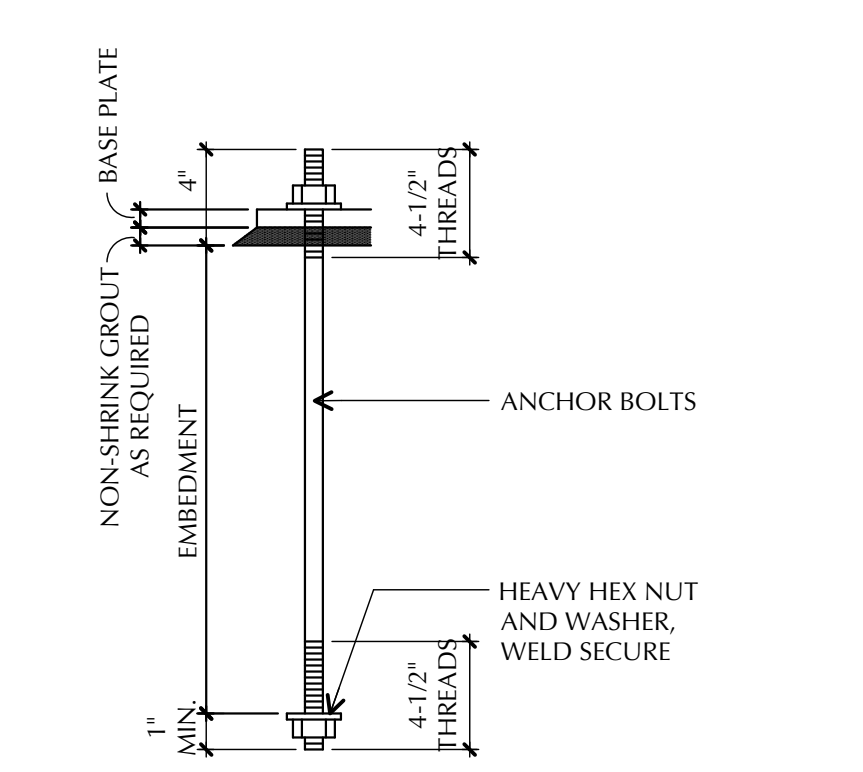
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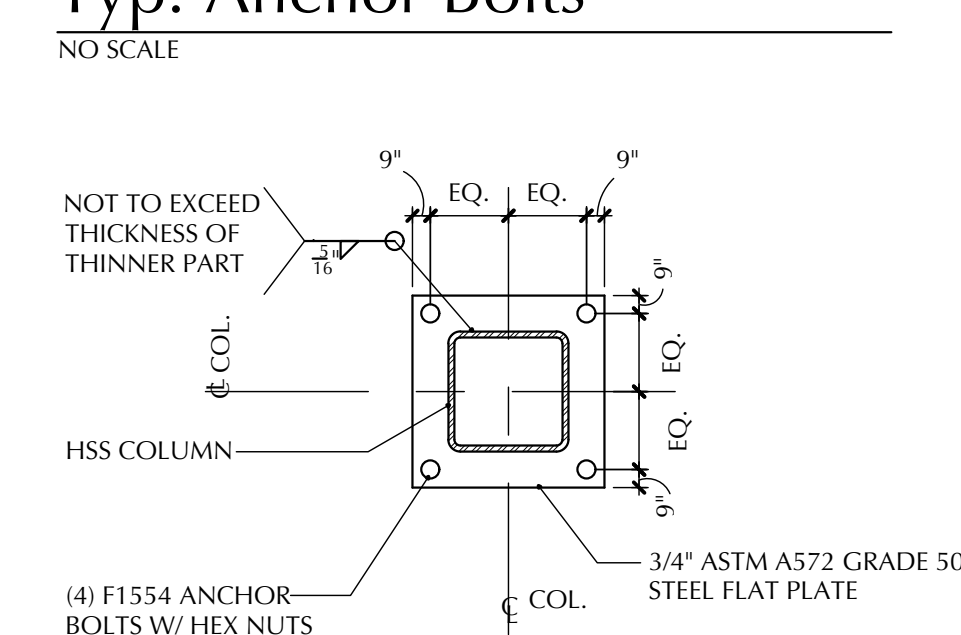
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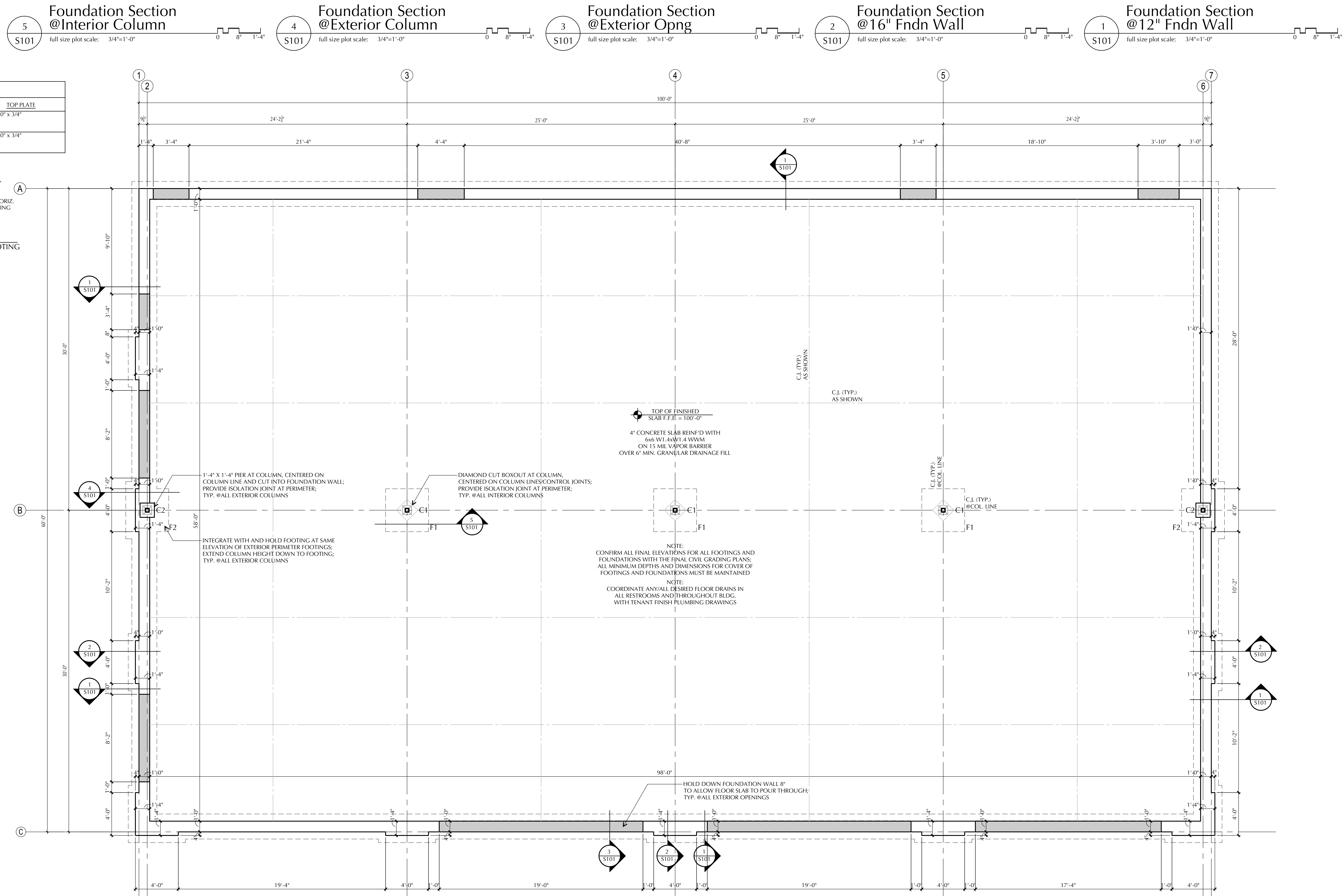
### Typ. Anchor Bolts

NO SCALE



### Typ. Column Base Plate

NO SCALE



Building Shell-  
Foundation Plan

full size plot scale: 1/4"=1'-0"

ARCHITECTURE & DESIGN  
Quartermaster Court - Jeffersonville, IN 47130  
jamie.lake@jaksearch.com - 502.802.8797

124

**DENTON FLOYD**  
REAL ESTATE GROUP

1024 South 3rd Street - Louisville, KY 40203  
cpacc@dentonfloyd.com - 502.339.0611

PROJECT NO: 21-03-01

DATE: 03/11/2021

DRAWN: J. LAKE

REVIEWED: J. LAKE

REVISION:

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2021 NEW BUILDING SHELL  
**HOPKINSVILLE  
RETAIL CENTER**

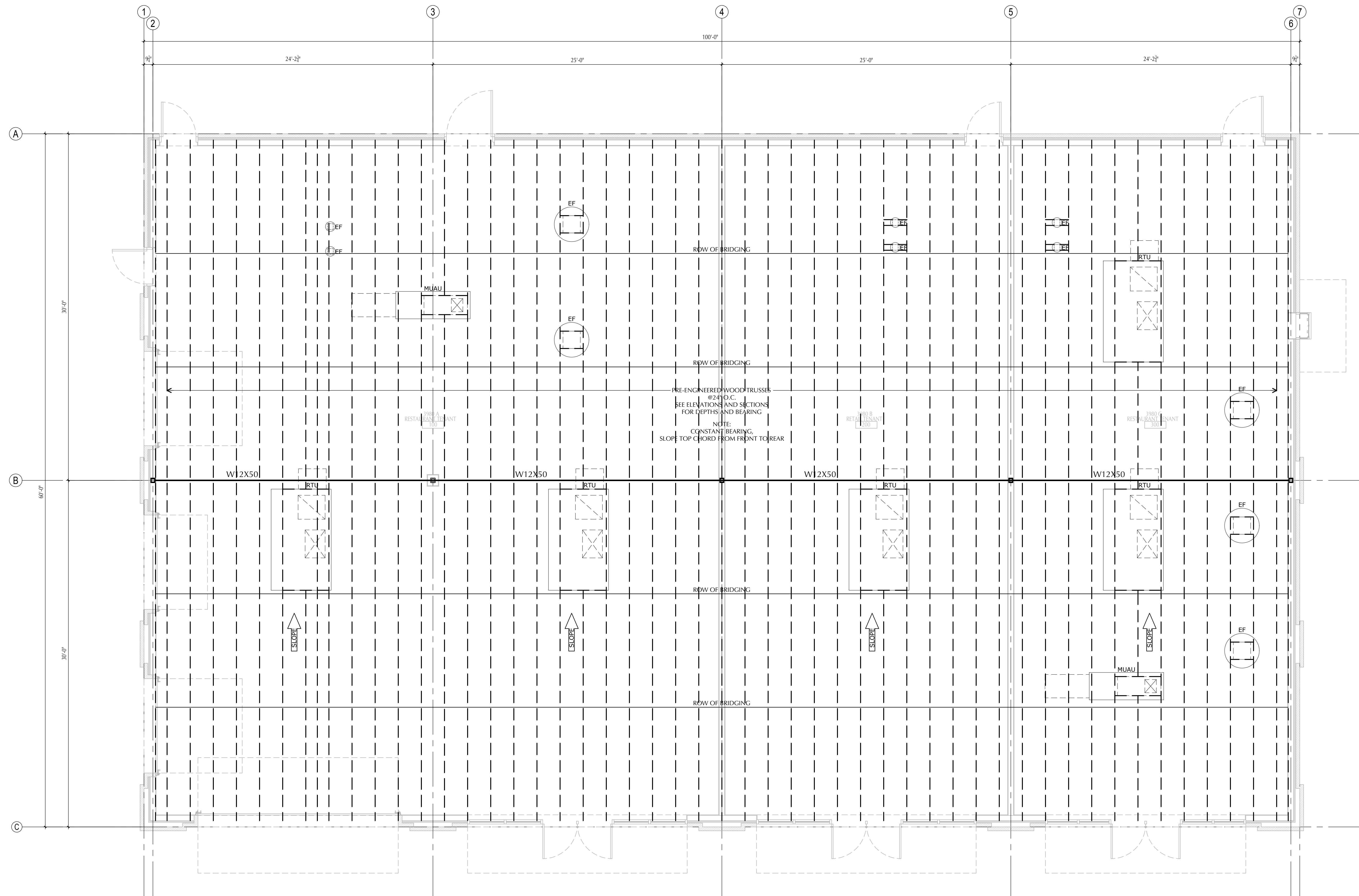
3980 Ft. Campbell Boulevard - Hopkinsville, KY 42240

**S101**

**Pre-Engineered Wood Trusses General Notes**

1. ALL PRE-ENGINEERED WOOD TRUSSES, CONFIGURATIONS, AND MEMBERS TO BE DESIGNED BY THE PRE-ENGINEERED WOOD TRUSS MANUFACTURER TO MEET THE INTENT OF THE DESIGN HEREIN.
2. COORDINATE ALL BOXOUTS FOR OPENINGS REQUIRED THRU ROOF AND WITHIN TRUSS LAYOUT WITH LOCATIONS OF ROOFTOP UNITS AND ROOFTOP EQUIPMENT, AS INCLUDED IN FUTURE TENANT BUILDOUTS. ANTICIPATED ROOFTOP EQUIPMENT INDICATED ON PLAN AND ROOF PLAN. VERIFY WITH BUILDING OWNER FOR FINAL EQUIPMENT REQUIRED.
3. COORDINATE ALL LOADING REQUIREMENTS FOR WEIGHTS OF ROOFTOP UNITS, ROOFTOP EQUIPMENT, AND CURBS, AS INCLUDED IN FUTURE TENANT BUILDOUTS. VERIFY WITH BUILDING OWNER FOR FINAL EQUIPMENT REQUIRED.
4. COORDINATE ALL FRAMING MEMBERS AND LOCATIONS OF BRIDGING.

Building Load Requirements	
<b>Roof Loads</b>	
LIVE LOAD	20 PSF
SPRINKLERS	3 PSF
LIGHTS	3 PSF
MECHANICAL/PLUMBING	3 PSF
COLLATERAL	3 PSF
DEAD LOAD	BY MANUF.
<b>Snow Loads</b>	
	30 PSF
<b>Wind Loads</b>	
	120 MPH
	EXPOSURE B
<b>Earthquake Seismic Zone</b>	
	I
<b>Seismic Design Category</b>	
	B
<b>Risk Category</b>	
	II



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PROJECT NO:	21-03-01
DATE:	03/17/2021
DRAWN:	J. LAKE
REVIEWED:	J. LAKE
REVISION:	

**j.lake**  
Professional Engineer  
No. 5066  
Kentucky State Board of Professional Engineers  
Professional Seal

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2021 NEW BUILDING SHELL  
**HOPKINSVILLE**  
**RETAIL CENTER**  
3980 Ft. Campbell Boulevard - Hopkinsville, KY 42240

### Architectural Plan Keynotes

- (A1) 1-HOUR RATED DEMISING WALL BETWEEN TENANT SPACES; CENTER ON STEEL COLUMN LINE; SEE PARTITION WALL DETAILS
- (A2) STEEL COLUMN CONCEALED WITHIN PARTITION WALL
- (A3) STEEL COLUMN CONCEALED WITHIN EXTERIOR STUD WALL
- (A4) FLURR AROUND STEEL COLUMN AS TIGHT AS POSSIBLE; 2X4 WOOD STUDS @16" O.C. WITH 5/8" GYP. BD. ON ALL SIDES
- (A5) INTERNALLY-ILLUMINATED SIGNAGE PANEL; PROVIDE ELECTRICAL BOX WITHIN EXTERIOR WALL WITH CONDUIT TO ABOVE FUTURE ACCESSIBLE CEILING; COORDINATE ROUGH-IN WITH OWNER'S SIGN VENDOR; SIGN TO BE IN FUTURE TENANT BUILDOUTS; SEE EXTERIOR ELEVATIONS
- (A6) DRIVE-THRU UNIT - BASIS OF DESIGN: "READY ACCESS"; BUMP OUT 2'; 27'-3/4"W X 48'-3/4"H WINDOW FRAME SIZE; 19"W X 18"H SERVICE OPENING; SEMI-AUTOMATIC OPERATION (B02-SEMI); OPERABLE PADDED HIP PLUNGER; CLEAR ANODIZED ALUMINUM FINISH, TINTED GLAZING; TELESCOPING NIGHT TIME SECURITY BAR
- (A7) EXTERIOR WALL SCONCE (TYPE "A"); SEE EXTERIOR ELEVATIONS; SEE FLOOR PLAN AND LIGHT FIXTURE SCHEDULE
- (A8) EXTERIOR WALL PACK (TYPE "B"); SEE EXTERIOR ELEVATIONS; SEE FLOOR PLAN AND LIGHT FIXTURE SCHEDULE
- (A9) EXTERIOR AWNING LIGHT (TYPE "C"); SEE EXTERIOR ELEVATIONS; SEE FLOOR PLAN AND LIGHT FIXTURE SCHEDULE

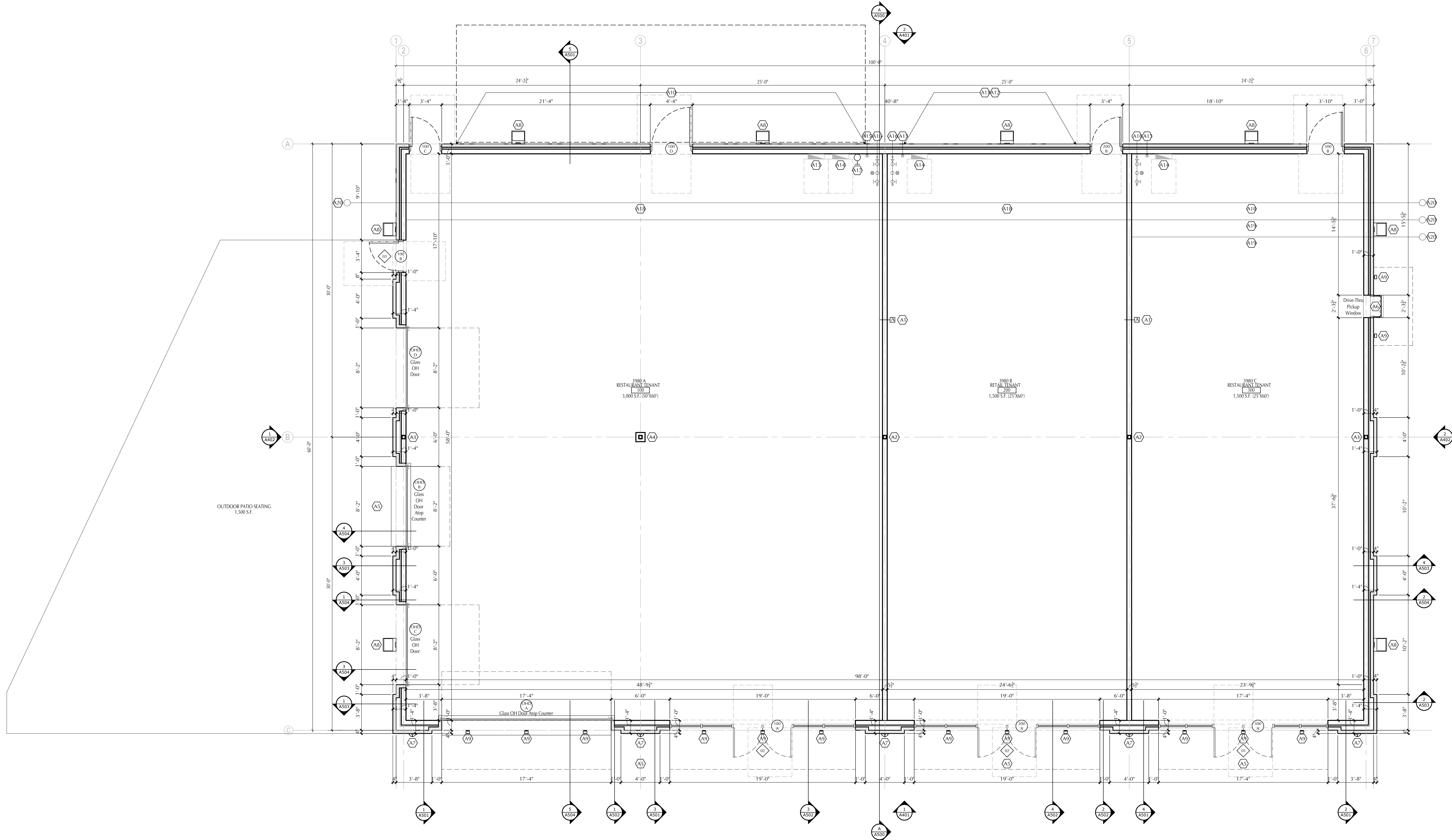
- (A10) LOCATION OF EXTERIOR WALK-IN COOLERS; COOLERS TO BE IN FUTURE TENANT BUILDOUT
- (A11) ELECTRICAL SERVICE ENTRANCE, METER, CT CABINET, DISCONNECT, ETC. MOUNTED ON EXTERIOR WALL IN AREA SHOWN; COORDINATE BETWEEN EGROSS DOOR AND FUTURE WALK-IN COOLERS; EXTEND ELECTRICAL SERVICE TO SERVE EACH TENANT SPACE
- (A12) NATURAL GAS SERVICE ENTRANCE AND METERS MOUNTED ON EXTERIOR WALL IN AREA SHOWN ADJACENT TO ELECTRICAL SERVICE; COORDINATE BETWEEN EGROSS DOOR AND FUTURE WALK-IN COOLERS; EXTEND GAS SERVICE TO SERVE EACH TENANT SPACE
- (A13) LOCATION OF HOUSE ELECTRICAL PANEL TO SERVE GENERAL BUILDING; COORDINATE LOCATION WITH OWNER
- (A14) LOCATION OF TENANT ELECTRICAL PANEL TO SERVE TENANT SPACE; TO BE IN FUTURE TENANT BUILDOUT; COORDINATE LOCATION WITH FUTURE TENANT
- (A15) LOCATION OF TENANT GAS SERVICE TO SERVE TENANT SPACE; TO BE IN FUTURE TENANT BUILDOUT
- (A16) COORDINATE LOCATION WITH FUTURE TENANT
- (A17) LOCATION OF TENANT DOMESTIC WATER SERVICE AND BACKFLOW PREVENTER TO SERVE TENANT SPACE; TO BE IN FUTURE TENANT BUILDOUT; COORDINATE LOCATION WITH FUTURE TENANT
- (A18) LOCATION OF FIRE SPRINKLER RISER TO SERVE ENTIRE BUILDING; EXTEND MAIN BRANCH TO EACH TENANT SPACE; EACH TENANT SPACE TO BE A SEPARATE SERVICE ZONE; BRANCH EXTENSIONS AND HEADS TO BE IN FUTURE TENANT BUILDOUT
- (A19) 6" SANITARY SEWER LINE ACROSS ENTIRE BUILDING; SEE CIVIL FOR EXTENSION AND CONNECTION TO CITY MAIN AND TAP; CONNECTIONS FROM EACH TENANT TO BE IN FUTURE TENANT BUILDOUT
- (A20) 6" GREASE LINE ACROSS ENTIRE BUILDING; SEE CIVIL FOR EXTENSION AND CONNECTION TO CITY MAIN AND TAP; CONNECTIONS FROM TENANT TO BE IN FUTURE TENANT BUILDOUT
- (A21) EXTERIOR CLEANOUT 5' FROM BUILDING AT END OF PIPING

