

# NEW CONSTRUCTION FOR: LANGLEY FOODS

-----  
MT. STERLING, KY 40004

## ARCHITECT:

KEYES ARCHITECTS AND ASSOCIATES  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213  
PH: (502) 636-5113  
CONTACT: GARRETT HAMM  
EMAIL: GHAMM@KEYESARCHITECTS.COM  
ARCHITECT: CHARLES J. KEYES III

## OWNER:

LANGLEY FOODS  
256 MIDLAND TRAIL  
MT. STERLING, KY 40353  
PH:  
CONTACT:  
EMAIL:

## GENERAL CONTRACTOR:

BCD INC.  
1962 FILIATREAU LN  
BARDSTOWN, KY 40004  
PH: (502) 348-2305  
CONTACT: JASON HARROD  
EMAIL: JHARROD@BARDSTOWN.COM

### PROJECT INFORMATION

APPLICABLE BUILDING CODES  
BUILDING CODE KY BUILDING CODE 2018  
ACCESSIBILITY CODE ANSI 117.1  
ENERGY CODE ASHRAE 90.1 2010

USE AND OCCUPANCY: LOW-HAZARD STORAGE,  
GROUP S-2

CONSTRUCTION TYPE: II-B

BUILDING INFORMATION: PRE-ENGINEERED METAL BUILDING  
USED FOR COLD STORAGE

NEW BUILDING SIZE: 40,625 S.F.

FIRE SUPPRESSION: FULLY SUPPRESSED PER NFPA 13

### OCCUPANCY ALLOWANCE

FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANCY
WAREHOUSE	500 GROSS	40,625	81
TOTAL OCCUPANCY ALLOWANCE:			81

### REVISIONS:

NOTE SYMBOL

### Sheet List Table

Sheet Number	Sheet Title
T1.01	Title Sheet
Foundation Plans & Details	
F1.01	Foundation Plan
F2.01	Foundation Details
F2.02	Foundation Details
Life Safety Plans	
LS1.01	Life Safety Plan
Floor Plans	
A1.01	Floor Plan
Exterior Elevations	
A2.01	Exterior Elevations
Schedules and Standards	
A3.01	Accessibility Site Details
Details & Sections	
A5.01	Wall Sections and Details
A5.02	Wall Sections and Details
A8.01	Stair Details
Specifications	
SP1.01	Specifications
SP1.02	Specifications

# LANGLEY FOOD STORAGE BUILDING

## 256 MIDLAND TRAIL

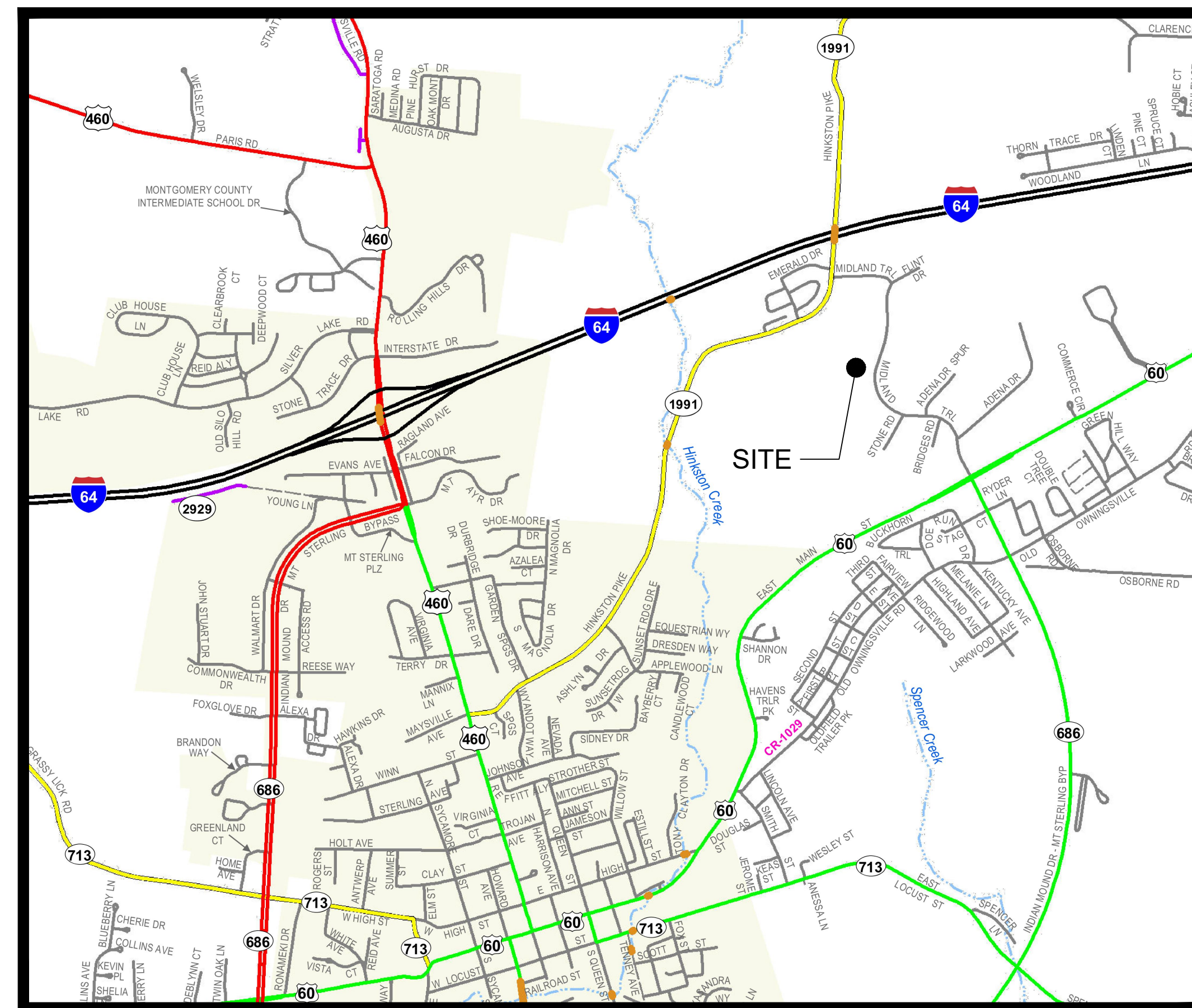
### MOUNT STERLING, KENTUCKY 40353

#### JULY 2021

**ELECTRIC**  
 KENTUCKY UTILITIES  
 200 E. WATER ST.  
 RICHMOND, KY 40475  
 (859) 626-3372 EXT 7  
 CONTACT: TRINA BURTON

**WATER AND SEWER**  
 MT. STERLING WATER AND SEWER  
 300 E MAIN STREET  
 MT. STERLING, KY. 40353  
 (859) 498-0166  
 CONTACT: RICK FLETCHER

**GAS**  
 COLUMBIA GAS  
 2001 MERCER ROAD  
 LEXINGTON, KY 40511  
 (859) 288-0215  
 CONTACT: BRYAN SLONE



**LOCATION MAP**  
 N.T.S.

**OWNER/DEVELOPER:**  
 BCD, INC.  
 1962 FILIATREAU LANE  
 BARDSTOWN, KY 40004  
 PHONE: (502) 348-2305  
 CONTACT: JASON HARROD

**ENGINEER:**  
 PALMER ENGINEERING  
 301 EAST MAIN STREET  
 SUITE 900  
 LEXINGTON, KY 40507  
 PHONE: (859) 389-9293  
 CONTACT: WORTH ELLIS, P.E.

**SURVEYOR:**  
 PALMER ENGINEERING  
 400 SHOPPERS DR.  
 P O BOX 747  
 WINCHESTER, KY 40392  
 PHONE: (859) 744-1218  
 CONTACT: CRAIG PALMER, PLS

#### INDEX OF DRAWINGS

- C-0.0 COVER SHEET
- C-0.1 EXISTING CONDITIONS PLAN
- C-1.0 SITE PLAN
- C-1.1 SITE DETAILS
- C-2.0 EROSION CONTROL PLAN
- C-2.1 EROSION CONTROL DETAILS
- C-3.0 GRADING AND PLAN
- C-3.1 DRAINAGE DETAILS
- C-3.1 DRAINAGE DETAILS
- C-4.0 UTILITY PLAN
- C-4.1 UTILITY DETAILS
- C-5.0 LANDSCAPE PLAN

DATE	REVISION DESCRIPTION

**COVER SHEET**  
 LANGLEY FOOD STORAGE BUILDING  
 BCD, INC.  
 256 MIDLAND TRAIL  
 MOUNT STERLING, KENTUCKY 40353

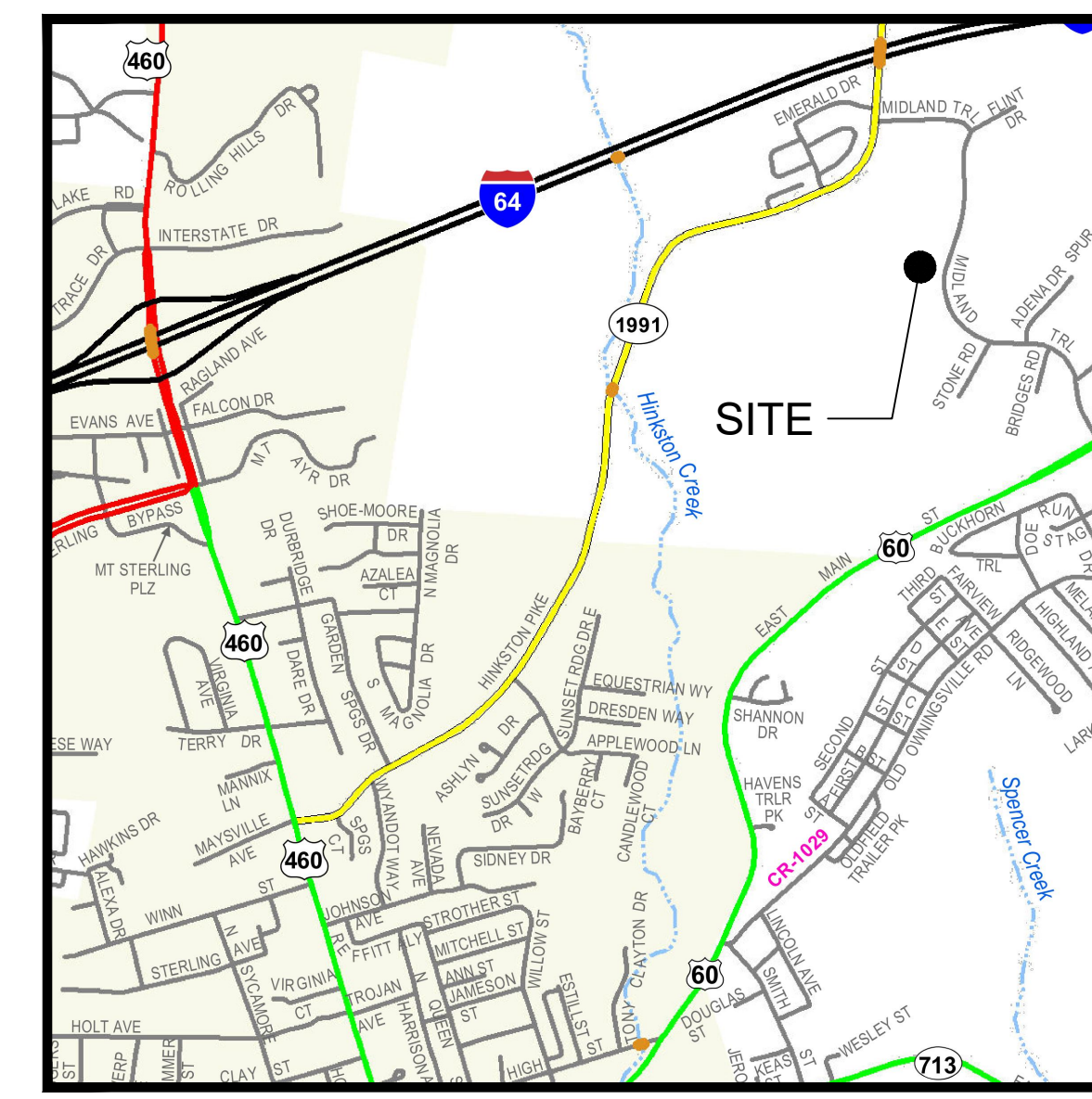
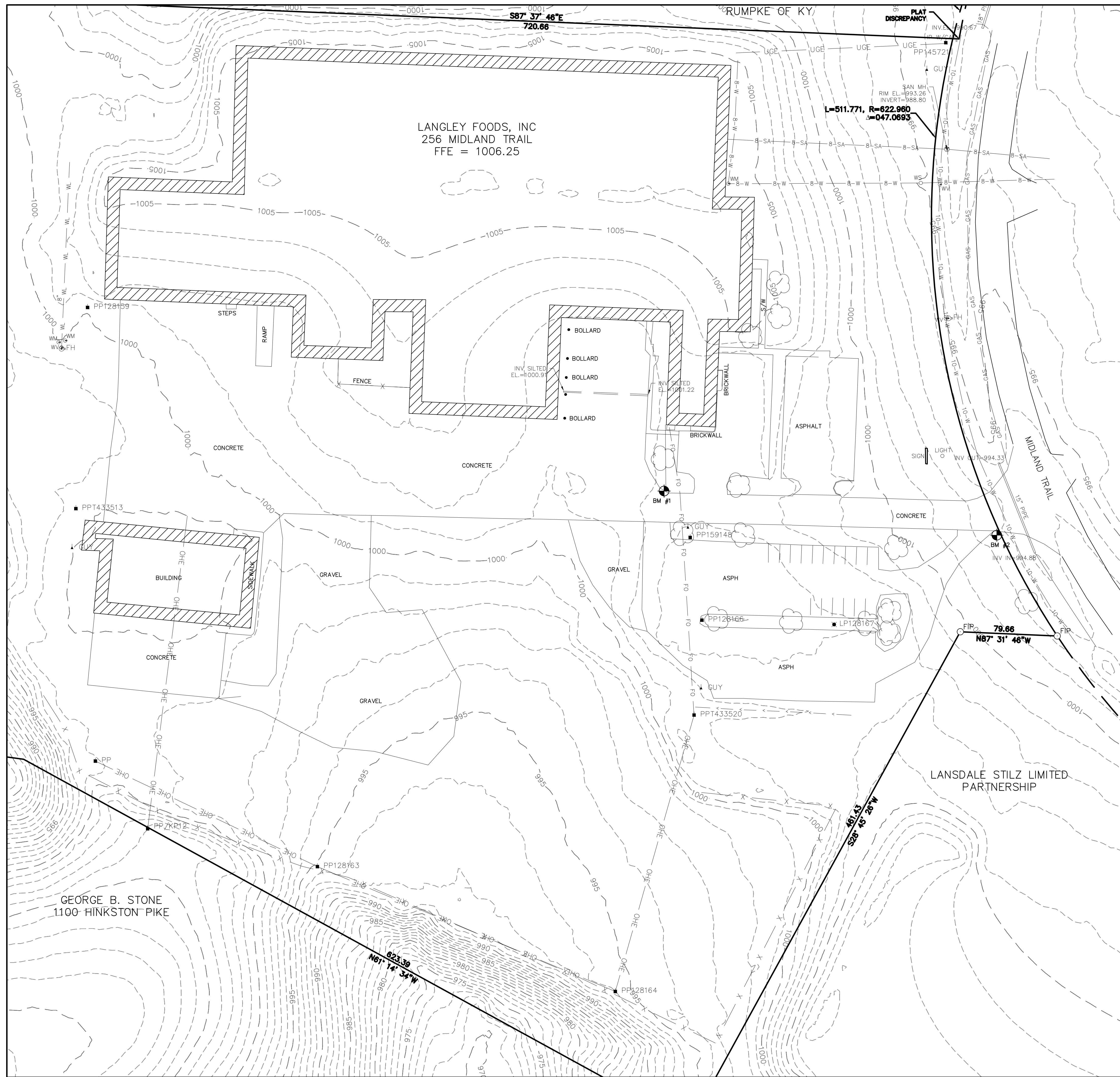