### Architectural Plan General Notes

1. ALL CONTRACTORS WORKING ON THE PROJECT ARE TO VISIT THE PROJECT SITE AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR SCOPE OF WORK.
2. DIMENSIONS OF STUD WALLS ARE ACTUAL AND DIMENSIONED TO FROM THE FACE OF STUD. SEE SECTIONS AND DETAILS FOR SPECIFICS ON WALL CONSTRUCTION AT EACH TYPE OF WALL AND FACADAVENGER CONDITION.
3. DIMENSIONS OF MASONRY WALLS ARE NOMINAL AND DIMENSIONED TO FROM THE FACE OF MASONRY. SEE SECTIONS AND DETAILS FOR SPECIFICS ON WALL CONSTRUCTION AT EACH TYPE OF WALL AND FACADAVENGER CONDITION.
4. DIMENSIONS FOR OVERALL BUILDING ARE TO THE EXTERIOR FACE OF THE MASONRY.

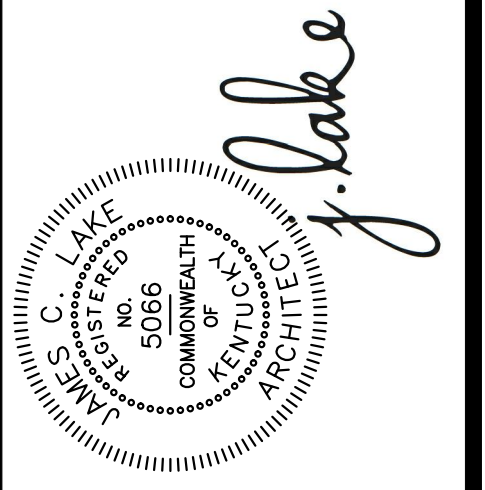
### Symbol Legend

- (A) DOOR IDENTIFICATION: (SEE DOOR SCHEDULES)
- (B) OVERHEAD DOOR IDENTIFICATION: (SEE DOOR SCHEDULES)
- (C) HOLLOW METAL FRAME IDENTIFICATION: (SEE DOOR AND FRAME ELEVATIONS)
- (D) ALUMINUM STOREFRONT FRAME IDENTIFICATION: (SEE DOOR AND FRAME ELEVATIONS)
- (E) PARTITION WALL TYPE: (SEE PARTITION WALL DETAILS)
- (F) PLAN KEYNOTE: SEE NOTES INDICATED ON EACH SHEET
- (G) SECTION CUT MARKER: ABOVE - DETAIL NUMBER BELOW - SHEET REFERENCE
- (H) ELEVATION MARKER: ABOVE - DETAIL NUMBER BELOW - SHEET REFERENCE
- (I) ROOM IDENTIFICATION: ABOVE - ARCHITECTURAL ROOM NAME BELOW - ARCHITECTURAL ROOM NUMBER



Building Shell -  
Architectural Floor Plan  
full size plot scale: 1/4"=1'-0"

PROJECT NO: 21-03-01  
DATE: 03/11/2021  
DRAWN: J. LAKE  
REVIEWED: J. LAKE  
REVISION:



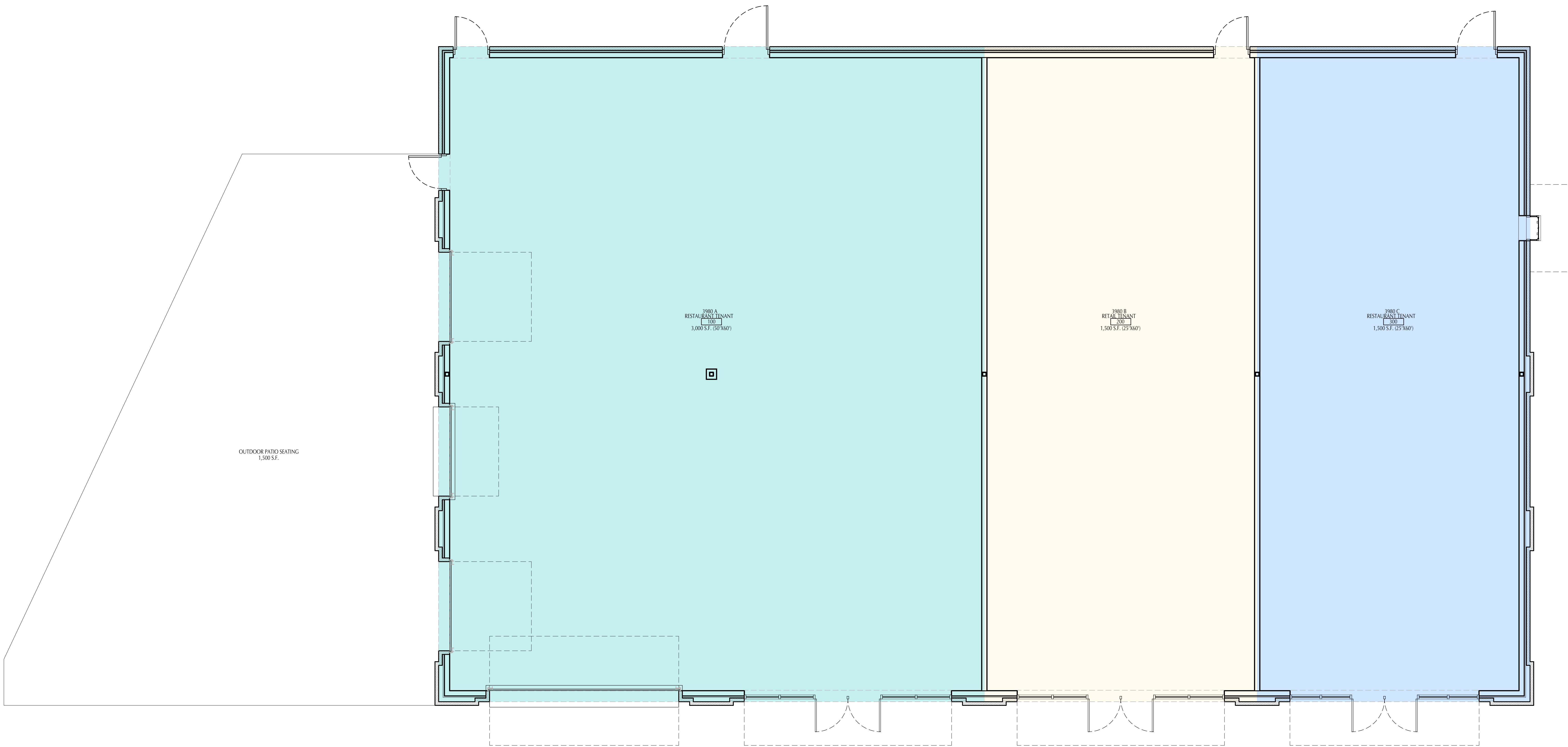
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2021 NEW BUILDING SHELL  
**HOPKINSVILLE  
RETAIL CENTER**  
3980 Ft. Campbell Boulevard - Hopkinsville, KY 42240

A101

**DENTON FLOYD**  
REAL ESTATE GROUP  
1024 South 3rd Street - Louisville, KY 40203  
cpace@dentonfloyd.com - 502.339.0611

**j.lake**  
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124 Quartermaster Court - Jeffersonville, IN 47130  
jamie.lake@jakearch.com - 502.802.8797



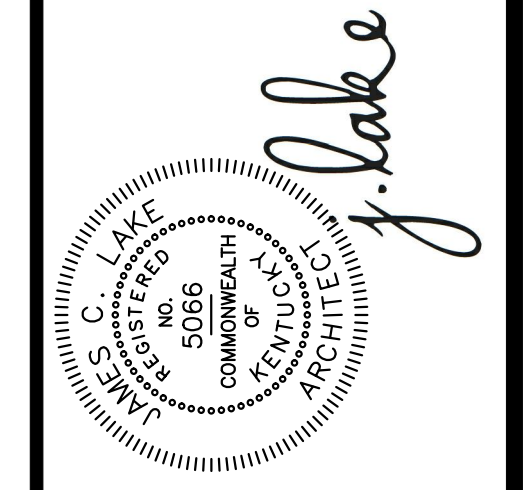
OUTDOOR PATIO SEATING  
1,300 S.F.

3000 A  
RESTAURANT TENANT  
300  
3,000 S.F. (25'x160')

3000 B  
RESTAURANT TENANT  
200  
1,500 S.F. (25'x60')

3000 C  
RESTAURANT TENANT  
200  
1,500 S.F. (25'x60')

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PROJECT NO:	21-03-01
DATE:	03/11/2021
DRAWN:	J. LAKE
REVIEWED:	J. LAKE
REVISION:	

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Door and Frame Schedule									
IDEN.	DOORS				FRAMES			HDWR	REMARKS
	SIZE (W X H X T)	MATERIAL	RATED	ELEV.	MATERIAL	LABEL	ELEV.		
100A	PAIR	3'-0" X 7'-0" X 1-3/4"	ALUM. S.F.	2	ALUM. S.F.	02	1		
100B		3'-0" X 7'-0" X 1-3/4"	ALUM. S.F.	2	ALUM. S.F.	03	2		
100C		3'-0" X 7'-0" X 1-3/4"	INSUL. MTL.	1	H. METAL	A	3	GALVALUME DOOR AND FRAME	
100D		4'-0" X 7'-0" X 1-3/4"	INSUL. MTL.	1	H. METAL	A	2	GALVALUME DOOR AND FRAME	
200A	PAIR	3'-0" X 7'-0" X 1-3/4"	ALUM. S.F.	2	ALUM. S.F.	02	1		
200B		3'-0" X 7'-0" X 1-3/4"	INSUL. MTL.	1	H. METAL	A	3	GALVALUME DOOR AND FRAME	
300A	PAIR	3'-0" X 7'-0" X 1-3/4"	ALUM. S.F.	2	ALUM. S.F.	01	1		
300B		3'-6" X 7'-0" X 1-3/4"	INSUL. MTL.	1	H. METAL	A	3	GALVALUME DOOR AND FRAME	

Overhead Door Schedule									
IDEN.	DOORS				OPERATION		REMARKS		
	SIZE (W X H X T)	MATERIAL	RATED	ELEV.	TYPE				
OHDA	17'-4" X 7'-1 1/2"	ALUM.	5	MANUAL LIFT	GALV. HIGH LIFT TRACK				
OHDB	8'-2" X 6'-5 1/2"	ALUM.	4	MANUAL LIFT	GALV. HIGH LIFT TRACK				
OHDC	8'-2" X 10'-0"	ALUM.	3	MANUAL LIFT	GALV. HIGH LIFT TRACK				
OHDD	8'-2" X 10'-0"	ALUM.	3	MANUAL LIFT	GALV. HIGH LIFT TRACK				

Light Fixture Schedule									
IDEN.	DESCRIPTION	FIXTURE	MOUNTING	LAMPS	POWER	NOTES			
A	EXTERIOR WALL SCONE	"COOPER", SHAPER; 674-43-WP-14/835-UNV-ALP-RBP	SURFACE WALL	LED	3500K 3,000 LUMENS 29 WATTS	SEE EXTERIOR ELEVATIONS FOR LOCATIONS, COORDINATE HEIGHTS AS SHOWN; WET LOCATION LISTED FIXTURE; EMERGENCY REMOTE BATTERY PACK; LOCATE ABOVE FINISHED CEILING; CONNECT OPERATION THRU PHOTOCELL; ALUMINUM TRIM, MATT WHITE DIFFUSER			
B	EXTERIOR WALL PACK	"COOPER", MCGRAW-EDISON; GWC-SA1-C-735-120-T4W-AP-CBP	SURFACE WALL	LED	3500K 5,961 LUMENS 59 WATTS	SEE EXTERIOR ELEVATIONS FOR LOCATIONS, COORDINATE HEIGHTS AS SHOWN; WET LOCATION LISTED FIXTURE; EMERGENCY BATTERY PACK; CONNECT OPERATION THRU PHOTOCELL; GREY HOUSING			
C	EXTERIOR AWNING LIGHT	"COOPER", LUMIERE; 303-A2-LED32-3500K-UNV-T2-DIMELV-CS	SURFACE WALL	LED	3500K 1,162 LUMENS 16 WATTS	SEE EXTERIOR ELEVATIONS FOR LOCATIONS, COORDINATE HEIGHTS AS SHOWN; WET LOCATION LISTED FIXTURE; CONNECT OPERATION THRU PHOTOCELL; SILVER HOUSING			

**Door/Frame Glass Types**

① 1/4" SAFETY GLASS; TINTED

② 1" INSULATING GLASS; ALL GLASS PANE TO BE SAFETY GLASS; TINT COLOR/LIGHT SOLAR GREY; EXTERIOR: 1/4" PANE, TINTED/LOW E COATING; AIR SPACE: 1/2" ARGON AND DESICCANT; INTERIOR: 1/4" PANE, CLEAR

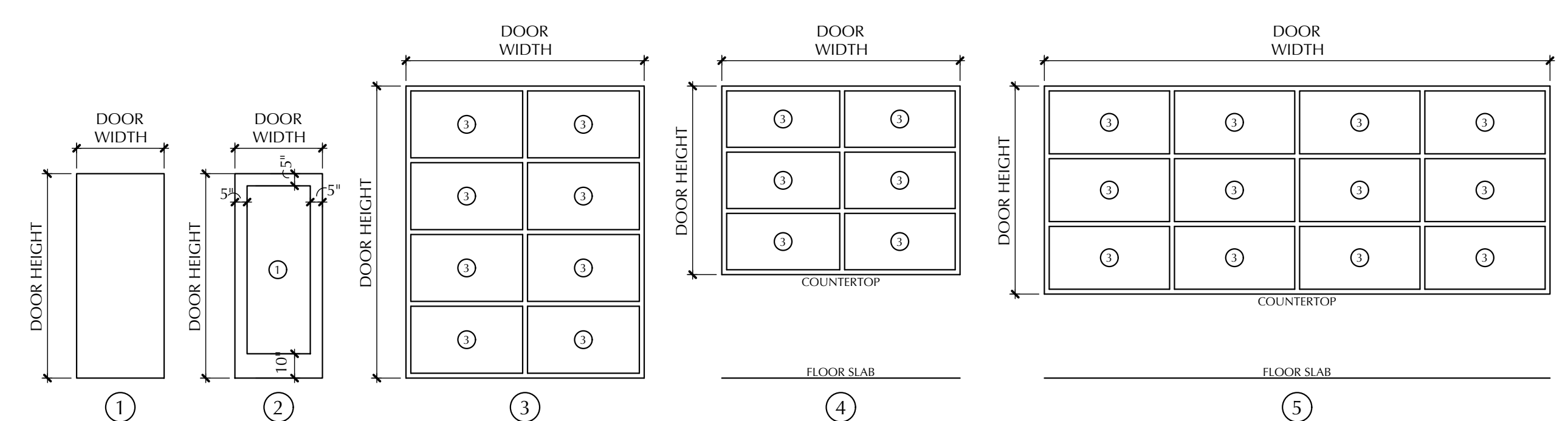
③ 1/2" INSULATING GLASS; ALL GLASS PANE TO BE SAFETY GLASS; TINT COLOR TO MATCH ALL OTHER STOREFRONTS; EXTERIOR: 1/8" PANE, TINTED/LOW E COATING; AIR SPACE: 1/4" ARGON AND DESICCANT; INTERIOR: 1/8" PANE, CLEAR

**Door Hardware Sets**

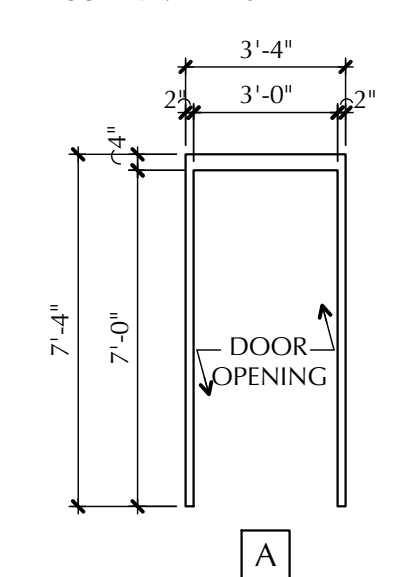
SET #1:  
 (2) CONTINUOUS HINGES  
 (2) PANIC EXIT DEVICES (CYLINDER); LEVER HANDLES, ENTRY FUNCTION  
 (2) SURFACE CLOSERS, ADA FUNCTION  
 (2) HEAVY-DUTY EXTERIOR FLOOR STOPS  
 (1) KEYS REMOVABLE MULLION (CYLINDER)  
 (1) 1/2" SADDLE THRESHOLD  
 (2) WEATHERSTRIPPING  
 (2) BOTTOMS AND SWEEPS

SET #2:  
 (1) CONTINUOUS HINGE  
 (1) PANIC EXIT DEVICE (CYLINDER); LEVER HANDLE, ENTRY FUNCTION  
 (1) SURFACE CLOSER, ADA FUNCTION  
 (1) HEAVY-DUTY EXTERIOR FLOOR STOP  
 (1) 1/2" SADDLE THRESHOLD  
 (1) WEATHERSTRIPPING  
 (1) BOTTOM AND SWEEP  
 (1) OVERHEAD DRIP GUARD