Know what's below.  
 Call before you dig.

EDITION: REGULATORY SUBMITTAL

**Palmer ENGINEERING**  
 PALMER ENGINEERING  
 301 EAST MAIN STREET  
 LEXINGTON, KY 40507  
 859-389-9293

JOB NUMBER: 12128.00  
 SHEET: C-0.0  
 DATE: 07/30/2021  
 SCALE: AS NOTED  
 DRAWN: WCM/RMT  
 CHECKED: WCE



VICINITY MAP  
NTS

CONTROL POINT TABLE

BENCHMARK	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	3921365.112	5446624.369	1002.579	IRON PIN
2	3921328.908	5446897.363	997.849	IRON PIN

**FLOODPLAIN NOTE:**  
THIS PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FEMA'S FIRM MAPPING, (21173C0108D) DATED JANUARY 6, 2011.

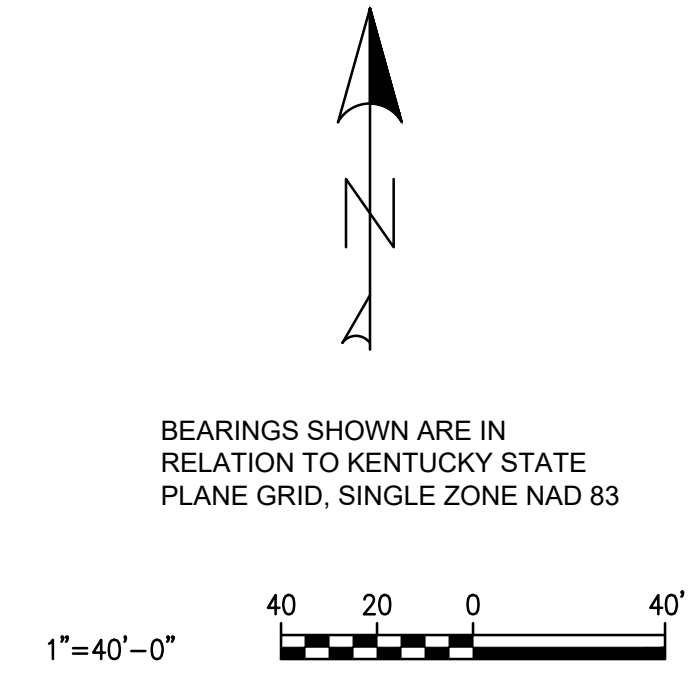
- EXISTING CONDITION PLAN NOTES:**
1. THESE PLANS ARE NOT INTENDED FOR LAND TRANSFER AS THEY DO NOT CONSTITUTE A BOUNDARY SURVEY AND DO NOT MEET THE REQUIRED MINIMUM STANDARDS. OBTAINING A BUILDING PERMIT IS THE SOLE PURPOSE OF THIS SHEET.
  2. CONTOURS SHOWN ON THIS SHEET ARE GENERATED FROM DEM INFORMATION DOWNLOADED FROM KYFROMABOVE.KY.GOV.

LEGEND

	- BOLLARD POST
	- LIGHT POLE
	- UTILITY POLE
	- FIRE HYDRANT
	- SANITARY SEWER MANHOLE
	- IRON PIN
	- SET (PLS XXXX) *
	- FOUND
	- PROPERTY BOUNDARY
	- ADJACENT BOUNDARY
	- ARC CHORD
	- APPROX. ROAD CENTERLINE
	- EXISTING EASEMENT
	- EXISTING MAJOR CONTOUR
	- EXISTING MINOR CONTOUR
	- OVERHEAD UTILITY LINE
	- SANITARY SEWER LINE
	- GAS LINE
	- WATER LINE
	- 8" WATER LINE
	- 10" WATER LINE
	- UNDERGROUND FIBER OPTIC LINE
	- UNDERGROUND ELECTRIC LINE



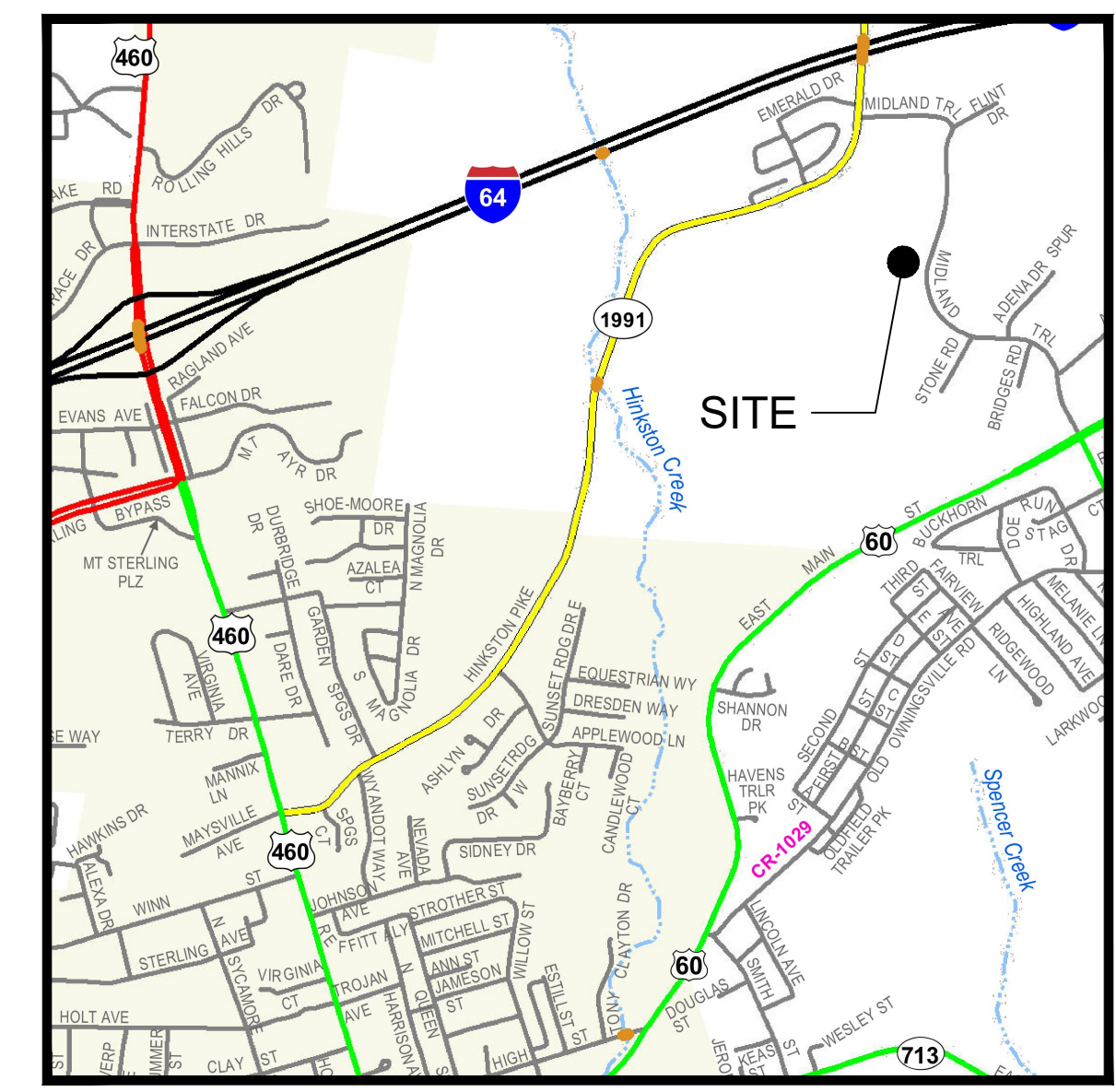
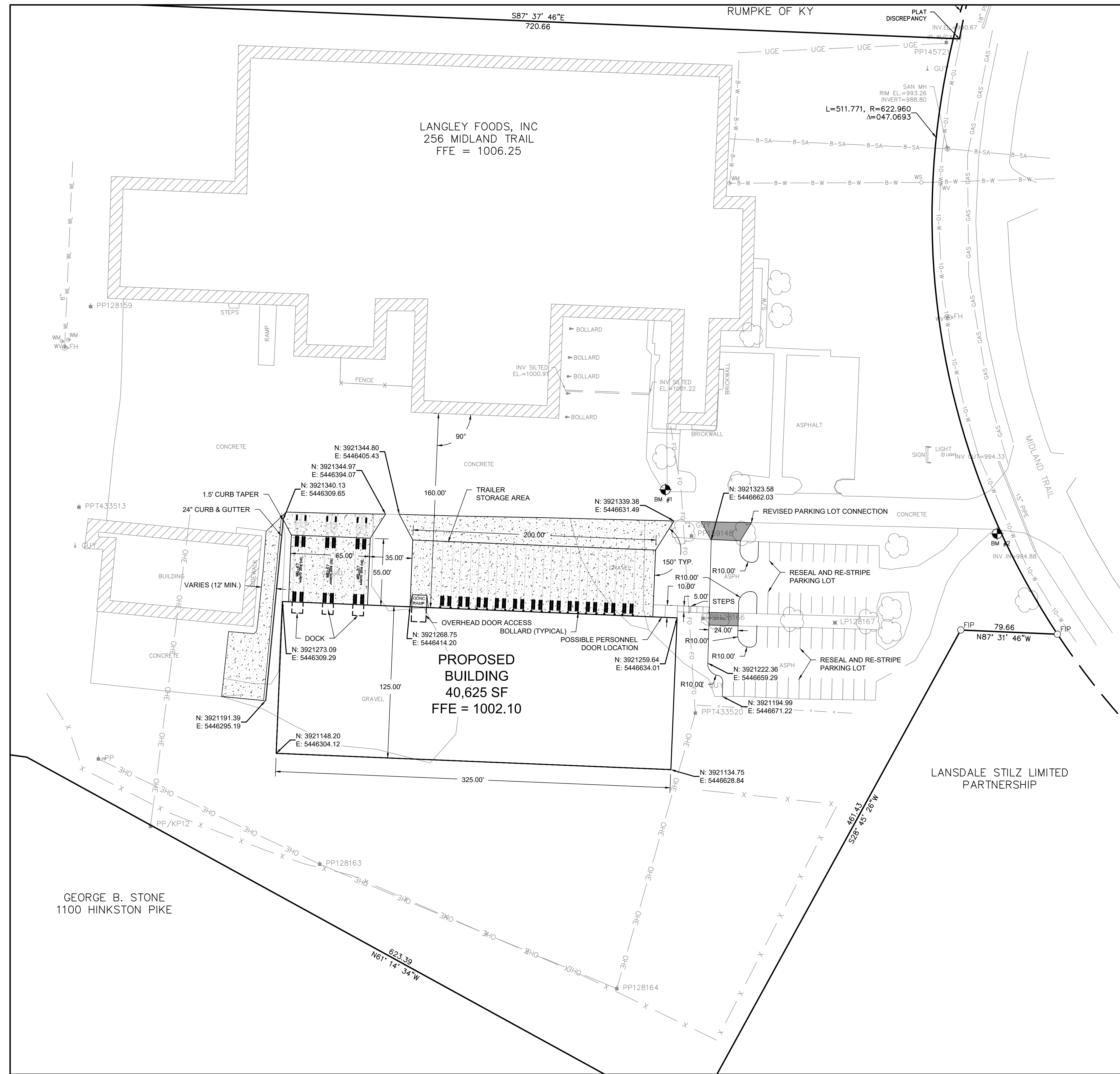
Know what's below.  
Call before you dig.