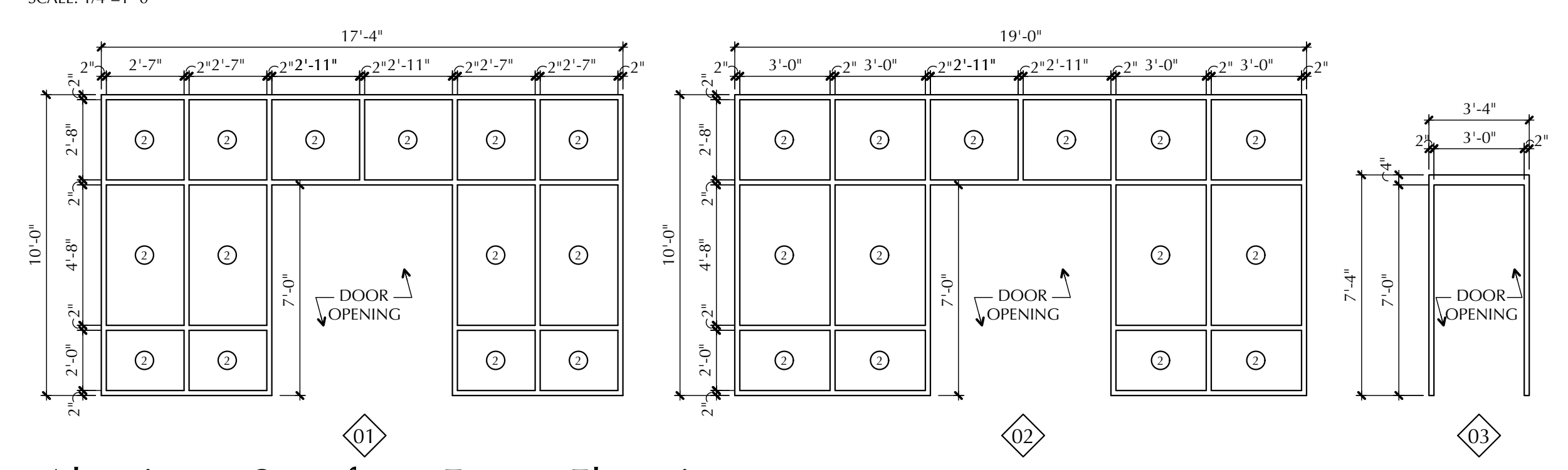
SET #3:  
 (1) CONTINUOUS HINGE  
 (1) PANIC EXIT DEVICE (CYLINDER); LEVER HANDLE, ENTRY FUNCTION  
 (1) SURFACE CLOSER, ADA FUNCTION  
 (1) HEAVY-DUTY EXTERIOR FLOOR STOP  
 (1) 1/2" SADDLE THRESHOLD  
 (1) WEATHERSTRIPPING  
 (1) BOTTOM AND SWEEP  
 (1) OVERHEAD DRIP GUARD  
 (1) SECURITY DOOR VIEWER



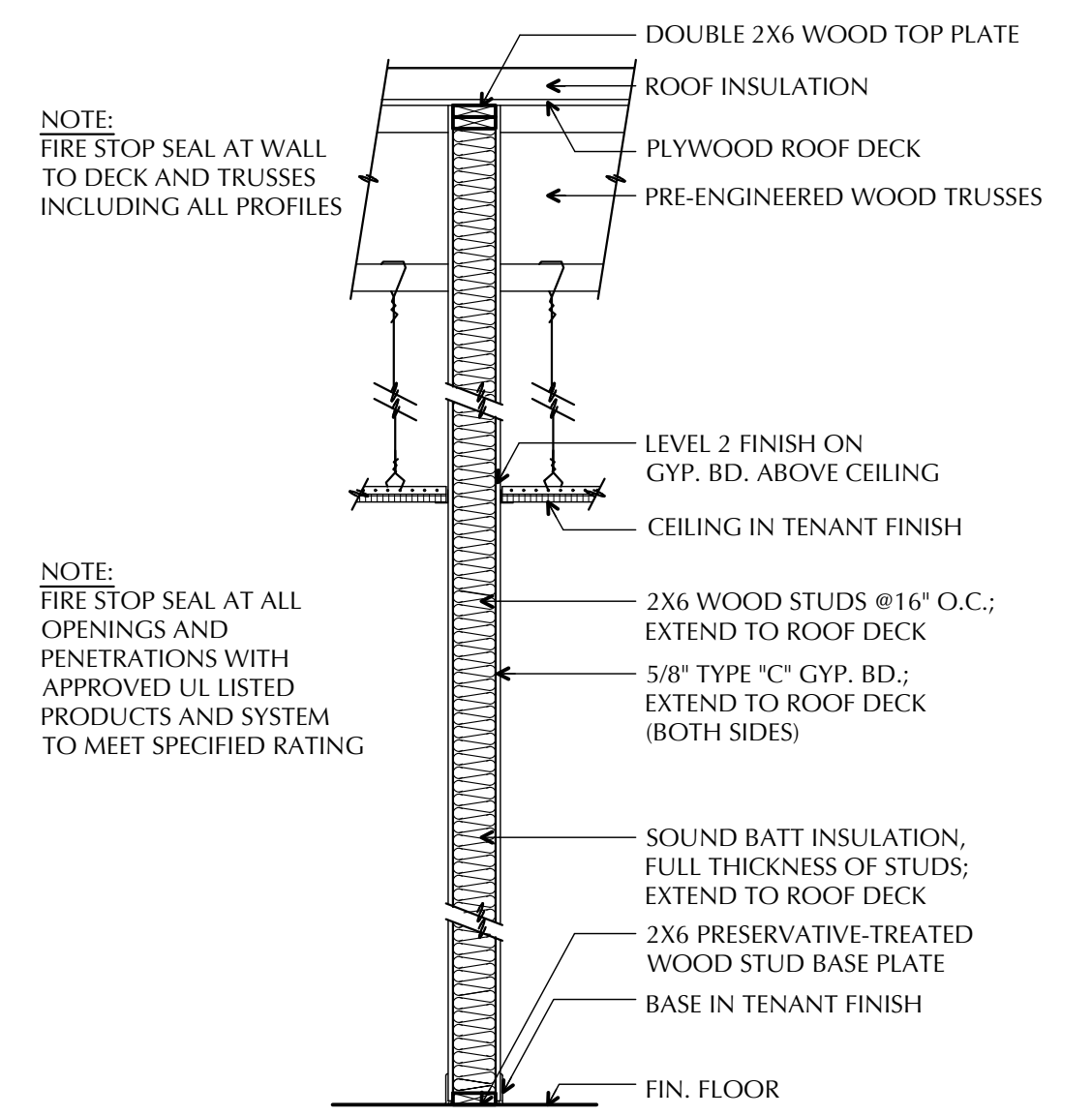
**Door Elevations**  
SCALE: 1/4"=1'-0"



**Hollow Metal Frame Elevations**  
SCALE: 1/4"=1'-0"



**Aluminum Storefront Frame Elevations**  
SCALE: 1/4"=1'-0"

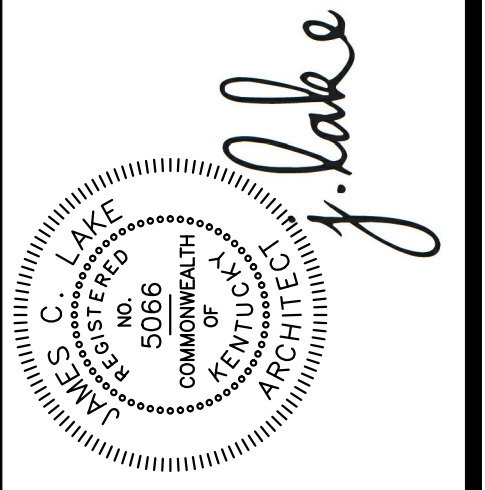


**Partition Wall**  
full size plot scale: 1/2"=1'-0"

**j.lake** ARCHITECTURE & DESIGN  
 Quartermaster Court - Jeffersonville, IN 47130  
 jamie.lake@jakearch.com - 502.802.8797

**DENTON FLOYD** REAL ESTATE GROUP  
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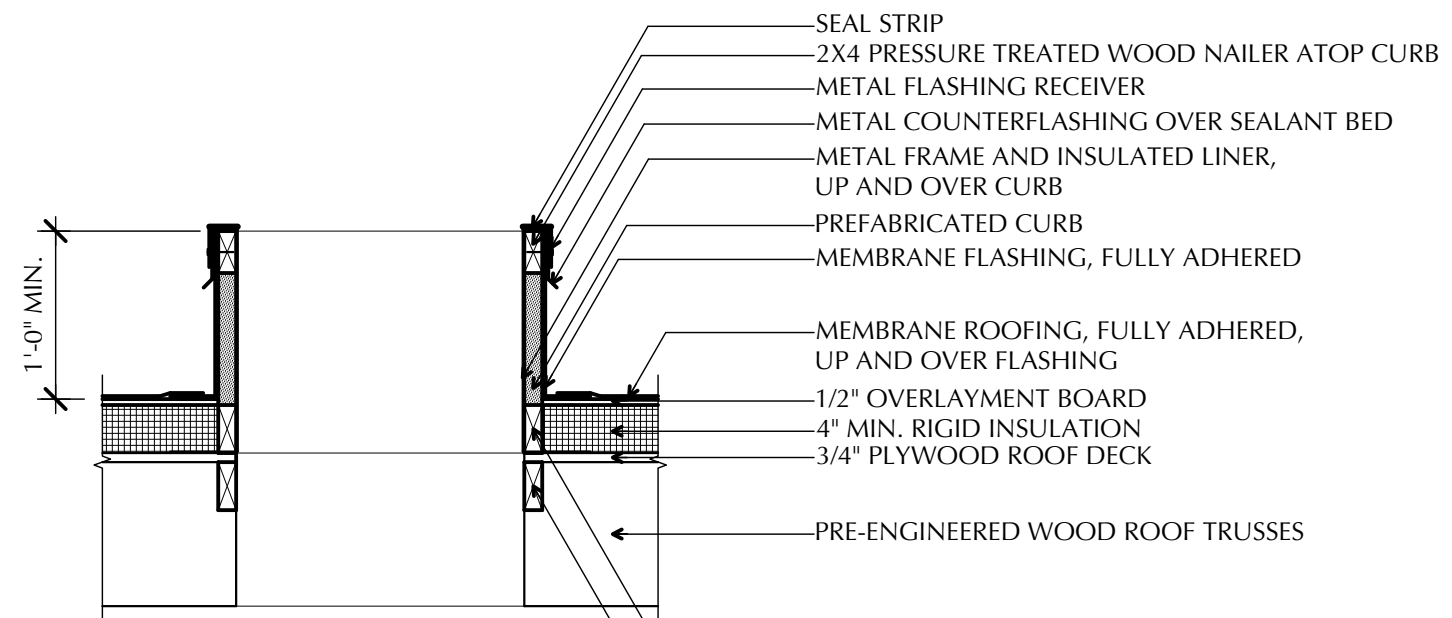
PROJECT NO: 21-03-01  
 DATE: 03/11/2021  
 DRAWN: J. LAKE  
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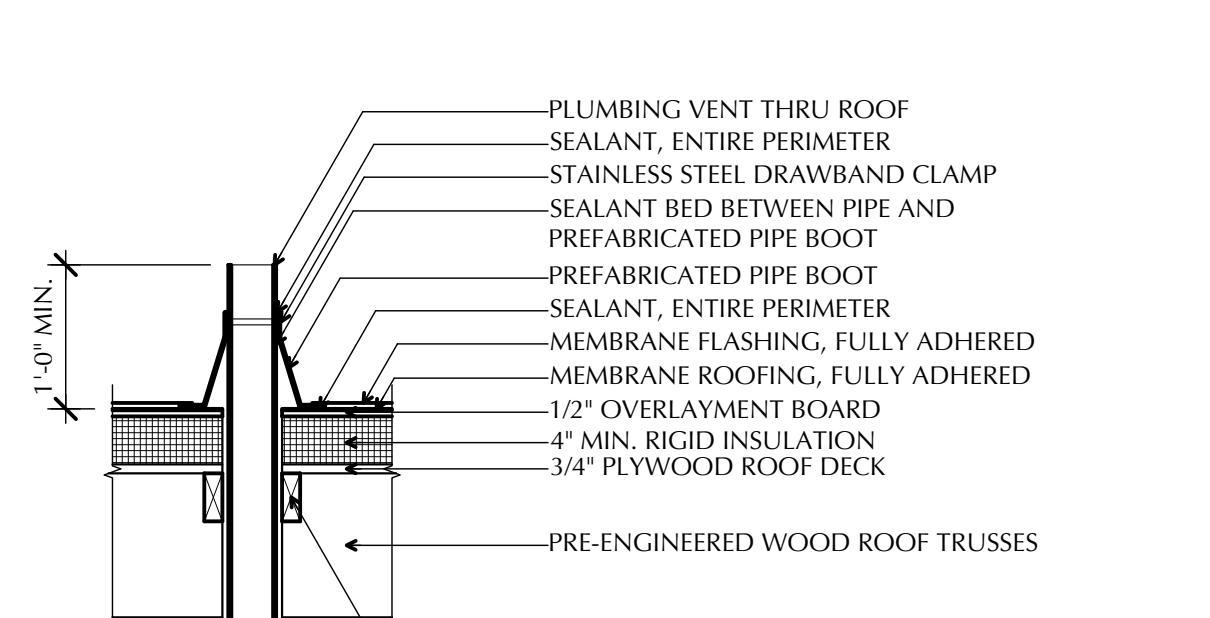
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2021 NEW BUILDING SHELL  
**HOPKINSVILLE**  
**RETAIL CENTER**  
 3980 Ft. Campbell Boulevard - Hopkinsville, KY 42240

**A201**



**Roof Detail @Roof Curb**  
 2  
 A301 full size plot scale: 3/4"=1'-0"



**Roof Detail @Plumbing Vent**  
 1  
 A301 full size plot scale: 3/4"=1'-0"

**Roof Plan General Notes**

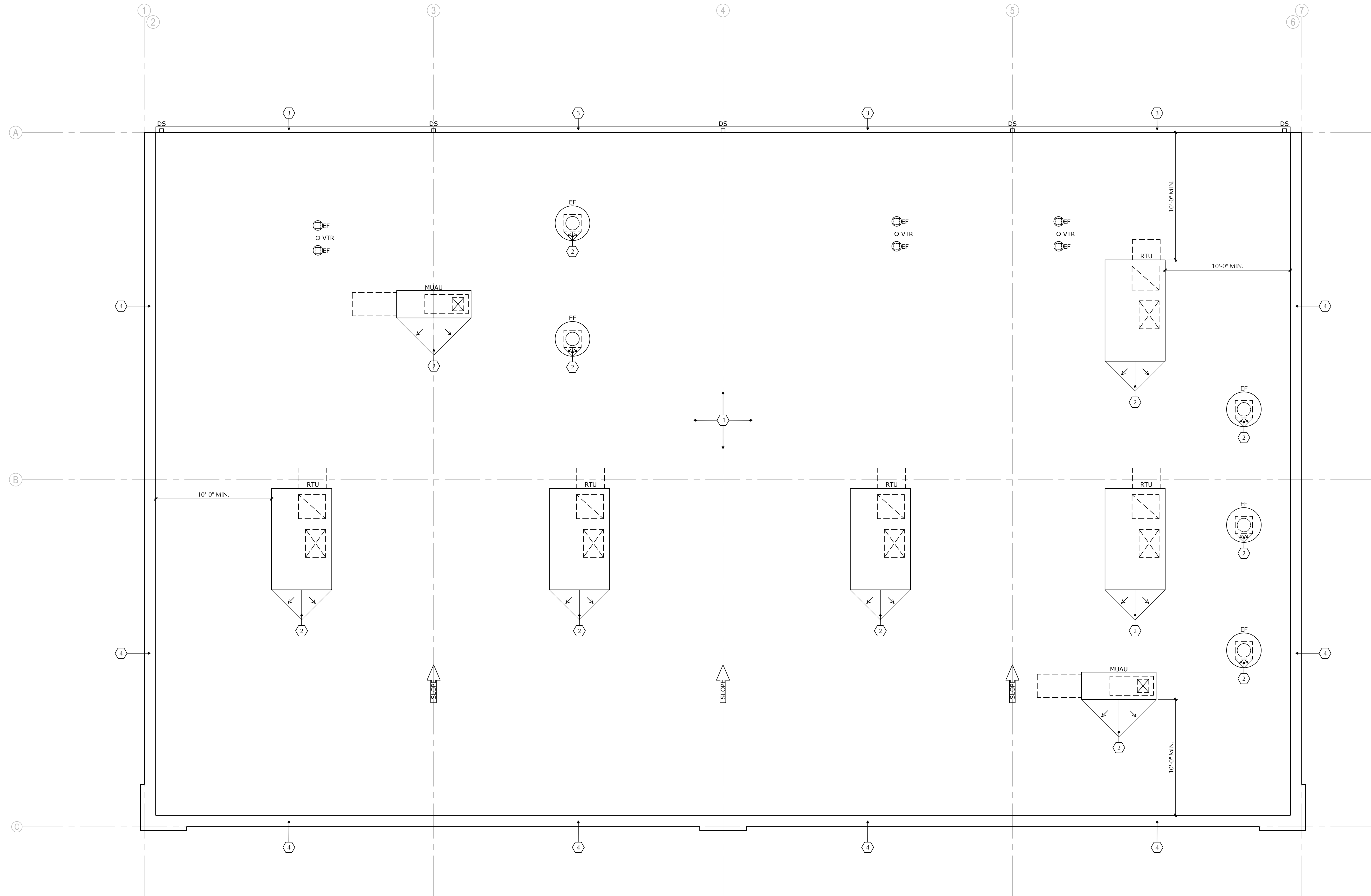
1. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR EACH TENANT FINISH FOR ADDITIONAL INFORMATION REGARDING ITEMS SHOWN ON THE ROOF PLAN. DETAILS SHOWN ARE TYPICAL FOR TYPES OF WORK AND CONDITIONS AS INDICATED.
2. REFER TO BUILDING AND WALL SECTIONS FOR ADDITIONAL INFORMATION AND COORDINATION.
3. ROOF PLAN SHOWS THE GENERAL INTENT FOR GENERAL COORDINATION AND LAYOUT.
4. PROVIDE TAPERED INSULATION CRICKET AT HIGH SIDE OF ALL ROOF CURBS THROUGHOUT.
5. SERVICE SIDES OF ALL ROOFTOP EQUIPMENT TO BE LOCATED 10'-0" MINIMUM FROM ALL ROOF EDGES OR BE PROVIDED WITH FALL PROTECTION AS REQUIRED BY CODE.
6. LOCATIONS OF ALL ROOFTOP EQUIPMENT AND PENETRATIONS THRU ROOF ARE TO BE COORDINATED WITH TENANT BUILDOUTS PER TENANT SPACE.