DATE	REVISION DESCRIPTION

<b>EXISTING CONDITIONS PLAN</b> LANGLEY FOOD STORAGE BUILDING BCD, INC. 256 MIDLAND TRAIL MOUNT STERLING, KENTUCKY 40353	 PALMER ENGINEERING 301 EAST MAIN STREET LEWISTON, KY 40007 502-339-9233
JOB NUMBER: 12128.00 SHEET: C-0.1	DATE: 07/30/2021 SCALE: 1" = 40' DRAWN: WCM/RMT CHECKED: WCE



**SITE PLAN NOTES:**

1. ALL CONSTRUCTION MUST CONFORM TO THE CITY OF MT. STERLING, COUNTY OF MONTGOMERY, AND STATE OF KENTUCKY STANDARDS.
2. ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE TO THE FACE OF THE CURB, BUILDING, OR WALL. WHERE CURB IS NOT PRESENT, DIMENSIONS ARE TO EDGE OF PAVEMENT. ALL RADII ARE FIVE (5) FEET, UNLESS OTHERWISE DIMENSIONED ON THIS SHEET.
3. NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PERIMETER EROSION CONTROL MEASURES ARE INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE KPDES PERMIT IF REQUIRED.
4. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE PROJECT DOCUMENTS.
5. ALL SURVEY INFORMATION IS RELATIVE TO KENTUCKY STATE PLANE SINGLE ZONE COORDINATE SYSTEM.
6. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
7. THIS SITE IS NOT WITHIN THE 100-YEAR FLOODPLAIN PER FEMA PANEL 21049C0043C, EFFECTIVE ON JUNE 5, 2012.
8. TYPICAL PARKING STALL IS TO BE 9'X18' IN DIMENSION.

**SITE STATISTICS:**

256 MIDLAND TRAIL

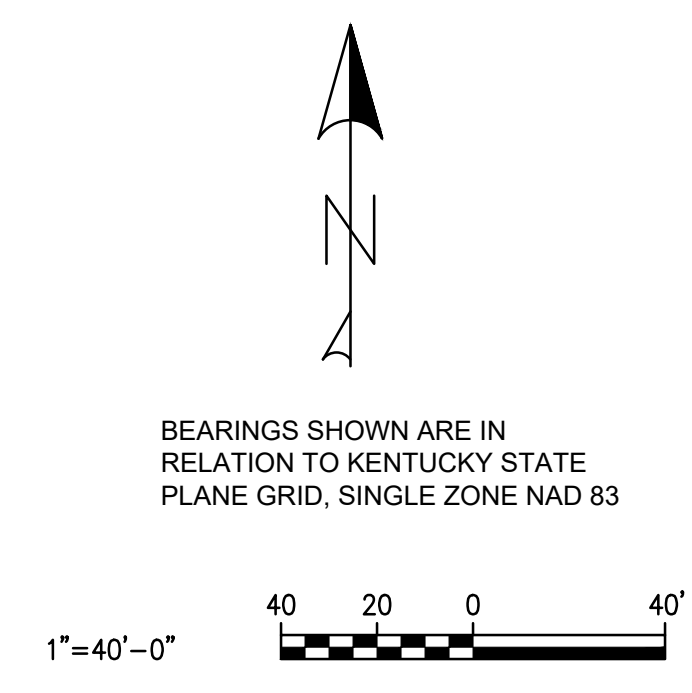
TOTAL ACREAGE.....	15.6± AC
ZONING.....	N/A
TOTAL BUILDING SQUARE FOOTAGE.....	40,625 SF
BUILDING HEIGHT.....	30± FT

**LEGEND**

	PROPERTY LINE
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING FIBER OPTIC LINE
	EXISTING OVERHEAD UTILITY
	EXISTING FENCE
	CONCRETE PAVEMENT
	REGULAR DUTY ASPHALT PAVEMENT



Know what's below.  
Call before you dig.



DATE	REVISION DESCRIPTION

**SITE PLAN**

LANGLEY FOOD STORAGE BUILDING  
BCD, INC.  
256 MIDLAND TRAIL  
MOUNT STERLING, KENTUCKY 40353

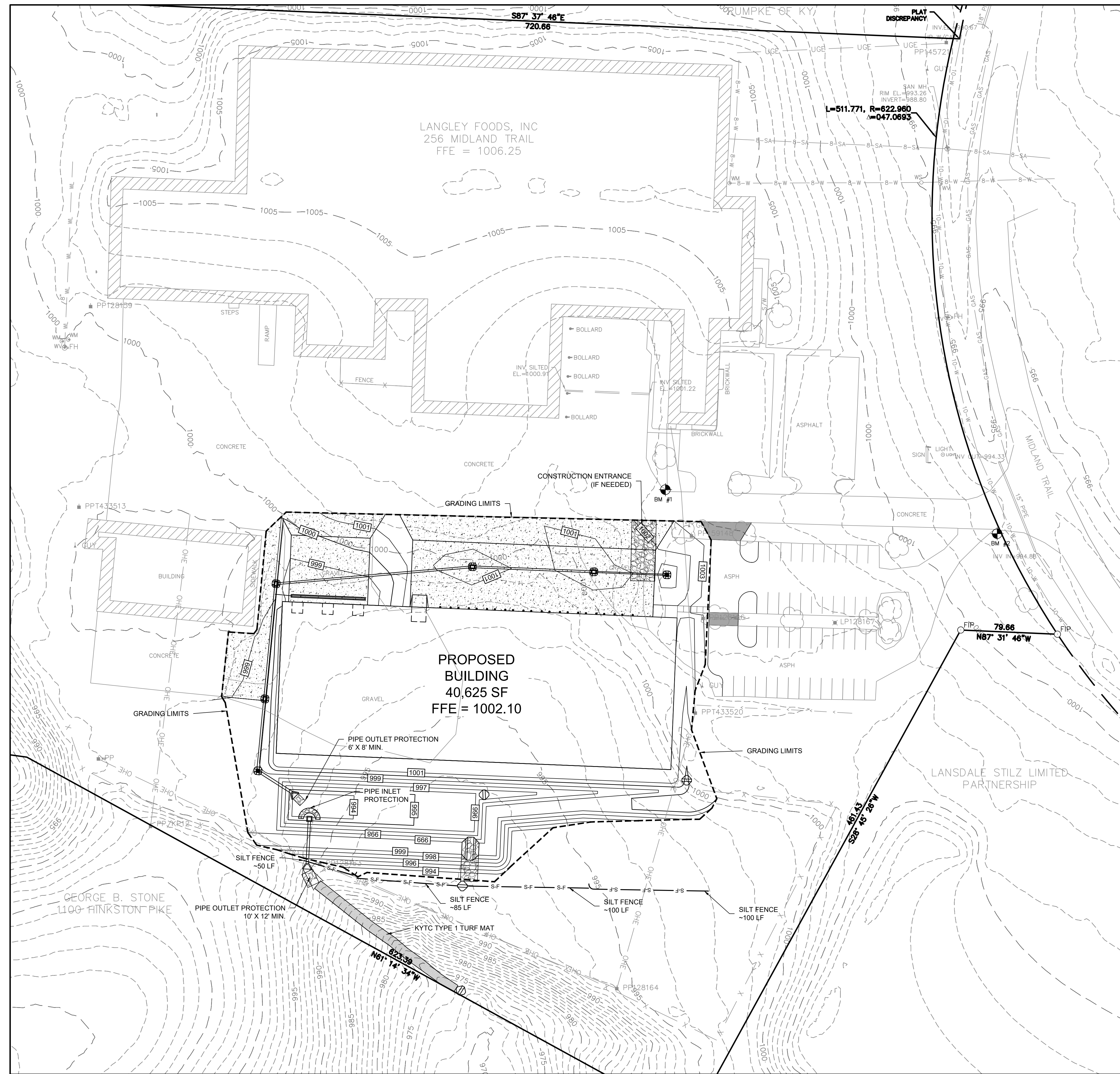
**Palmer ENGINEERING**

301 EAST MAIN STREET  
MOUNTAIN STATION, KY 40007  
859-389-9293

JOB NUMBER: 12128.00  
DATE: 07/30/2021  
SCALE: 1" = 40'

DRAWN: WCM/RMT  
CHECKED: WCE

SHEET: C-1.0



**EROSION CONTROL NOTES:**

1. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM ALL GOVERNING AUTHORITIES. CONTRACTOR SHALL APPLY FOR LAND DISTURBANCE PERMIT WITH THE CITY OF WINCHESTER.
2. THE CONTRACTOR SHALL STRICTLY ADHERE TO THIS EROSION CONTROL PLAN DURING CONSTRUCTION. CONTRACTOR TO APPLY FOR PERMIT AND PREPARE SWPPP DOCUMENT IF REQUIRED.
3. NO LAND DISTURBING ACTIVITIES SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
4. ALL EXPOSED AREAS SHALL BE PLANTED WITHIN 14 DAYS OF FINAL GRADING.
5. SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY FOURTEEN (14) DAYS AND AFTER EVERY 0.5 INCH RAIN OR EVERY SEVEN (7) DAYS.
7. THESE PLANS SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE SITE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL AND SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS BY THE SITE CONTRACTOR.
8. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT OF PERMANENT SOIL STABILIZATION.
10. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT DOCUMENTS.
11. AT LEAST ONE CONSTRUCTION ENTRANCE SHALL BE USED AT ALL TIMES WHILE CONSTRUCTION IS OCCURRING. STREETS AND PARKING AREAS ADJACENT TO THE CONSTRUCTION SITE MUST BE CLEARED OF DEBRIS TRACKED OUT OF THE CONSTRUCTION SITE.
12. ALL STOCKPILES SHALL BE LOCATED ON THESE PLANS WHEN PLACED. STOCKPILES SHALL BE SURROUNDED BY SILT FENCE. IF STOCKPILES ARE NOT USED FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION THROUGH SEED AND/OR MULCH SHALL BE APPLIED.
13. ALL SANITARY WASTE FACILITIES, FUEL STORAGE INCLUDING SECONDARY CONTAINMENT, AND CONCRETE WASH OUT AREAS SHALL BE LOCATED ON THESE PLANS WHEN PLACED ON SITE.
14. EXCAVATING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE CONCRETE WASHOUT ONCE ALL CONCRETE WORK ON SITE IS COMPLETE.