**Roof Plan Keynotes**

- 1 FULLY ADHERED EPDM SINGLE PLY ROOF MEMBRANE (WHITE), OVER 1/2" "DENSDECK" OVERLAYMENT BOARD, OVER 4" MIN. POLYISOCYANURATE RIGID INSULATION (R=20), OVER 3/4" PLYWOOD DECK
- 2 TAPERED INSULATION CRICKET ATOP RIGID ROOF INSULATION; INSTALL AT HIGH SIDE OF ROOF CURB; SLOPE TO SHED WATER AROUND SIDES OF ROOF CURB
- 3 PRE-MANUFACTURED METAL COPING ATOP PARAPET WALL
- 4 METAL GUTTER ALONG ENTIRE LOW SIDE OF ROOF

**Roof Plan Legend**

STRUCTURAL ROOF SLOPE AT MEMBRANE ROOF; SLOPE 1/4":12"
TAPERED INSULATION ATOP STRUCTURAL SLOPE; SLOPE 1/4":12"
DS DOWNSPOUT;
SEE EXTERIOR ELEVATIONS
VTR SANITARY VENT THRU ROOF; SEE PLUMBING DRAWINGS FOR FINAL LOCATIONS AND QUANTITIES; SEE DETAIL #1 / A301
RTU ROOFTOP UNIT WITH A ROOF CURB; SEE TENANT FINISH MECHANICAL DRAWINGS FOR FINAL LOCATIONS AND QUANTITIES; SEE DETAIL #2 / A301
EF EXHAUST FAN WITH A ROOF CURB; SEE TENANT FINISH MECHANICAL DRAWINGS FOR FINAL LOCATIONS AND QUANTITIES; SEE DETAIL #2 / A301
MUAU MAKEUP AIR UNIT WITH A ROOF CURB; SEE TENANT FINISH MECHANICAL DRAWINGS FOR FINAL LOCATIONS AND QUANTITIES; SEE DETAIL #2 / A301



**Building Shell-Roof Plan**  
 full size plot scale: 1/4"=1'-0"

**j.lake ARCHITECTURE & DESIGN**  
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 cpacc@dentonfloyd.com - 502.339.0611

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REVIEWED:	J. LAKE
REVISION:	

**j.lake ARCHITECTURE & DESIGN**  
 ARCHITECT  
 No. 5066  
 COMMONWEALTH OF KENTUCKY  
 REGISTERED PROFESSIONAL ARCHITECT

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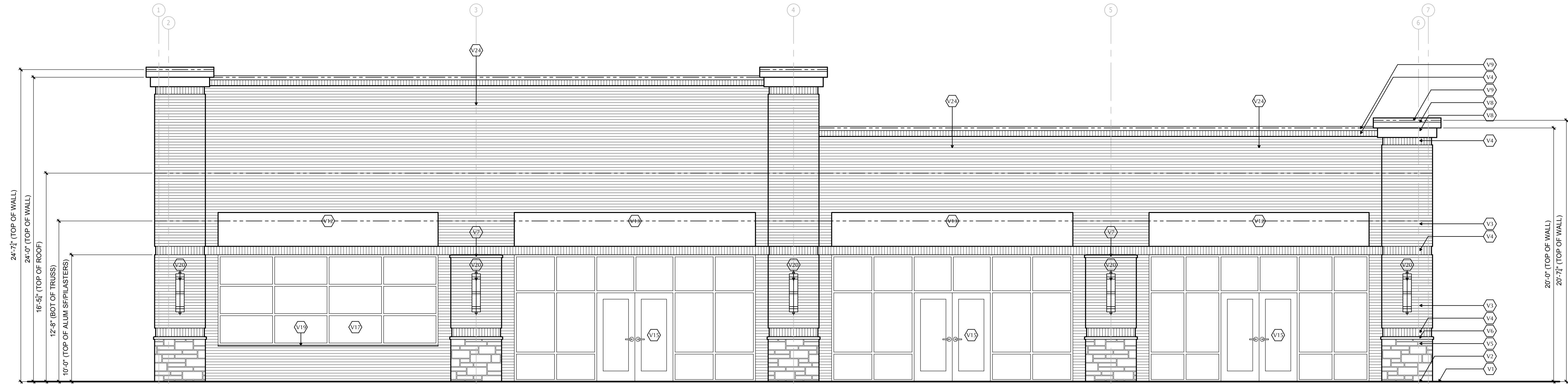
2021 NEW BUILDING SHELL  
**HOPKINSVILLE RETAIL CENTER**  
 3980 Ft. Campbell Boulevard - Hopkinsville, KY 42240

**A301**

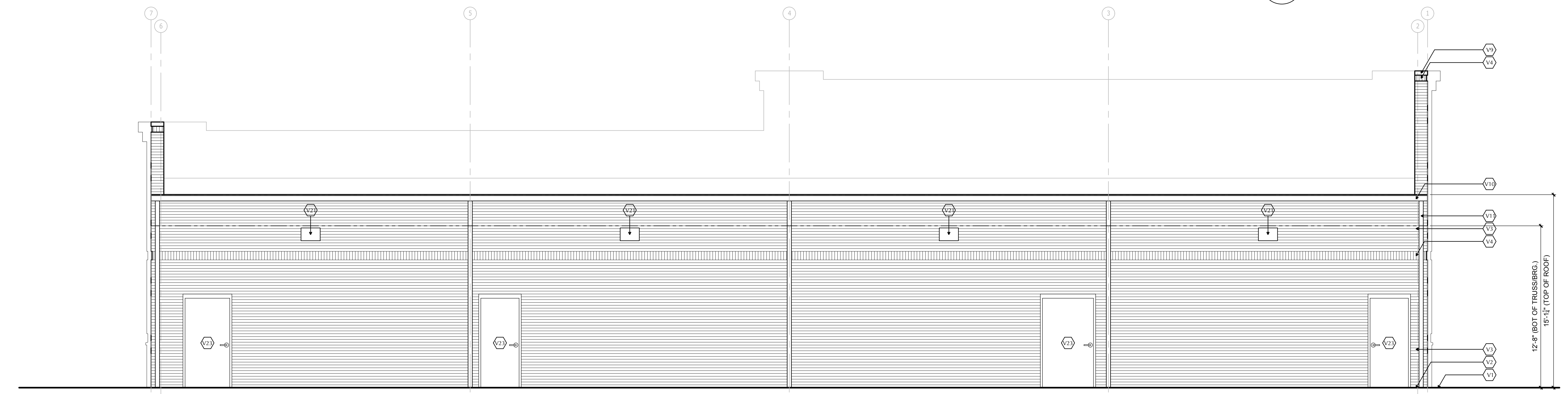


### Exterior Elevation Keynotes

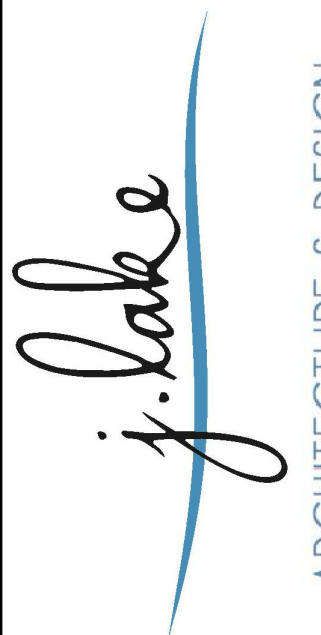
- V1 APPROX. GRADE AT BUILDING
- V2 FINISHED FLOOR SLAB
- V3 BRICK VENEER, RUNNING BOND (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "CLAY BRICK";  
BRICK TYPE, COLOR, AND TEXTURE TO BE SELECTED;  
MODULAR SIZE: 2-1/4" X 7-5/8" FACE SIZE X 3-5/8" THICK;  
COLORED MORTAR TO MATCH BRICK
- V4 BRICK VENEER, SOLDIER COURSE (PRE-FINISHED):  
BRICK AND MORTAR TO MATCH MAIN BRICK VENEER;  
INSET ENTIRE COURSE 1"
- V5 STONE VENEER (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "EARTHWORKS STONE";  
HARVEST MIX DRYSTACK OR PEWTER MIST DRYSTACK, AS SELECTED;  
RANDOM FACE SIZE X 4" THICK
- V6 LIMESTONE WATERTABLE BANDING (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "CUT LIMESTONE";  
2-1/4" X CUT LENGTHS FACE SIZE X 3-5/8" THICK;  
1" OVERHANG ALL PERIMETER, 1/2" TOP SLOPE TO EDGE;  
COLORED MORTAR TO MATCH STONE
- V7 LIMESTONE WATERTABLE WALL CAP (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "CUT LIMESTONE";  
2-1/4" X CUT LENGTHS FACE SIZE X 3-5/8" THICK;  
1" OVERHANG ALL PERIMETER, 1/2" TOP SLOPE TO ALL FRONT/SIDE EDGES;  
COLORED MORTAR TO MATCH STONE
- V8 EPS PROFILED CORNICE (PRE-FINISHED):  
"STO" "CLASSIC COLLECTION";  
FINE TEXTURE, COLOR TO BE SELECTED
- V9 METAL COPING (PRE-FINISHED):  
4" FACE;  
COLOR TO BE SELECTED
- V10 METAL GUTTER (PRE-FINISHED):  
6" BOX STYLE;  
COLOR TO BE SELECTED
- V11 METAL DOWNSPOUT (PRE-FINISHED):  
4" X 4";  
COLOR TO BE SELECTED
- V12 FABRIC AWNING OVER ALUMINUM TUBE FRAMING (PRE-FINISHED):  
TRADITIONAL SINGLE SLOPE, SOLID SIDES, NO VALANCE;  
17'-4" WIDTH, 2'-4" HEIGHT, 4'-0" PROJECTION;  
"SUNBRELLA", "CONTOUR", COLOR TO BE SELECTED
- V13 FABRIC AWNING OVER ALUMINUM TUBE FRAMING (PRE-FINISHED):  
TRADITIONAL SINGLE SLOPE, SOLID SIDES, NO VALANCE;  
19'-0" WIDTH, 2'-4" HEIGHT, 4'-0" PROJECTION;  
"SUNBRELLA", "CONTOUR", COLOR TO BE SELECTED
- V14 FABRIC AWNING OVER ALUMINUM TUBE FRAMING (PRE-FINISHED):  
TRADITIONAL SINGLE SLOPE, SOLID SIDES, NO VALANCE;  
8'-0" WIDTH, 2'-4" HEIGHT, 4'-0" PROJECTION;  
"SUNBRELLA", "CONTOUR", COLOR TO BE SELECTED
- V15 ALUMINUM STOREFRONT (PRE-FINISHED):  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V16 ALUMINUM FULL GLASS OVERHEAD DOOR (PRE-FINISHED):  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V17 ALUMINUM FULL GLASS OVERHEAD DOOR (PRE-FINISHED):  
DOOR TO SET ATOP COUNTERTOP AT LOW WALL WITHIN OPENING;  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V18 DRIVE-THRU WINDOW UNIT (PRE-FINISHED):  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V19 SOLID SURFACE COUNTERTOP (PRE-FINISHED):  
COUNTERTOP AT LOW WALL WITHIN OPENING;  
"CORIAN" "SOLID SURFACE"; COLOR TO BE SELECTED
- V20 WALL-MOUNTED SCONCE LIGHT (PRE-FINISHED);  
MOUNT CENTERED ON PLASTER
- V21 WALL-MOUNTED WALL PACK LIGHT (PRE-FINISHED);  
MOUNTING HEIGHT AT 12'-0" TO CENTER
- V22 WALL-MOUNTED WALL PACK LIGHT (PRE-FINISHED);  
MOUNTING HEIGHT AT 16'-0" TO CENTER
- V23 METAL DOOR AND FRAME FINISH PAINTED;  
COLOR TO BE SELECTED
- V24 WALL-MOUNTED BUILDING SIGNAGE (PRE-FINISHED);  
INTERNALLY ILLUMINATED;  
VERIFY SIZE AND TYPE PER TENANT



1  
A401  
Exterior Elevation  
Front Main Facade  
full size plot scale: 1/4"=1'-0"  
0 2' 4'



2  
A401  
Exterior Elevation  
Building Rear  
full size plot scale: 1/4"=1'-0"  
0 2' 4'

  
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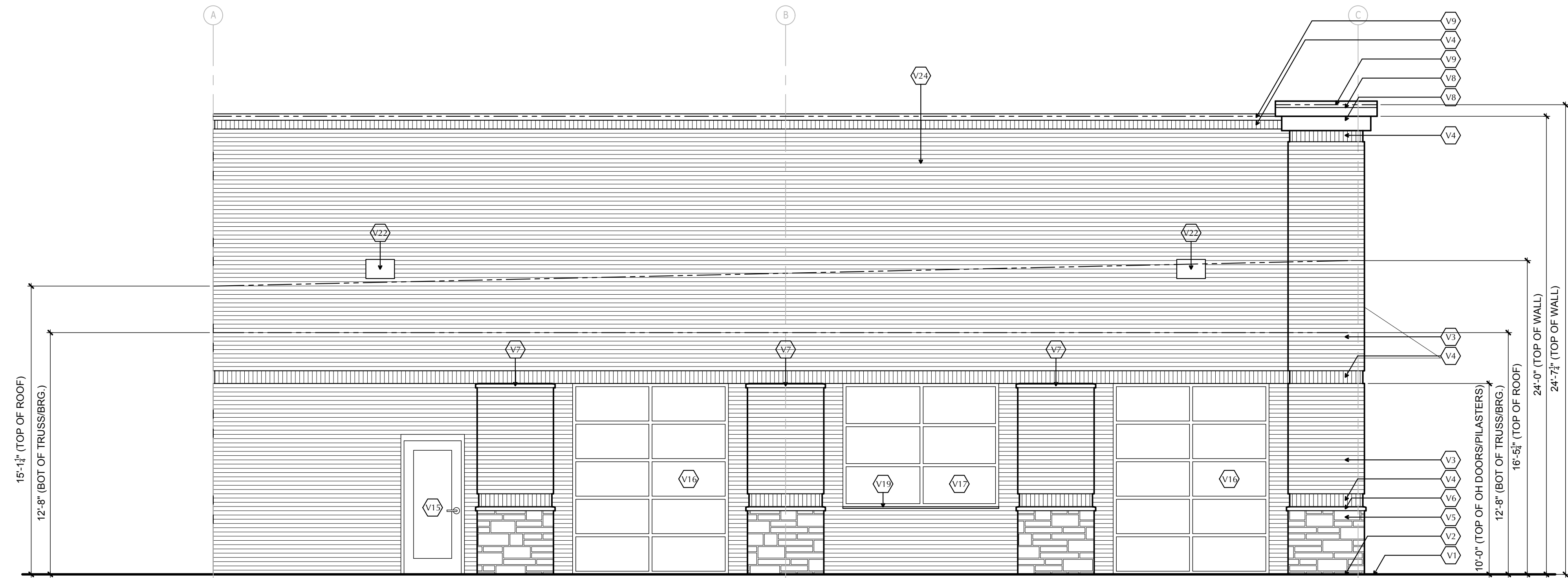
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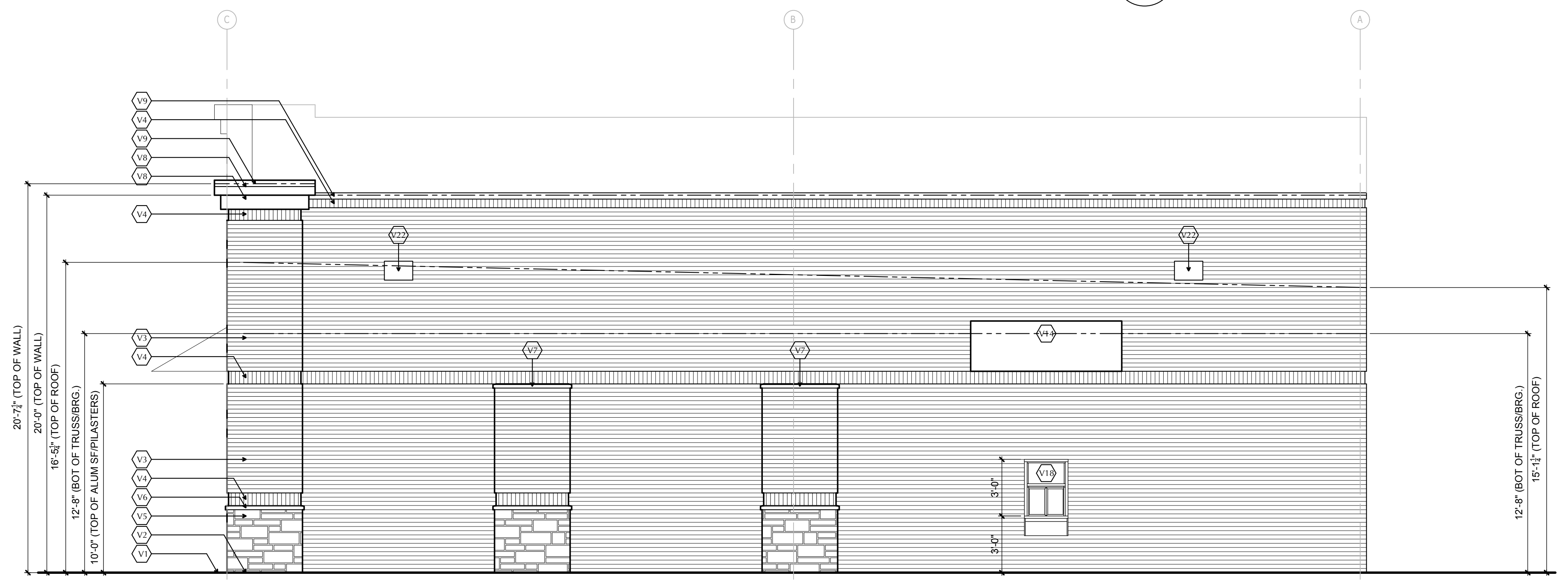
A401

### Exterior Elevation Keynotes

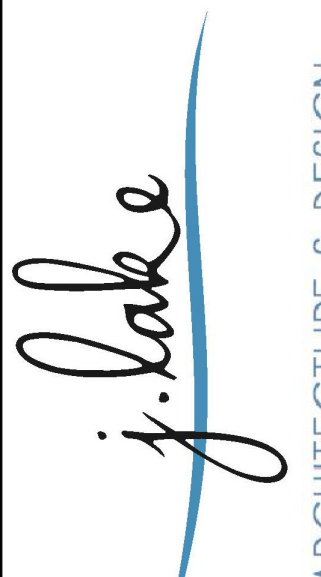
- V1 APPROX. GRADE AT BUILDING
- V2 FINISHED FLOOR SLAB
- V3 BRICK VENEER, RUNNING BOND (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "CLAY BRICK";  
BRICK TYPE, COLOR, AND TEXTURE TO BE SELECTED;  
MODULAR SIZE, 2-1/4" X 7-5/8" FACE SIZE X 3-5/8" THICK;  
COLORED MORTAR TO MATCH BRICK
- V4 BRICK VENEER, SOLDIER COURSE (PRE-FINISHED):  
BRICK AND MORTAR TO MATCH MAIN BRICK VENEER;  
INST. ENTIRE COURSE 1
- V5 STONE VENEER (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "EARTHWORKS STONE";  
HARVEST MIX DRYSTACK OR PEWTER MIST DRYSTACK, AS SELECTED;  
RANDOM FACE SIZE X 4" THICK
- V6 LIMESTONE WATERTABLE BANDING (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "CUT LIMESTONE";  
2-1/4" X CUT LENGTHS FACE SIZE X 3-5/8" THICK;  
1" OVERHANG ALL PERIMETER, 1/2" TOP SLOPE TO EDGE;  
COLORED MORTAR TO MATCH STONE
- V7 LIMESTONE WATERTABLE WALL CAP (PRE-FINISHED):  
"LEE BUILDING PRODUCTS" "CUT LIMESTONE";  
2-1/4" X CUT LENGTHS FACE SIZE X 3-5/8" THICK;  
1" OVERHANG ALL PERIMETER, 1/2" TOP SLOPE TO ALL FRONT/SIDE EDGES;  
COLORED MORTAR TO MATCH STONE
- V8 EPS PROFILED CORNICE (PRE-FINISHED):  
"STO" "CLASSIC COLLECTION";  
FINE TEXTURE, COLOR TO BE SELECTED
- V9 METAL COPING (PRE-FINISHED):  
4" FACE;  
COLOR TO BE SELECTED
- V10 METAL GUTTER (PRE-FINISHED):  
6" BOX STYLE;  
COLOR TO BE SELECTED
- V11 METAL DOWNSPOUT (PRE-FINISHED):  
4" X 4";  
COLOR TO BE SELECTED
- V12 FABRIC AWNING OVER ALUMINUM TUBE FRAMING (PRE-FINISHED):  
TRADITIONAL SINGLE SLOPE, SOLID SIDES, NO VALANCE;  
17'-4" WIDTH, 2'-4" HEIGHT, 4'-0" PROJECTION;  
"SUNBRELLA", "CONTOUR", COLOR TO BE SELECTED
- V13 FABRIC AWNING OVER ALUMINUM TUBE FRAMING (PRE-FINISHED):  
TRADITIONAL SINGLE SLOPE, SOLID SIDES, NO VALANCE;  
19'-0" WIDTH, 2'-4" HEIGHT, 4'-0" PROJECTION;  
"SUNBRELLA", "CONTOUR", COLOR TO BE SELECTED
- V14 FABRIC AWNING OVER ALUMINUM TUBE FRAMING (PRE-FINISHED):  
TRADITIONAL SINGLE SLOPE, SOLID SIDES, NO VALANCE;  
8'-0" WIDTH, 2'-4" HEIGHT, 4'-0" PROJECTION;  
"SUNBRELLA", "CONTOUR", COLOR TO BE SELECTED
- V15 ALUMINUM STOREFRONT (PRE-FINISHED):  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V16 ALUMINUM FULL GLASS OVERHEAD DOOR (PRE-FINISHED):  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V17 ALUMINUM FULL GLASS OVERHEAD DOOR (PRE-FINISHED):  
DOOR TO SET ATOP COUNTERTOP AT LOW WALL WITHIN OPENING;  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V18 DRIVE-THRU WINDOW UNIT (PRE-FINISHED):  
CLEAR ANODIZED;  
TINTED GLASS, LIGHT SOLAR GREY
- V19 SOLID SURFACE COUNTERTOP (PRE-FINISHED):  
COUNTERTOP AT LOW WALL WITHIN OPENING;  
"CORIAN", SOLID SURFACE, COLOR TO BE SELECTED
- V20 WALL-MOUNTED SCONCE LIGHT (PRE-FINISHED);  
MOUNT CENTERED ON PILASTER
- V21 WALL-MOUNTED WALL PACK LIGHT (PRE-FINISHED);  
MOUNTING HEIGHT AT 12'-0" TO CENTER
- V22 WALL-MOUNTED WALL PACK LIGHT (PRE-FINISHED);  
MOUNTING HEIGHT AT 16'-0" TO CENTER
- V23 METAL DOOR AND FRAME FINISH PAINTED;  
COLOR TO BE SELECTED
- V24 WALL-MOUNTED BUILDING SIGNAGE (PRE-FINISHED);  
INTERNALLY ILLUMINATED;  
VERIFY SIZE AND TYPE PER TENANT