**EROSION CONTROL/CONSTRUCTION PHASING:**

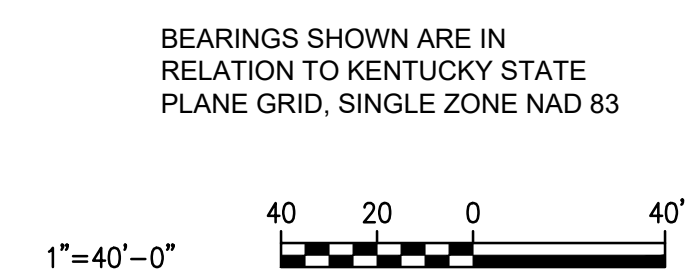
- A. CONTRACTOR TO OBTAIN KPDES STORMWATER CONSTRUCTION PERMIT AND RECEIVE GRADING PERMIT FROM THE CITY OF MT. STERLING PRIOR TO STARTING CONSTRUCTION ACTIVITIES. CONSTRUCTION SHALL NOT COMMENCE UNTIL APPROVAL BY ALL GOVERNING AUTHORITIES IS OBTAINED.
- B. INSTALL CONSTRUCTION ENTRANCE AS SHOWN ON THIS PLAN.
- C. INSTALL PERIMETER EROSION CONTROL MEASURES, INCLUDING ROCK CHECK DAMS AND SILT FENCE.
- E. BEGIN CLEARING AND GRUBBING OPERATIONS.
- F. EXCAVATE DETENTION POND TO BE USED AS TEMPORARY SEDIMENT BASIN. CONTRACTOR TO INSTALL PERMANENT OUTLET STRUCTURE, STORM PIPE 01-02, AND HEADWALL DURING CONSTRUCTION OF SEDIMENT BASIN. CONTRACTOR TO PLACE FILTER FABRIC AND CHANNEL LINING ROCK AT THE PERMANENT OUTLET STRUCTURE TO PREVENT SEDIMENT FROM LEAVING THE POND. SEE DETAILS ON SHEET 3.2.
- G. COMMENCE SITE GRADING AND BUILDING CONSTRUCTION.
- H. AS SITE APPROACHES GRADE, CONSTRUCT PROPOSED UNDERGROUND UTILITIES INCLUDING STORM DRAINAGE PIPES, INLETS, AND TRENCH DRAIN. INSTALL INLET PROTECTION AS EACH STRUCTURE IS INSTALLED.
- I. FINALIZE PAVEMENT SUBGRADE PREPARATION.
- J. CONSTRUCT CONCRETE CURB AND GUTTER.
- K. PRIOR TO PLACING STABILIZING BASE COURSE (WITHIN 48 HOURS), THE TEMPORARY INLET PROTECTION WITHIN THE PAVEMENT MAY BE REMOVED. INLET PROTECTION SHALL BE REPLACED AFTER PAVING OPERATIONS AT ALL INLETS AND BE MAINTAINED UNTIL CONTRIBUTING AREAS ACHIEVE FINAL STABILIZATION AND/OR ALL POLLUTANT SOURCES ARE ELIMINATED.
- L. PLACE BASE MATERIAL AS REQUIRED FOR PAVEMENT.
- M. CARRY OUT FINAL GRADING, SODDING, SEEDING AND PLANTING IN ALL AREAS. AREAS 6:1 AND STEEPER SHALL BE MULCH PROTECTED, WHICH IS TO BE MAINTAINED UNTIL VEGETATION IS THOROUGHLY ESTABLISHED. AREAS STEEPER THAN 3:1 SHALL RECEIVE EROSION CONTROL BLANKET UNLESS OTHERWISE NOTED.
- N. COMPLETE FINAL PAVING OPERATIONS. REMOVE TEMPORARY CONSTRUCTION ENTRANCE PRIOR TO PAVEMENT CONSTRUCTION IN THIS AREA.
- O. FINAL REMOVAL OF EROSION CONTROL MEASURES MAY ONLY OCCUR ONCE ALL PAVING IS COMPLETED AND ALL EXPOSED SURFACES ARE STABILIZED.

**LEGEND**

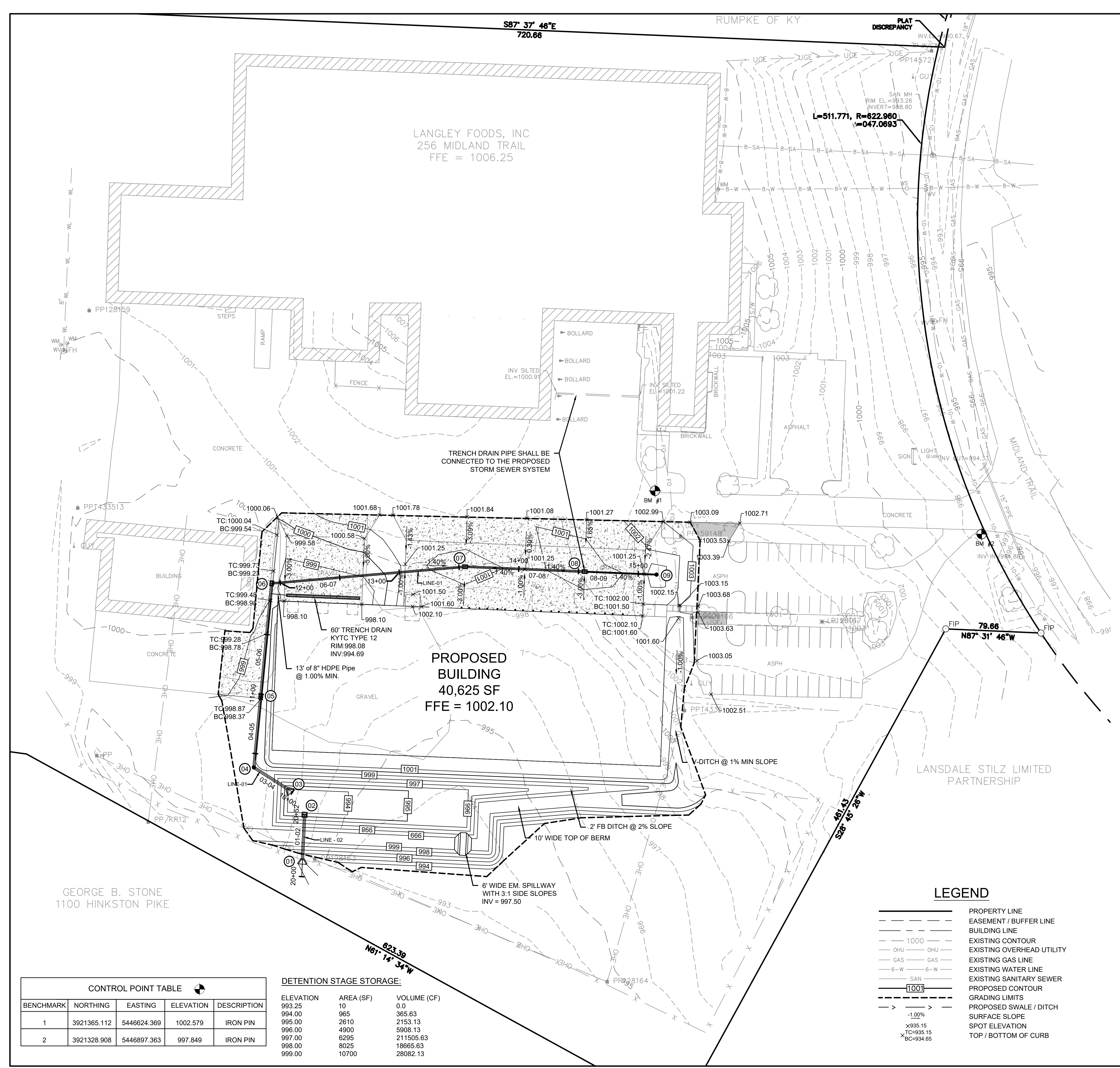
- - - - - APPROXIMATE GRADING LIMITS
- 910 - - - - - EXISTING MAJOR CONTOUR
- 910 - - - - - EXISTING MINOR CONTOUR
- 910 - - - - - PROPOSED CONTOUR
- - - - - PROPOSED STORM SEWER
- S-F - S-F - SILT FENCE
- [Symbol] PROPOSED DRAINAGE STRUCTURE
- [Symbol] PROPOSED HEADWALL
- [Symbol] INLET PROTECTION
- [Symbol] PIPE INLET PROTECTION
- [Symbol] ROCK CHECK DAM