1  
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full size plot scale: 1/4"=1'-0"



2  
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full size plot scale: 1/4"=1'-0"

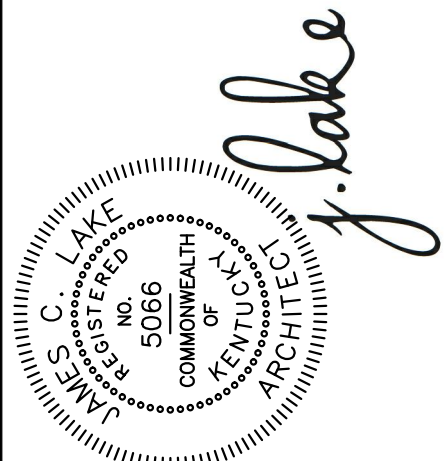
  
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PROJECT NO: 21-03-01  
 DATE: 03/11/2021  
 DRAWN: J. LAKE  
 REVIEWED: J. LAKE  
 REVISION:

  
 J. LAKE  
 No. 5066  
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 PROFESSIONAL ENGINEER

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# Section Keynotes

## CIVIL

- (C1) CONCRETE PAVING OVER GRANULAR STONE BASE;  
1/2" EXPANSION JOINT MATERIAL AT BUILDING;  
SEE CIVIL DRAWINGS

## FOUNDATION

- (F1) 4" CONCRETE SLAB OVER VAPOR BARRIER AND 6" MIN. CRUSHED STONE BASE;  
SEE STRUCTURAL DRAWINGS;  
"ISI BUILDING PRODUCTS", "VIPER II" UNDER-SLAB VAPOR BARRIER, 15 MIL, CLASS A
- (F2) CONCRETE FOUNDATION WALL; SEE STRUCTURAL DRAWINGS
- (F3) CONCRETE FOOTING; SEE STRUCTURAL DRAWINGS
- (F4) CONCRETE POUR-THRU SLAB AT OPENING; SEE STRUCTURAL DRAWINGS
- (F5) CONCRETE COLUMN FOOTING, SEE STRUCTURAL DRAWINGS
- (F6) 3/4" X 1'-6" ANCHOR BOLTS @48" O.C. MAX.; SEE STRUCTURAL DRAWINGS
- (F7) ANCHOR BOLTS AT STEEL COLUMN FOOTING; SEE STRUCTURAL DRAWINGS

## INSULATION

- (I1) 2" RIGID POLYISO FOUNDATION INSULATION (R-10 MIN)
- (I2) 1" RIGID POLYISO INSULATION (R-5 MIN)
- (I3) 4" TOTAL RIGID POLYISO INSULATION (R-20 MIN);  
STAGGER JOINTS BETWEEN LAYERS
- (I4) UNFACED FIBERGLASS BATT INSULATION (R-19 MIN)

## LUMBER AND FRAMING

- (L1) PRE-ENGINEERED WOOD ROOF TRUSSES; SEE STRUCTURAL DRAWINGS
- (L2) PRESERVATIVE-TREATED 2X6 WOOD STUD BOTTOM PLATE, CONT.;  
SEALANT ALONG INTERIOR AND EXTERIOR JOINT TO FLOOR;  
POLYETHYLENE FOAM GASKETING STRIP BELOW BOTTOM PLATE;  
"DOW", "WEATHERMATE" SILL SEAL FOAM GASKET
- (L3) PRESERVATIVE-TREATED 2X4 WOOD STUD BOTTOM PLATE, CONT.
- (L4) 2X6 WOOD STUDS @16" O.C.
- (L5) 2X4 WOOD STUDS @16" O.C.
- (L6) 2X6 WOOD STUD, CONT.
- (L7) 2X4 WOOD STUD, CONT.
- (L8) 2X6 WOOD STUD TOP PLATE, CONT.
- (L9) 2X4 WOOD STUD TOP PLATE, CONT.
- (L10) (2) 2X6 WOOD STUD PLATE AT TRUSS BEARING, CONT.
- (L11) 2X6 WOOD STUD FIRE BLOCKING AT CEILING, CONT.
- (L12) 2X6 WOOD STUD FIRE BLOCKING AT ROOF, CONT.
- (L13) 2X6 WOOD OUTRIGGER ATTACHED TO EACH STUD
- (L14) 2X4 WOOD OUTRIGGER ATTACHED TO EACH STUD
- (L15) 2X6 WOOD STUD, CUT TO PROFILE, CONT.;  
1/2" TOTAL SLOPE BETWEEN FAR EDGES OF STUDS;  
SLOPE FROM FRONT FACE OF WALL TOWARDS ROOF
- (L16) 2X12 WOOD STUD, CUT TO PROFILE, CONT.;  
1/2" TOTAL SLOPE BETWEEN FAR EDGES OF STUDS;  
SLOPE FROM FRONT FACE OF WALL TOWARDS ROOF
- (L17) 2X6 WOOD STUDS BLOCKING AT EDGE OF ROOF, CONT.;  
4" TOTAL DEPTH TO MATCH ROOF INSULATION
- (L18) WOOD HEADER BEAM ACROSS OPENING;
- (L19) (3) 2X12 WOOD STUDS AND (2) 1/2" PLYWOOD SPACERS
- (L20) 3/4" T&G PLYWOOD ROOF SHEATHING, APA RATED, EXPOSURE 1
- (L21) 3/4" PLYWOOD SHEATHING, APA RATED, EXPOSURE 1;  
INSTALL ATOP PARAPET WALL
- (L22) 3/4" PLYWOOD SHEATHING, APA RATED, EXPOSURE 1;  
INSTALL TO PROFILE BEHIND EIFS CORNICE AS SHOWN
- (L23) 2X10 WOOD STUD PLATE AT TRUSS BEARING, CONT., ATOP STEEL BEAM
- (L24) 2X4 WOOD STUD BRIDGING, CONT., TOP AND BOTTOM CHORD OF TRUSS;  
SEE STRUCTURAL
- (L25) HURRICANE TIE AT BEAM AT EACH TRUSS;  
"SIMPSON", "STRONG TIE" H3; SEE STRUCTURAL DRAWINGS
- (L26) 2X WOOD STUD PLATE AT TOP OF LOW WALL AT COUNTERTOP, CONT.

## WALL

- (W1) THRU-WALL BASE FLASHING WITH WEEP HOLES @32" O.C. MAX., CONT.;  
"H&B", "MIGHTY-FLASH" STAINLESS STEEL FABRIC FLASHING;  
PROVIDE S.S. BASE DRIP PLATE AND TOP TERMINATION BAR AND SEALANT;  
EXTEND VERTICAL LEG 12" MIN.
- (W2) THRU-WALL BASE FLASHING WITH WEEP HOLES @32" O.C. MAX., CONT.;  
"H&B", "MIGHTY-FLASH" STAINLESS STEEL FABRIC FLASHING;  
PROVIDE S.S. BASE DRIP PLATE AND TOP TERMINATION BAR AND SEALANT;  
EXTEND OUT TO EDGE OF BRICK AT WALL CAP;  
EXTEND VERTICAL LEG 12" MIN.
- (W3) THRU-WALL FLASHING WITH WEEP HOLES @32" O.C. MAX.;  
"H&B", "MIGHTY-FLASH" STAINLESS STEEL FABRIC FLASHING;  
PROVIDE S.S. BASE DRIP PLATE AND TOP TERMINATION BAR AND SEALANT;  
EXTEND ATOP STEEL ANGLE;  
EXTEND VERTICAL LEG 12" MIN.;  
EXTEND 8" BEYOND OPENING, EACH SIDE
- (W4) "DUPONT" TYVEK COMMERCIAL WRAP AIR AND WATER BARRIER;  
INSTALL OVER PLYWOOD WALL SHEATHING
- (W5) 5/8" GYP. BD., TYPE X
- (W6) 5/8" GYP. BD., TYPE X, ATTACHED TO BOTTOM OF ROOF TRUSSES
- (W7) 5/8" GYP. BD., TYPE X, RETURN TO STOREFRONT AND OVERHEAD DOOR,  
JAMBS AND HEAD
- (W8) EIFS SYSTEM OVER 1" RIGID POLYISO INSULATION AT PROFILED CORNICE
- (W9) EIFS DRIP
- (W10) BACKWAPR AND SEALANT AT EDGE OF EIFS SYSTEM
- (W11) BACKER ROD AND SEALANT

## BUILDING

- (B1) LAY-IN ACOUSTICAL CEILING TILE AND GRID;  
TO BE IN FUTURE TENANT BUILDOUT
- (B2) PROVIDE OPENING THRU LAY-IN ACOUSTICAL CEILING TILE AND GRID;  
ALLOW OVERHEAD DOOR AND TRACK TO PASS THRU TO ABOVE FINISHED CEILING;  
TO BE IN FUTURE TENANT BUILDOUT
- (B3) ALUMINUM STOREFRONT
- (B4) ALUMINUM FULL GLASS OVERHEAD DOOR AND TRACK
- (B5) FABRIC AWNING OVER ALUMINUM TUBE FRAMING;  
ANCHOR TO MASONRY
- (B6) 1" THICK SOLID SURFACE COUNTERTOP ATOP LOW WALL;  
2'-0" WIDE THRU OPENING, EASE ALL EDGES
- (B7) 1/2" THICK X 2" HIGH SOLID SURFACE APRON, EACH SIDE OF LOW WALL

## ROOFING

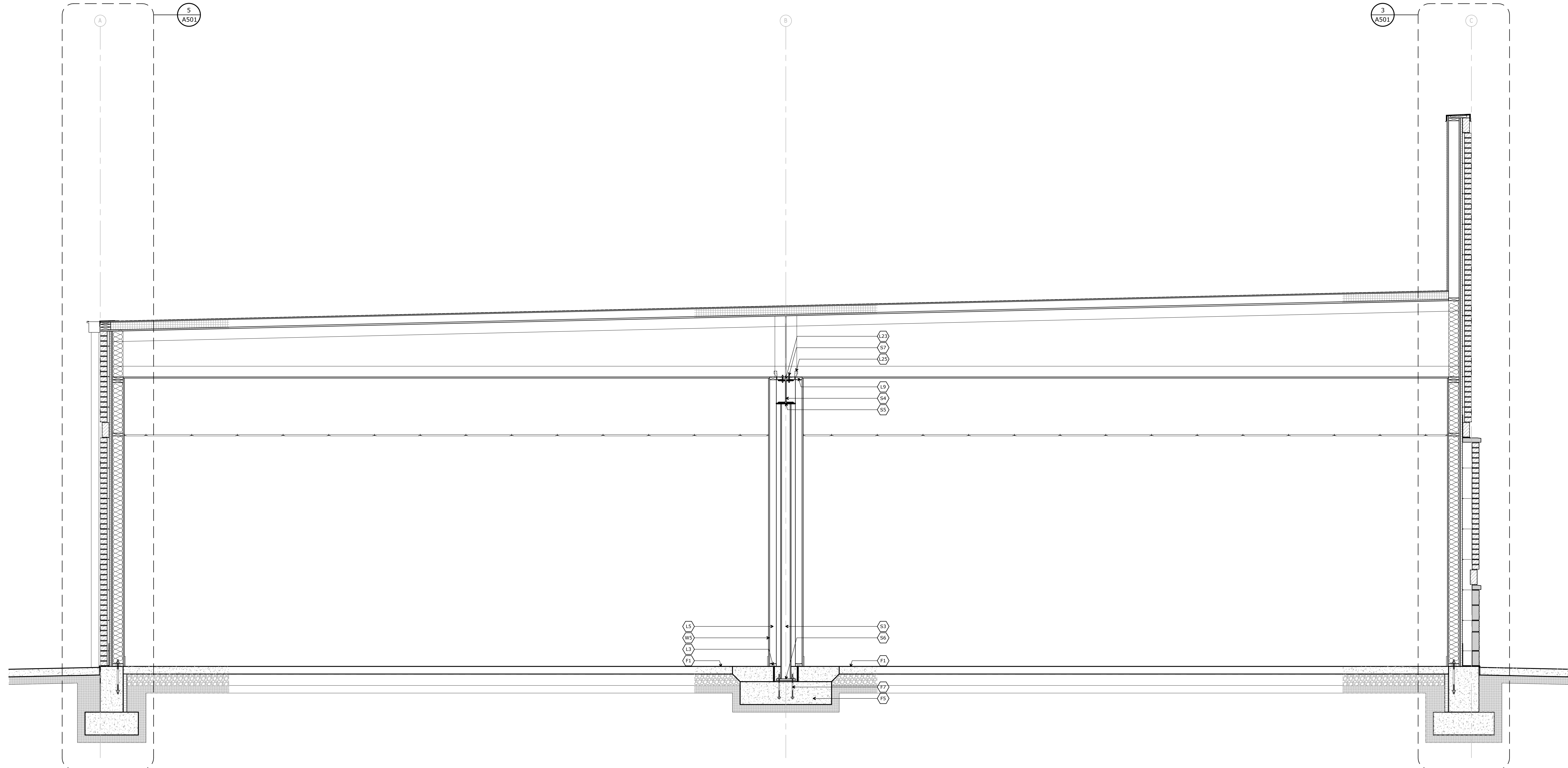
- (R1) 1/2" COVERBOARD;  
"GEORGIA PACIFIC", "DENS-DECK PRIME"
- (R2) SINGLE-PLY ROOFING MEMBRANE, FULLY ADHERED;  
"FIRESTONE", "RUBBERGARD ECO WHITE" EPDM, 60 MIL;  
20 YEAR WARRANTY
- (R3) METAL COPING WITH ATTACHMENT CLIPS ATOP PARAPET;  
4" VERTICAL LEG WITH DRIP EDGE, BOTH SIDES
- (R4) CONTINUE ROOFING MEMBRANE UP PARAPET WALL;  
CONTINUE UP AND OVER TOP OF PARAPET BENEATH METAL COPING
- (R5) METAL GUTTER
- (R6) METAL GUTTER FLASHING/TRIM LEG
- (R7) CONTINUE ROOFING MEMBRANE FLASHING STRIP OVER METAL GUTTER  
FLASHING/TRIM LEG AND CONTINUE DOWN OVER EDGE AND INTO GUTTER
- (R8) CONTINUE ROOFING MEMBRANE OVER EDGE OF WALL BEHIND GUTTER
- (R9) METAL DOWNSPOUT

## MASONRY

- (M1) BRICK VENEER; SEE EXTERIOR ELEVATIONS
- (M2) BRICK VENEER SOLDIER COURSE, INSET 1"; SEE EXTERIOR ELEVATIONS
- (M3) STONE VENEER; SEE EXTERIOR ELEVATIONS
- (M4) LIMESTONE WATERTABLE BANDING; SEE EXTERIOR ELEVATIONS
- (M5) LIMESTONE WATERTABLE WALL CAP; SEE EXTERIOR ELEVATIONS
- (M6) MASONRY VENEER ANCHORS, @16" O.C. MAX., HORIZ. AND VERT.;  
2-PART, ADJUSTABLE, 2X HOOK AND PLATE, HOT-DIPPED GALVANIZED;  
"H&B", HB-213
- (M7) RETURN BRICK VENEER TO STOREFRONT AND OVERHEAD DOORS AT JAMBS

## STEEL

- (S1) 4"x5"x3/8" LLV GALVANIZED STEEL ANGLE ACROSS OPENING;  
EXTEND 8" BEYOND OPENING, EACH SIDE
- (S2) 10'-7/8"x1/2" GALVANIZED STEEL PLATE WELDED TO BEAM;  
EXTEND 8" BEYOND OPENING, EACH SIDE
- (S3) STEEL COLUMN; SEE STRUCTURAL DRAWINGS
- (S4) STEEL BEAM, WELDED TO TOP PLATE; SEE STRUCTURAL DRAWINGS
- (S5) STEEL TOP PLATE WELDED TO STEEL COLUMN; SEE STRUCTURAL DRAWINGS
- (S6) STEEL BASE PLATE WELDED TO STEEL COLUMN;  
WITH NON-SHRINK GROUT BED; SEE STRUCTURAL DRAWINGS
- (S7) 1/2" THRU BOLTS @24" O.C. MAX., STAGGERED (@48" O.C. EACH SIDE)

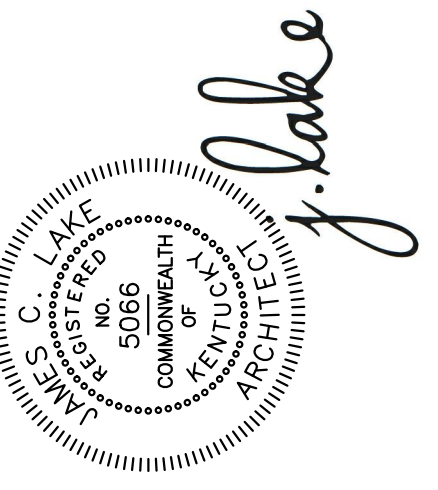


**A500** Building Section  
full size plot scale: 1/2" = 1'-0"

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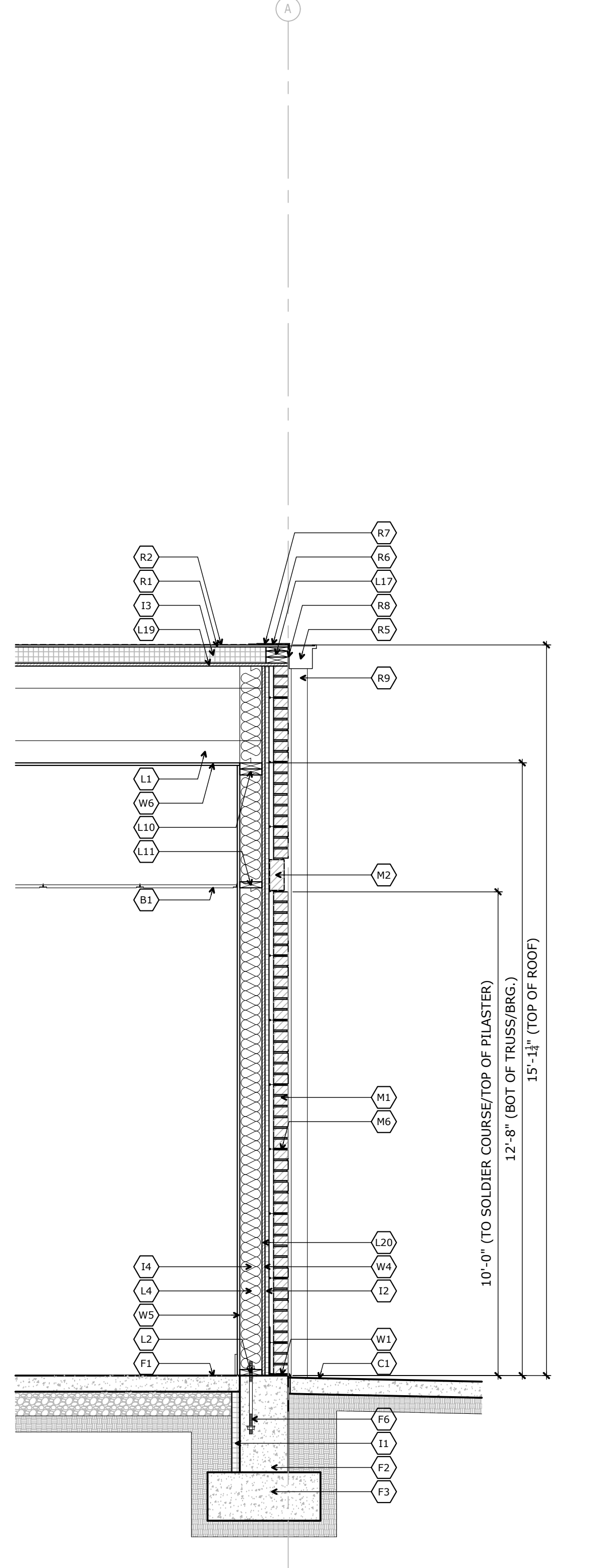
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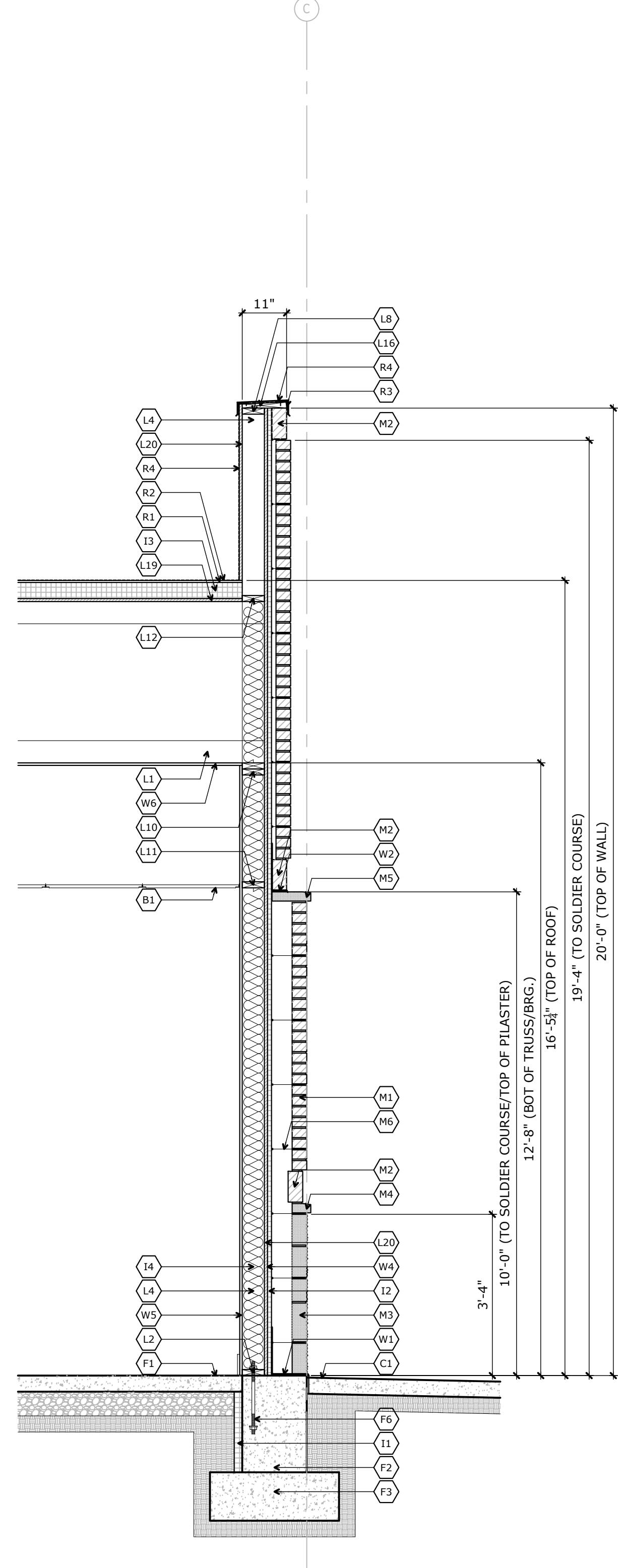
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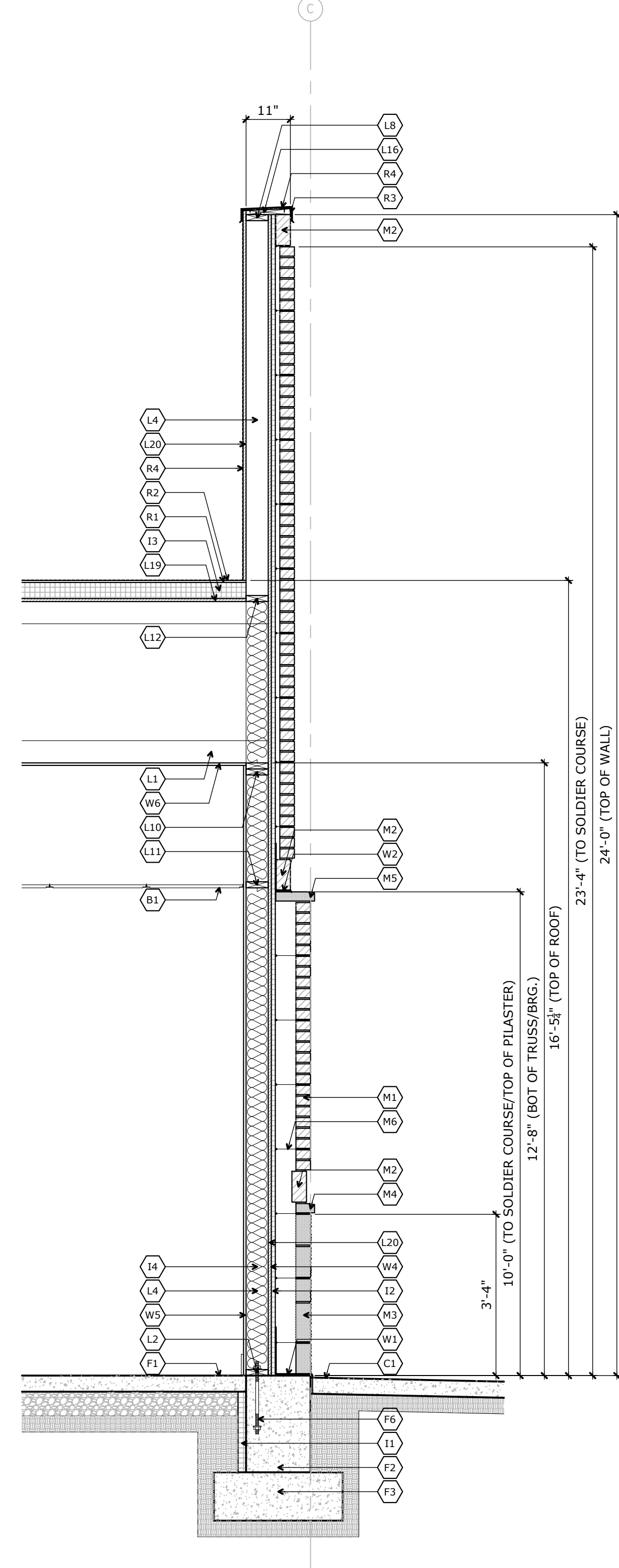
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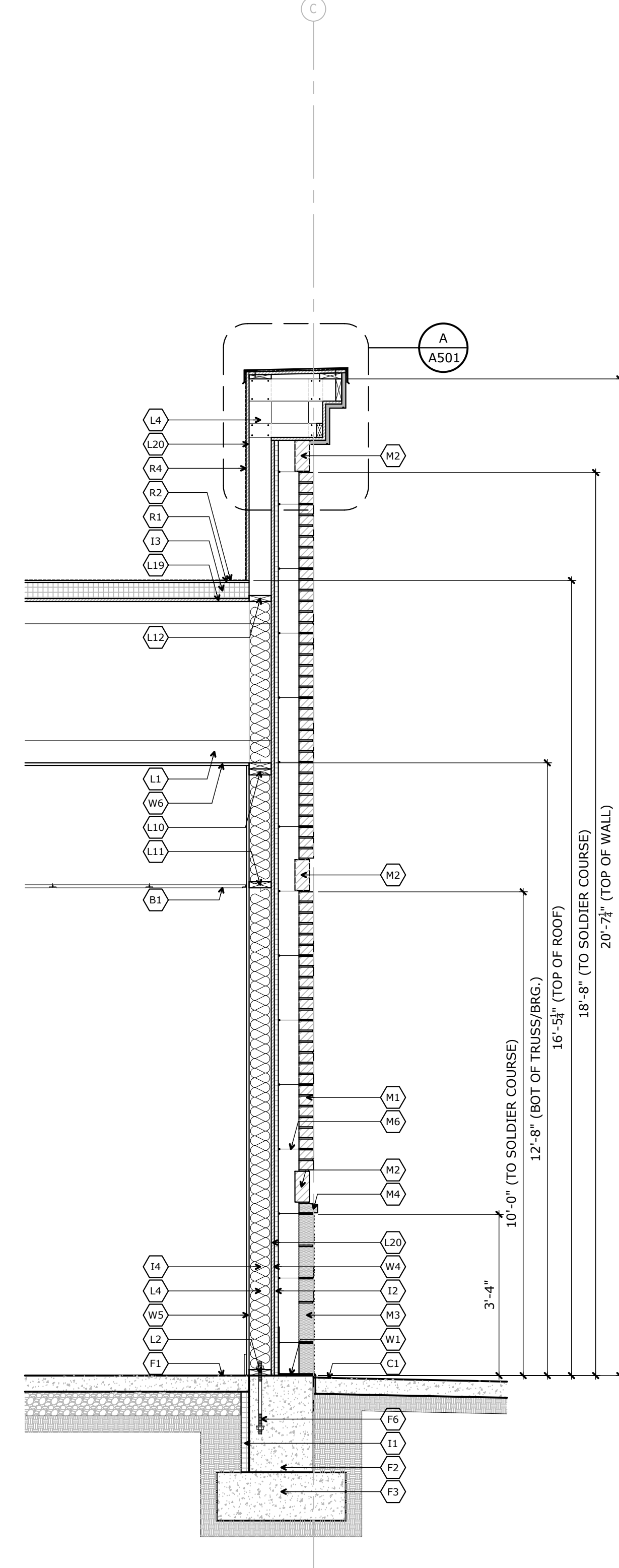
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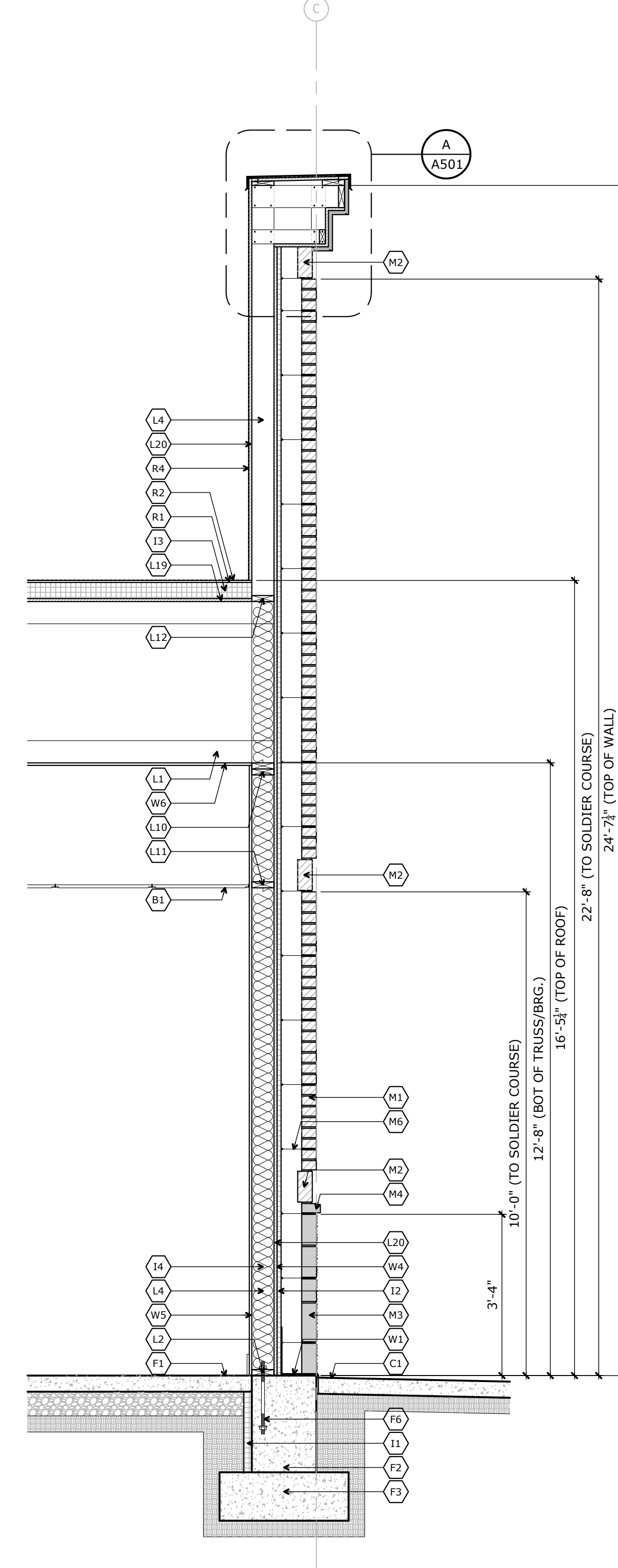
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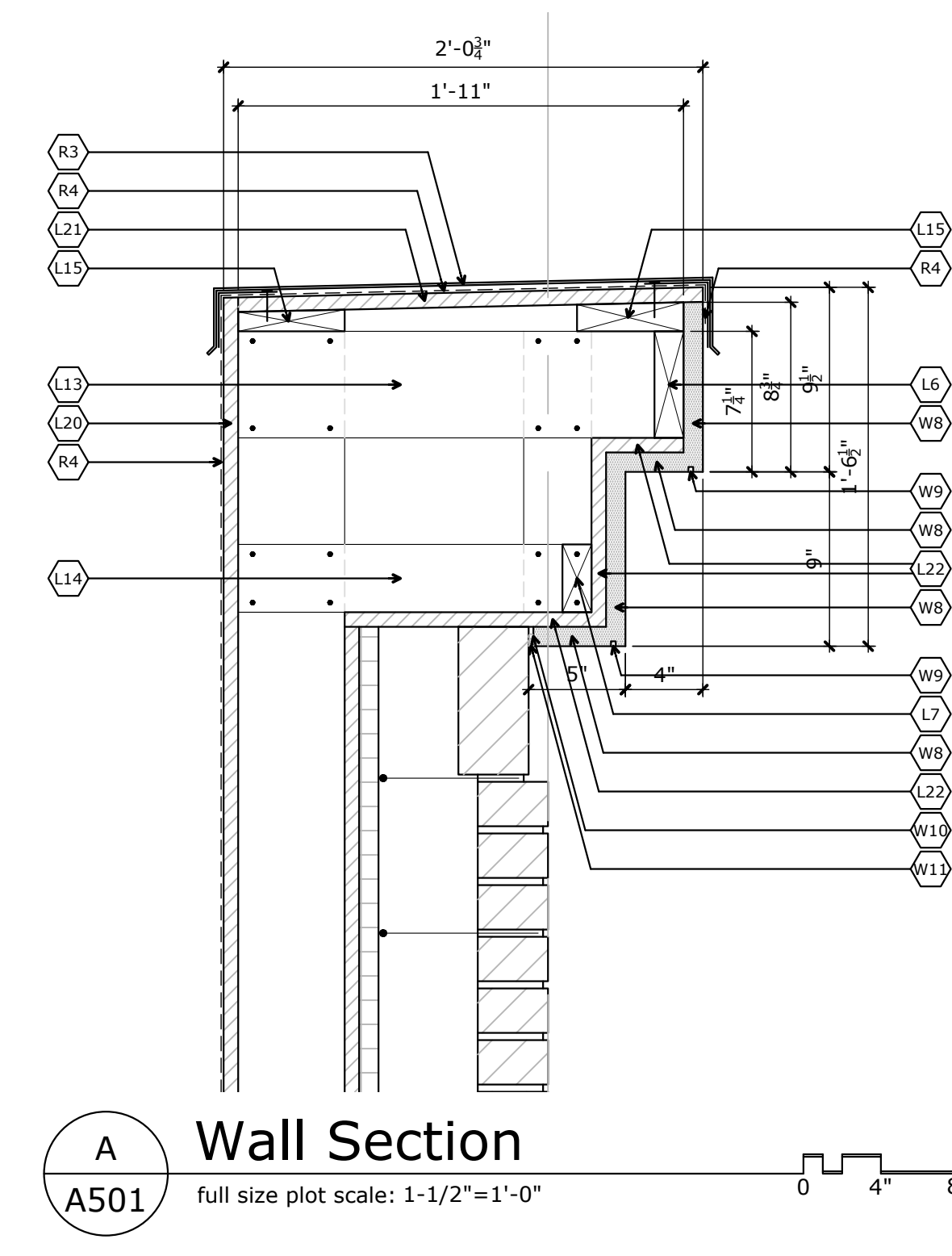
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2 Wall Section  
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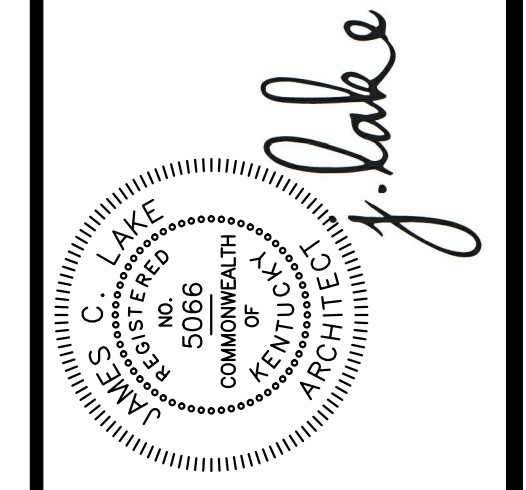
1 Wall Section  
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A Wall Section  
A501 full size plot scale: 1-1/2"=1'-0"

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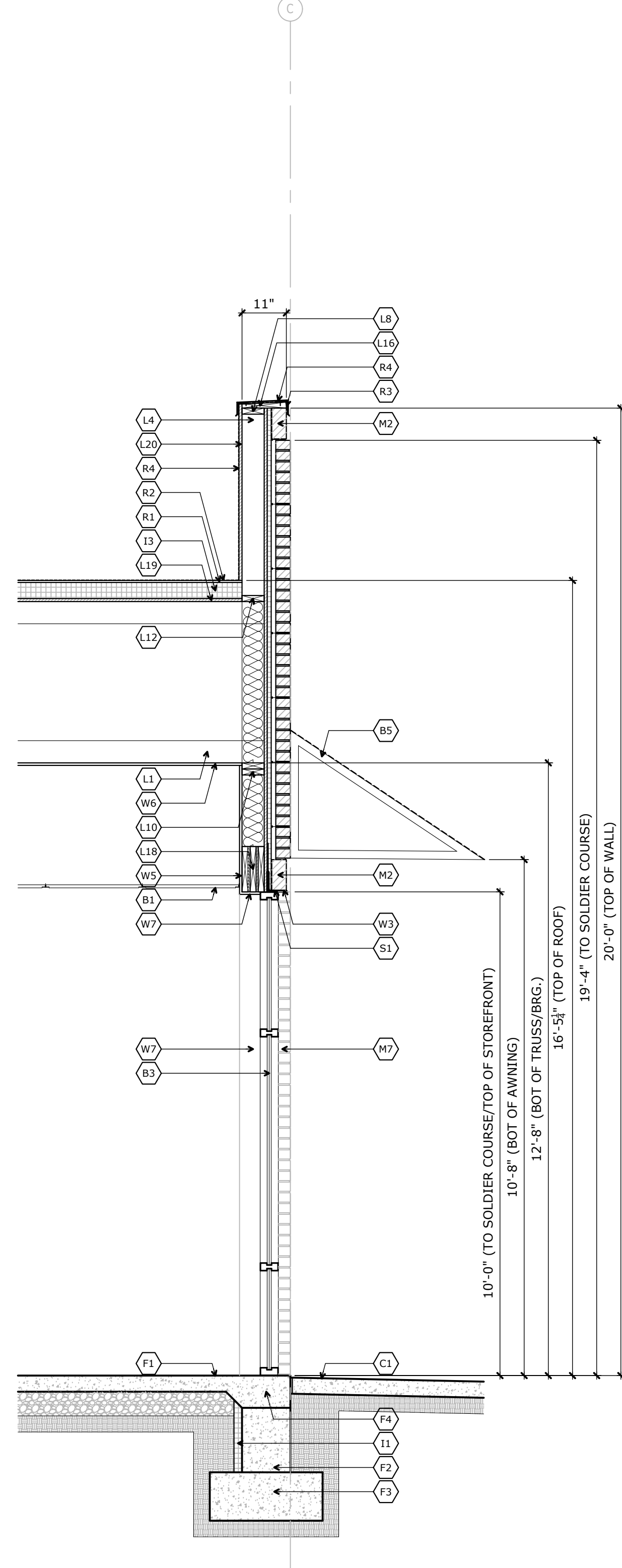


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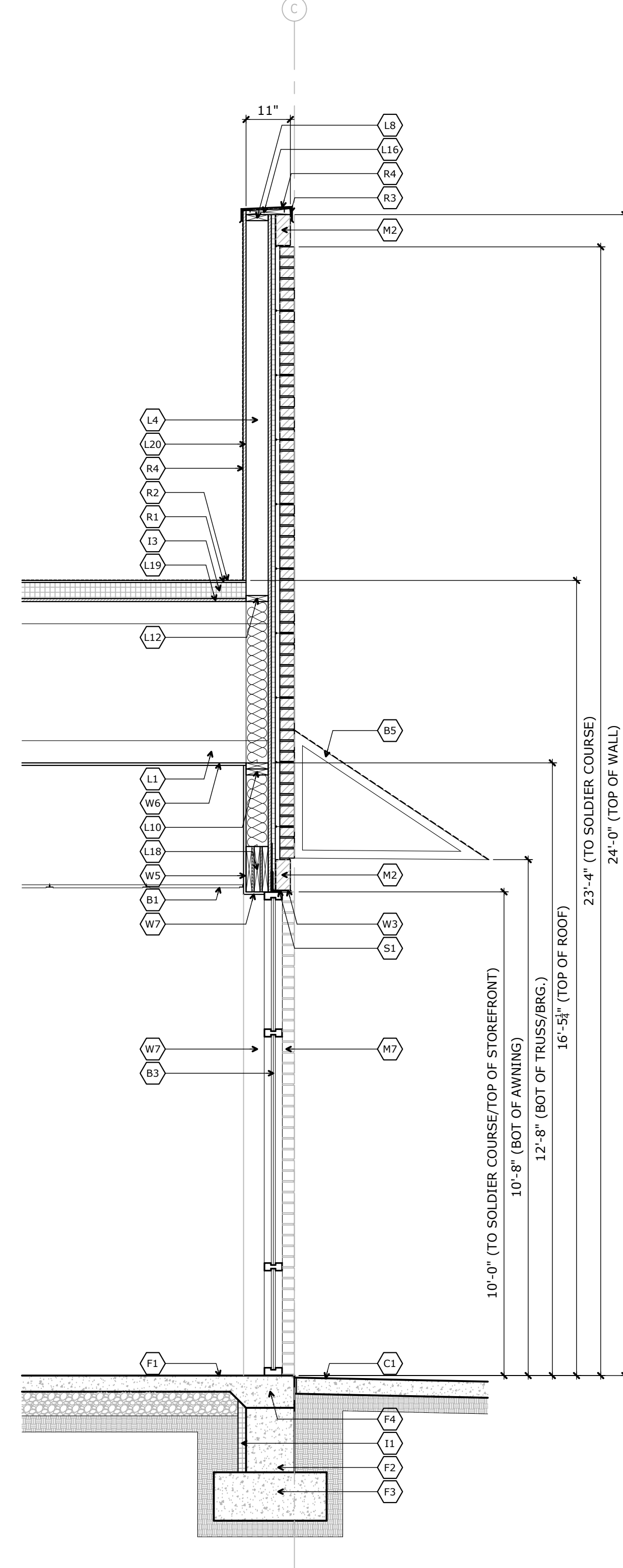
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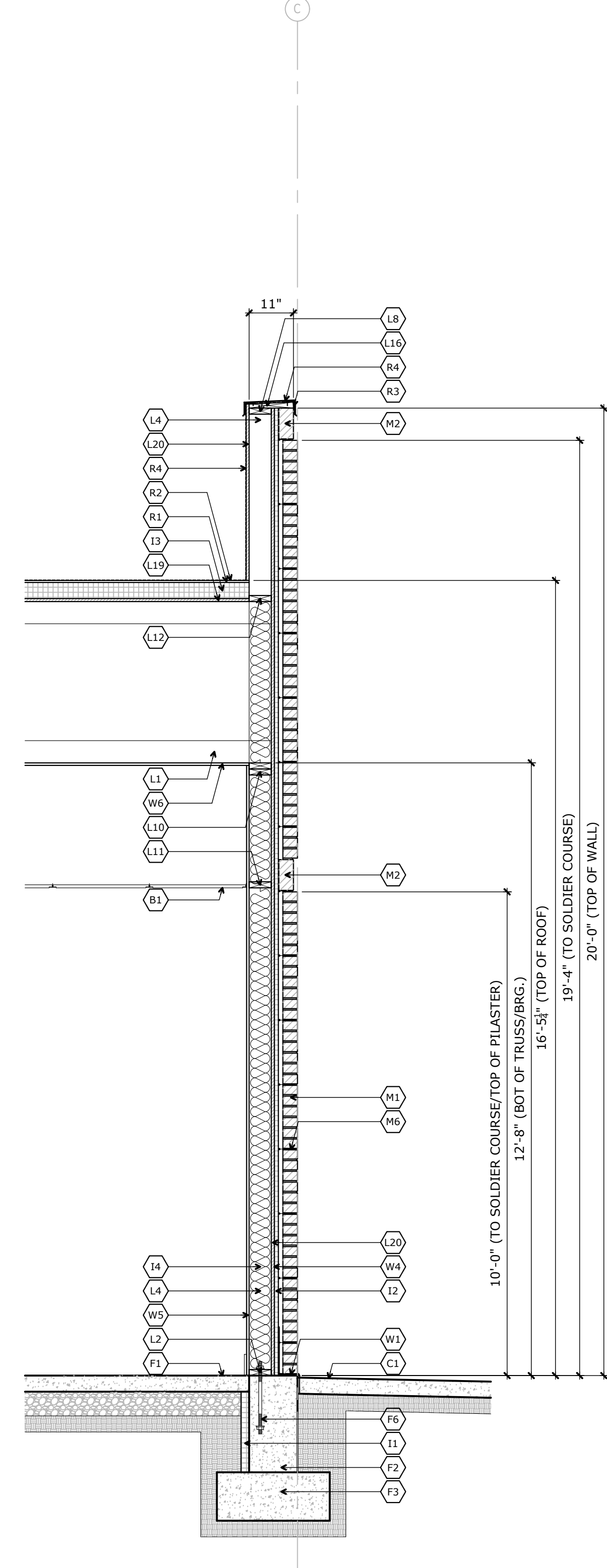
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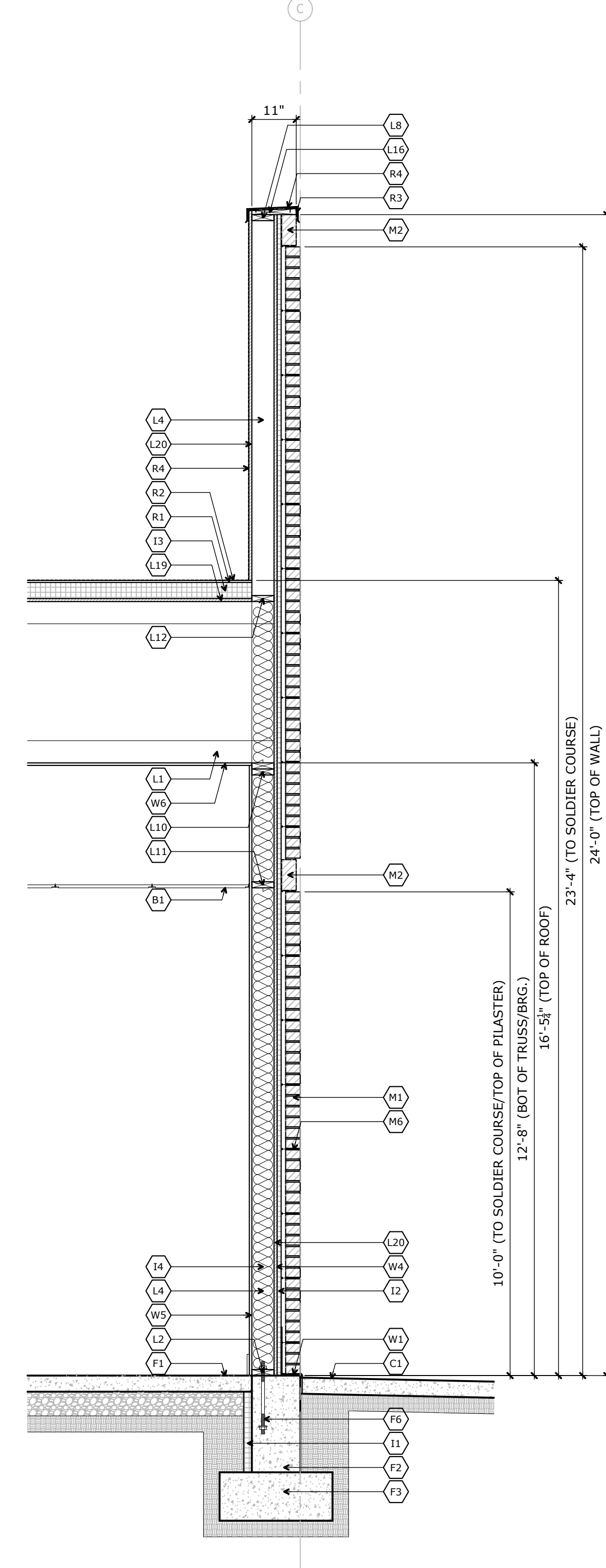
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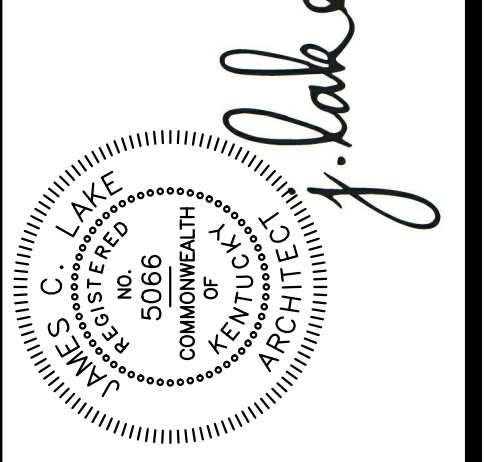


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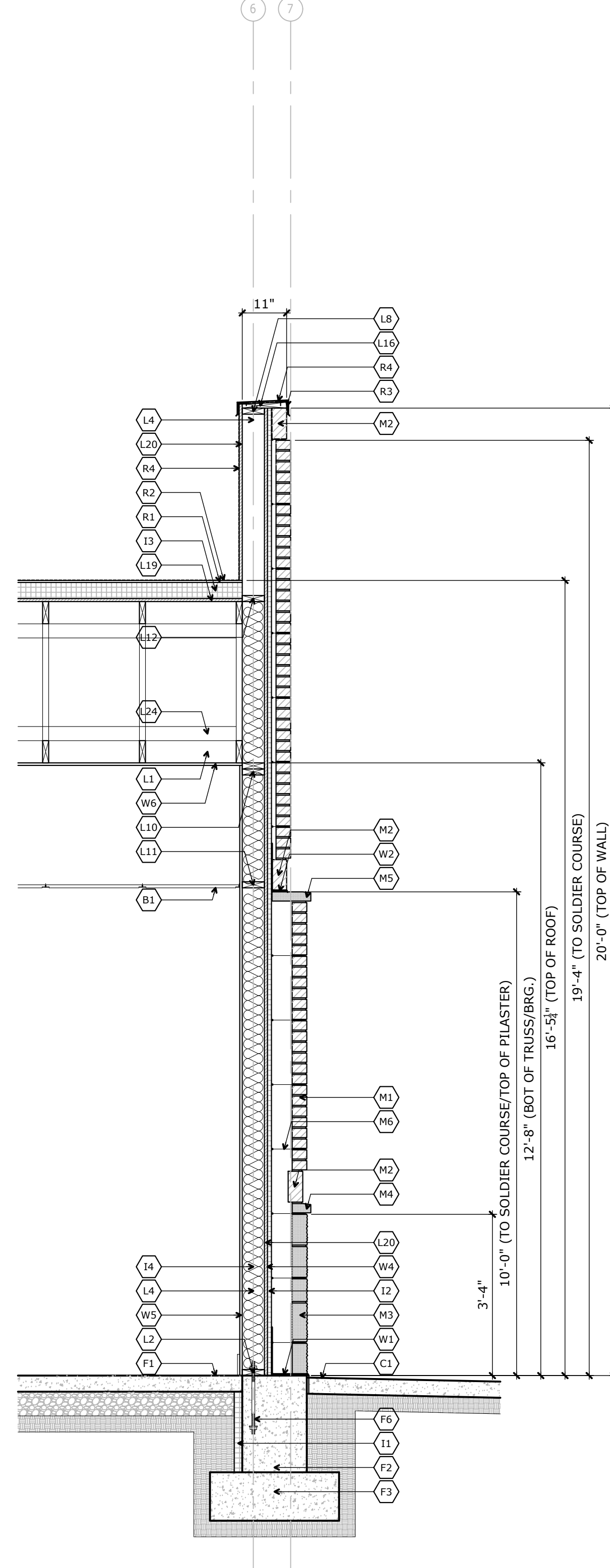


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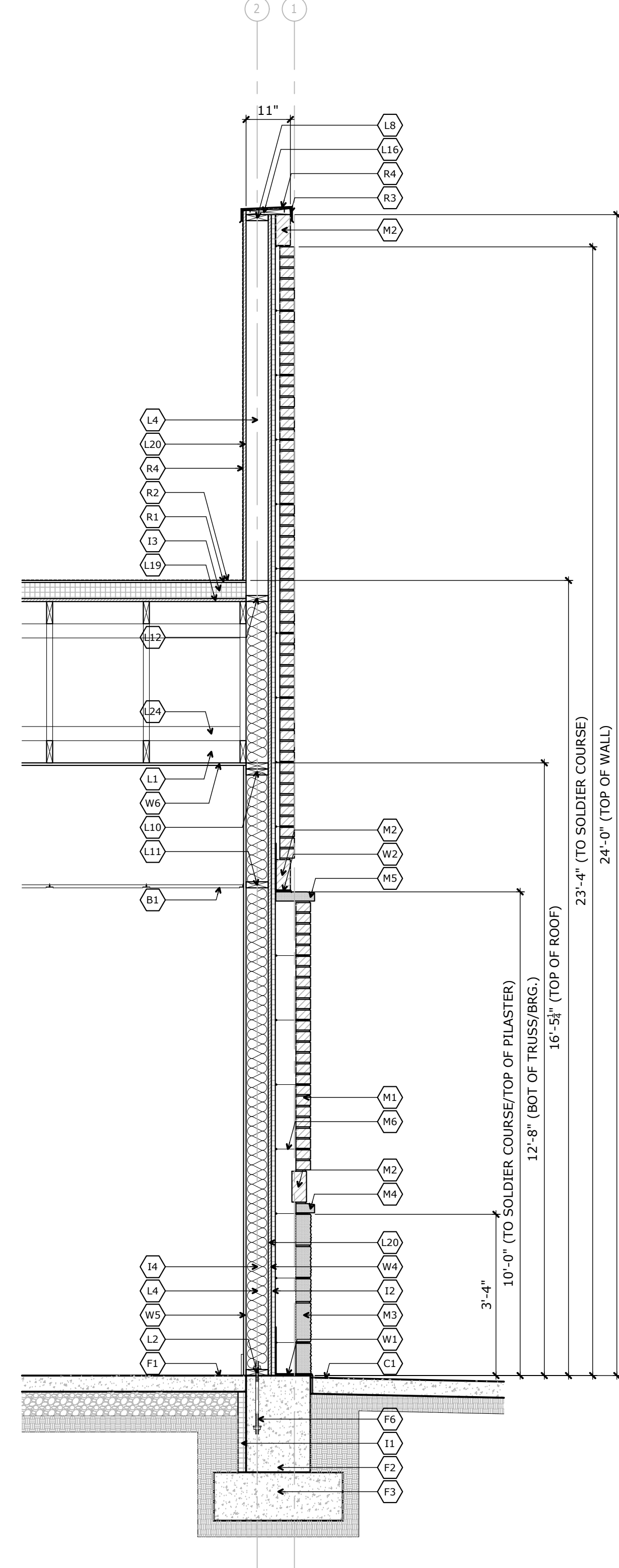
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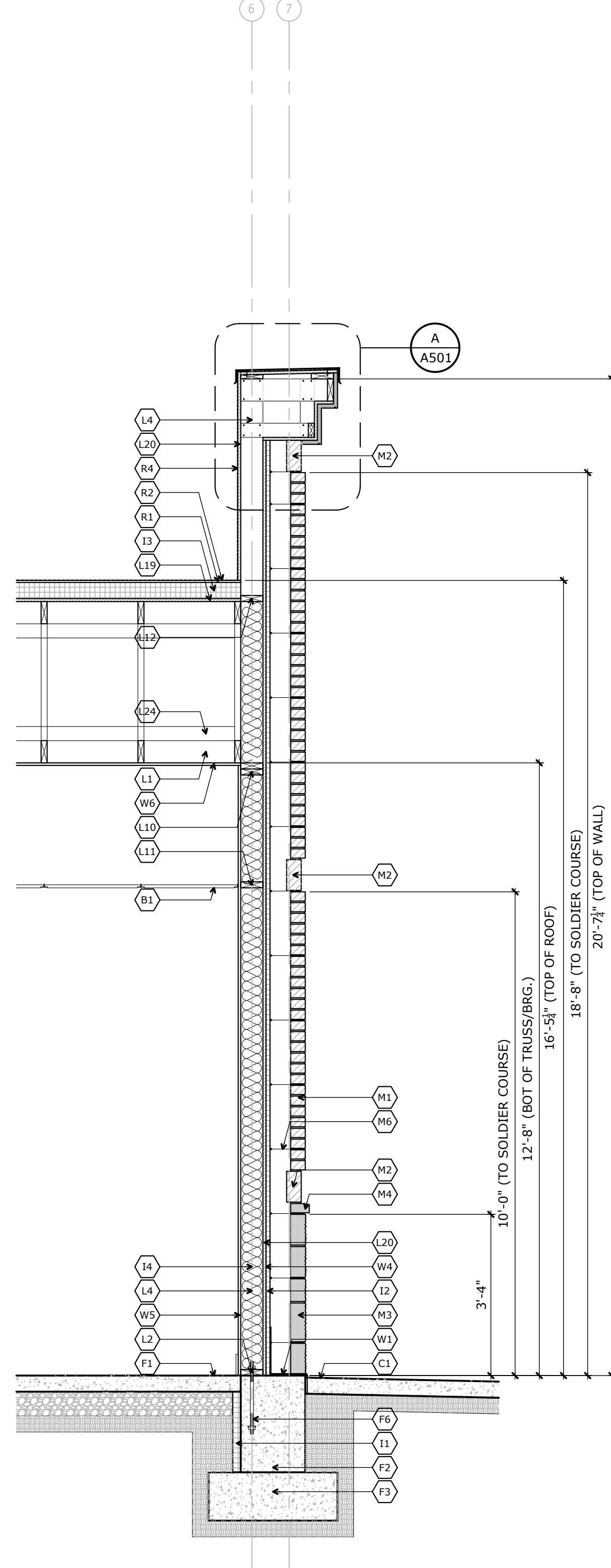
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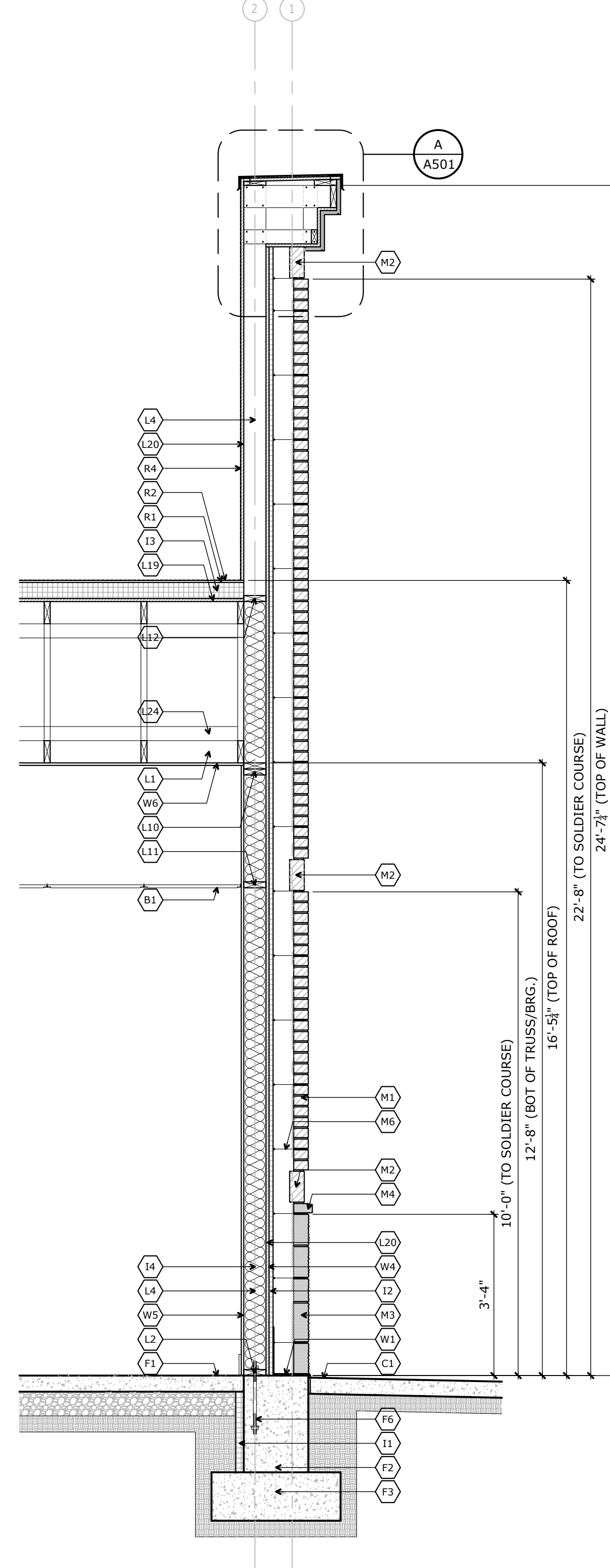
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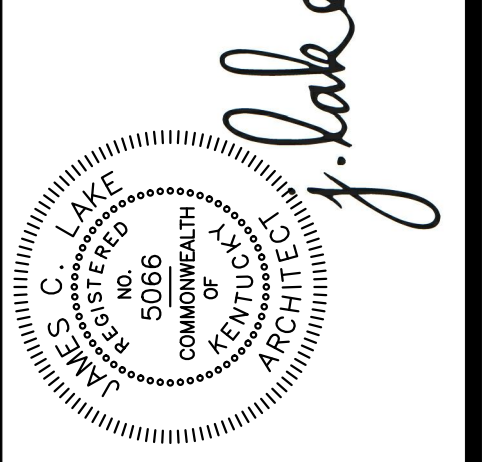


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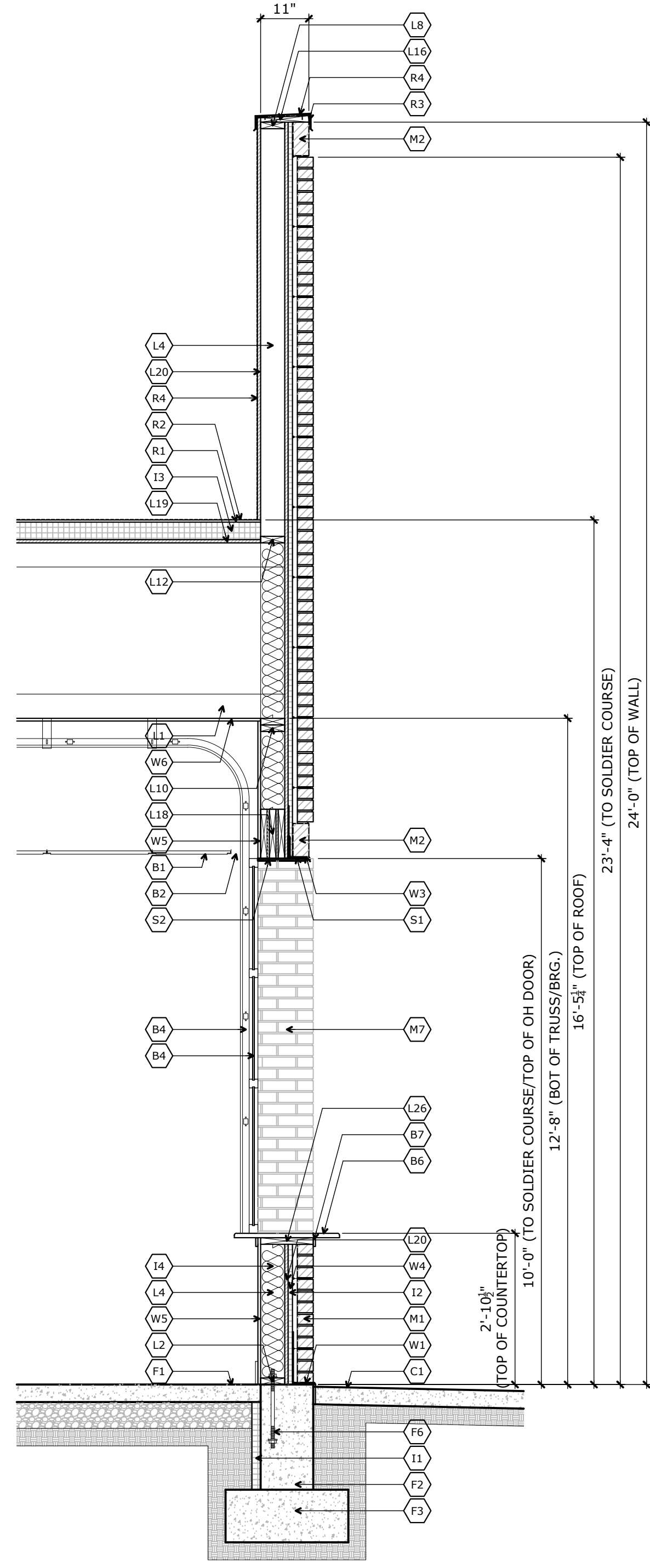
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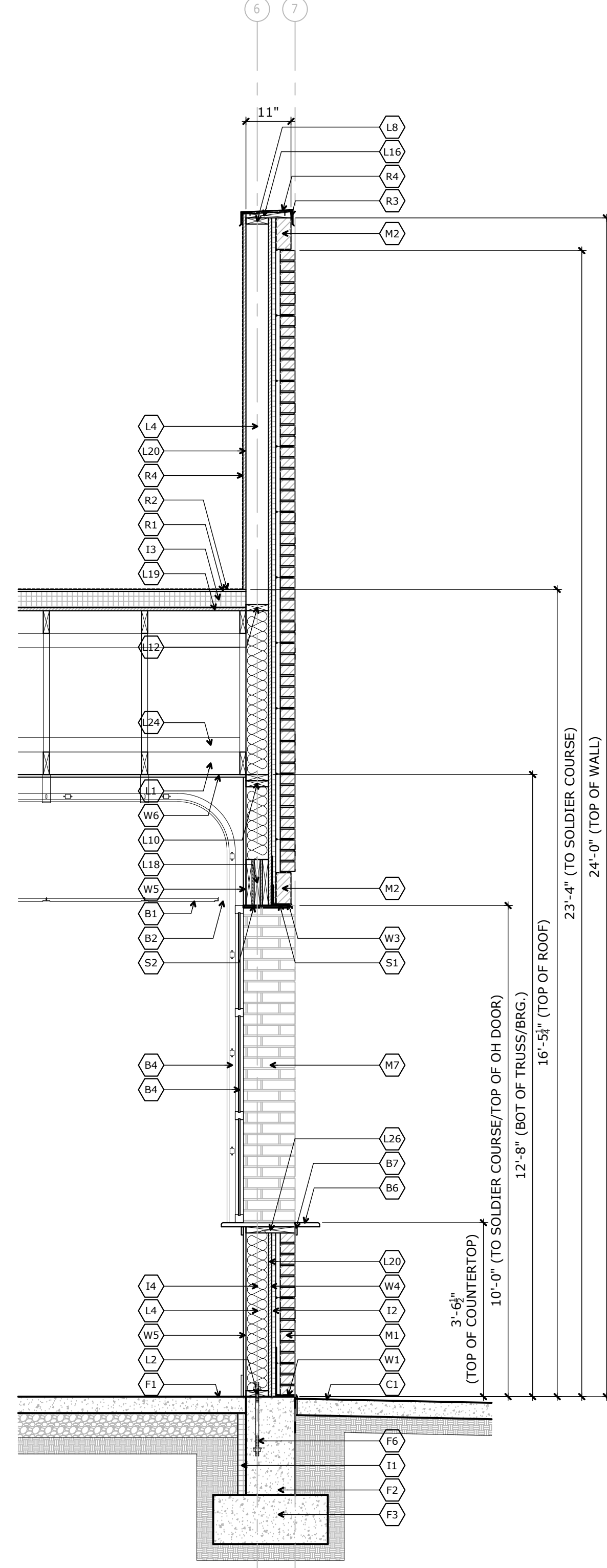
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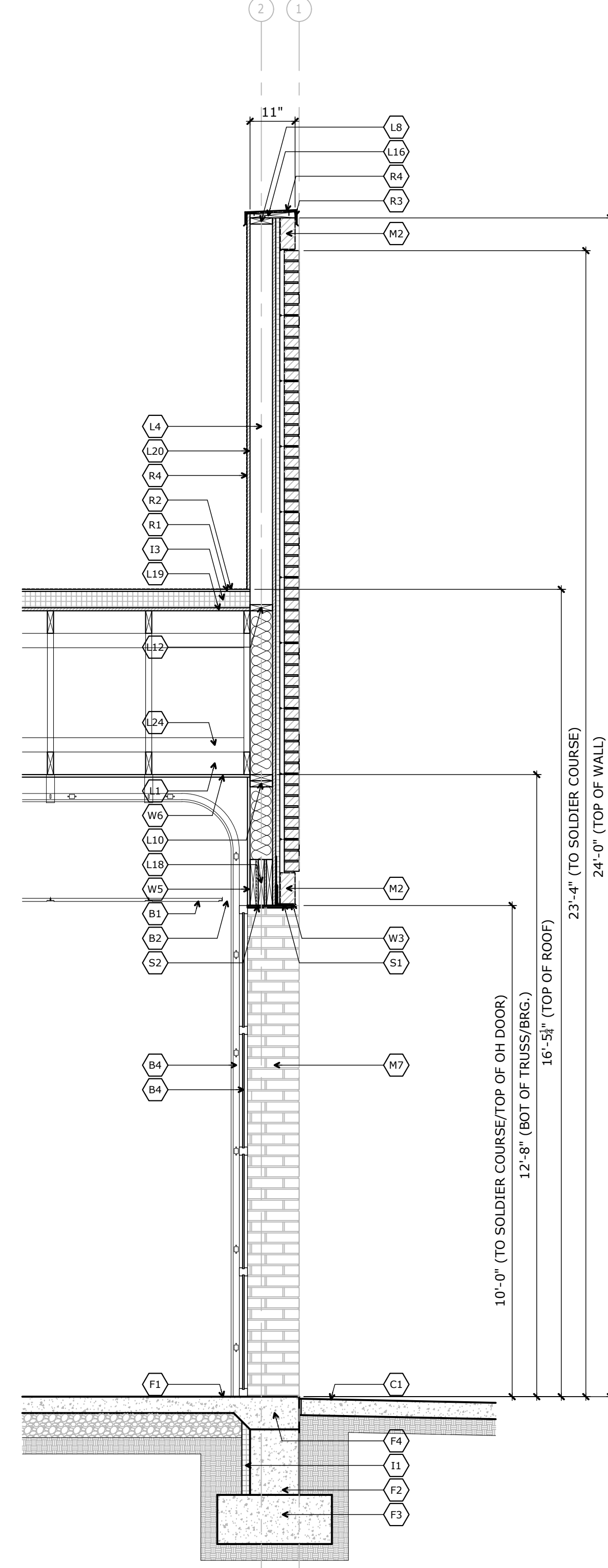
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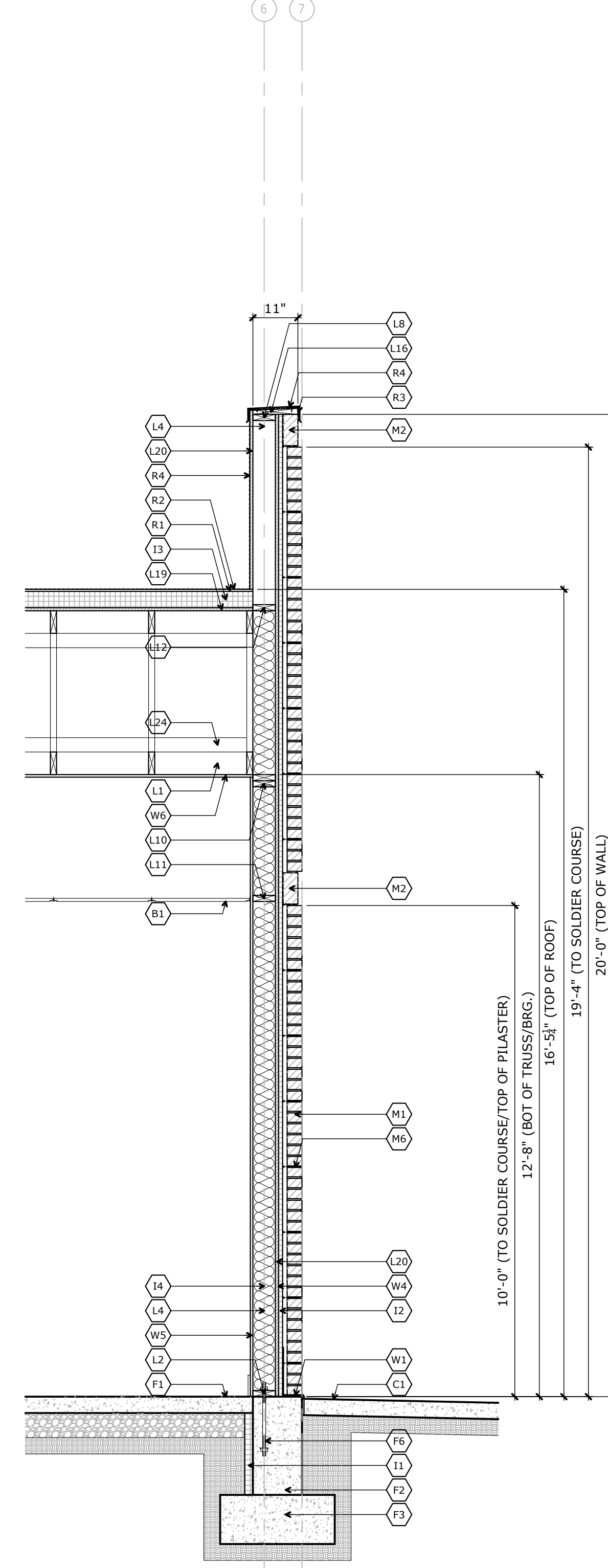
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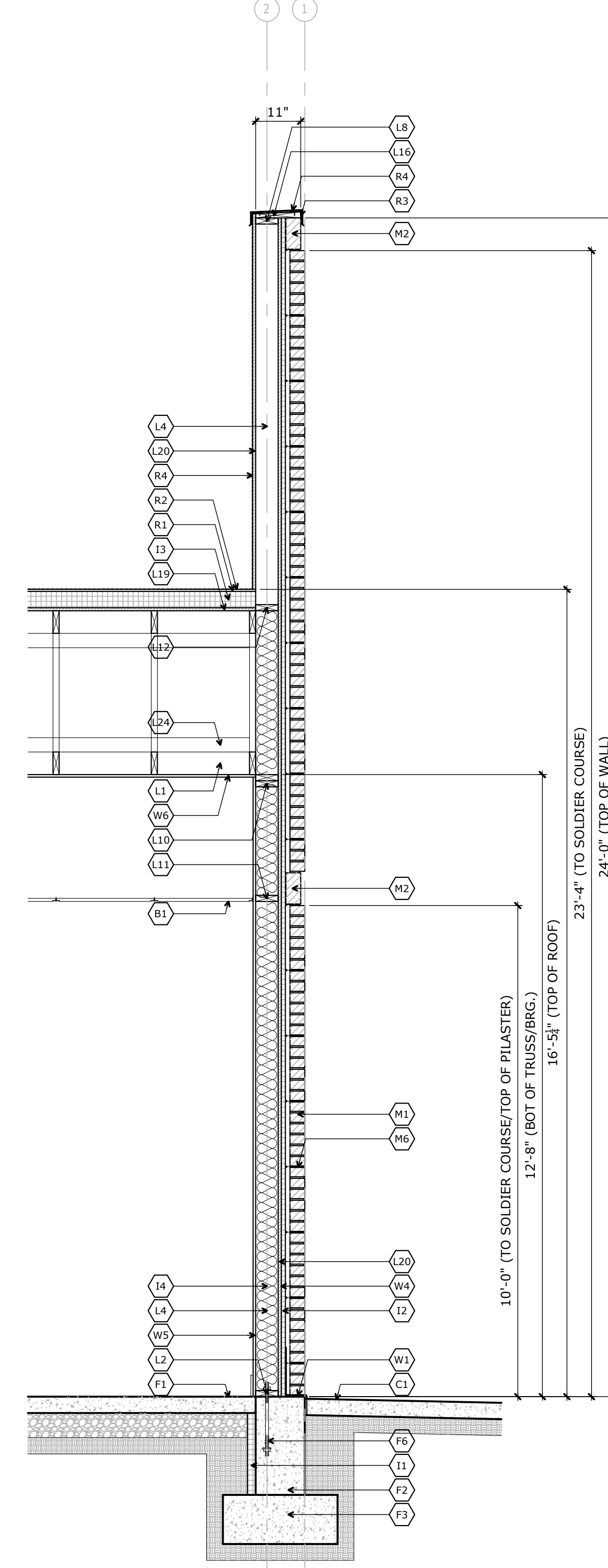
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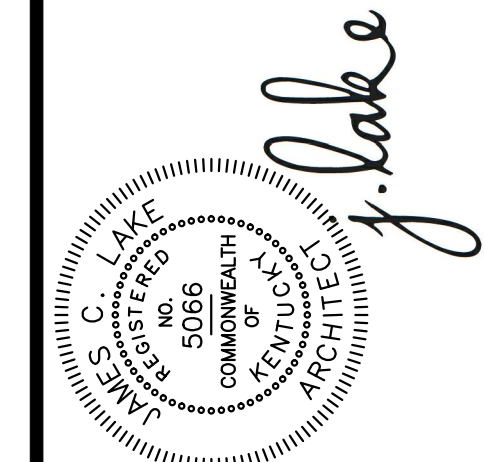


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