Know what's below.  
Call before you dig.



<b>EROSION CONTROL PLAN</b>	
LANGLEY FOOD STORAGE BUILDING BCD, INC.	256 MIDLAND TRAIL MOUNT STERLING, KENTUCKY 40353
<p>Palmer Engineering 301 EAST MAIN STREET LEWISBURG, KY 40307 856-389-9293</p>	<p>DATE: 07/30/2021 SCALE: 1" = 40' JOB NUMBER: 12128.00 SHEET: C-2.0</p>
<p>DATE</p> <p>REVISION DESCRIPTION</p>	<p>DRAWN: WCM/RMT CHECKED: WCE</p>



- ### GRADING NOTES:
1. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED, INCLUDING TREES, FENCING, ETC. WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE BY THE EXCAVATING CONTRACTOR.
  2. BURNING WILL BE SUBJECT TO LOCAL REGULATIONS.
  3. EXCAVATING CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION.
  4. SITE GRADING SHALL NOT COMMENCE UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND APPROVAL FROM THE CITY OF WINCHESTER HAS BEEN OBTAINED.
  5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CIVIL AND GEOTECHNICAL ENGINEERS IF ON-SITE DISCREPANCIES ARE OBSERVED THAT WOULD AFFECT THE EARTHWORK QUANTITIES.
  6. CONSULT WITH THE GEOTECHNICAL ENGINEER FOR PROPER STABILIZATION OF THE SITE. ANY STABILIZATION PROCEDURE SHOULD BE PERFORMED UNDER DIRECT SUPERVISION OF A QUALIFIED GEOTECHNICAL ENGINEER.
  7. THE GEOTECHNICAL ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK OPERATIONS INCLUDING, BUT NOT LIMITED TO, CLEARING AND GRUBBING, SUB-GRADE PREPARATION, STRUCTURAL PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACKFILL, AND PLACEMENT AND COMPACTION OF FILL.
  8. ALL BACKFILL AND FILLS SHALL MEET COMPACTION REQUIREMENTS AS A MINIMUM OF 98% STANDARD PROCTOR FOR BUILDING PAD AND PAVEMENT SUBGRADES, AND 95% OF STANDARD PROCTOR FOR ALL OTHER AREAS.
  9. LOCALIZED UNDERCUTTING MAY BE REQUIRED ON SITE AND SHOULD BE COORDINATED WITH A QUALIFIED GEOTECHNICAL REPRESENTATIVE.
  10. SUFFICIENT TEST OF FILL SOILS SHALL BE MADE TO VERIFY THAT SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE GEOTECHNICAL ENGINEER ON SITE.
  11. THE OWNER MAY REQUEST ADDITIONAL GEOTECHNICAL TESTING, AT THE OWNER'S EXPENSE, AS APPEARS NECESSARY.
  12. POSITIVE DRAINAGE TO THE NEAREST DRAINAGE FEATURE MUST BE MAINTAINED AT ALL TIMES. NO PONDING WILL BE PERMITTED.
  13. MAINTAIN SITE GRADING SUCH THAT ALL SURFACE WATER WITHIN EARTH DISTURBING LIMITS AND DEWATERING, IF REQUIRED, IS DIVERTED THROUGH EROSION AND SEDIMENT CONTROL MEASURES.
  14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROMOTING DRAINAGE INTO THE STORM DRAINAGE SYSTEM ONCE INSTALLED TO PREVENT PONDING IN PROPOSED PAVEMENT OR BUILDING AREAS. CONTRACTOR SHALL PROTECT PROPOSED STORM SEWER WITH EROSION CONTROL MEASURES AS DETAILED IN THIS BID PACKAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY BUILT-UP SEDIMENT FROM THE STORM DRAINAGE SYSTEM UNTIL THE SITE IS STABILIZED.
  15. THE DIRECTION OF THE TEXT FOR CONTOUR LABELS INDICATES THE DIRECTION OF THE SLOPE.
  16. FINAL DOWNSPOUT LOCATIONS PER ARCHITECTURAL PLANS.
  17. NO SIDEWALK SHALL EXCEED 2% CROSS SLOPE OR 5% LONGITUDINAL SLOPE.
  18. HANDICAP SPACES AND ASSOCIATED ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
  19. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND ROUNDED UP TO THE NEAREST WHOLE NUMBER.
  20. ALL STORM PIPE SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  21. DOWNSPOUTS/ROOF DRAINS SHALL BE TIED TO THE PROPOSED STORM SEWER SYSTEM OR DIRECTED TO THE DETENTION POND THROUGH OTHER MEANS. CONTRACTOR MAY ELECT TO INSTALL HEADER PIPES, AS NECESSARY, WITH SUFFICIENT PIPE SIZES (PER PLUMBING CODES) AND AT SUFFICIENT SLOPES (NOT LESS THAN 1%) TO CONVEY ROOF DRAINAGE TO THE DETENTION POND. CLEANOUTS SHALL BE INSTALLED WHERE NECESSARY TO MAINTAIN ANY INSTALLED DOWNSPOUTS AND HEADER PIPES.
  22. ALL IMPORT / EXCESS MATERIAL, UNLESS OTHERWISE COORDINATED WITH THE OWNER, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  23. THE CONTRACTOR SHALL ENSURE THAT THE DETENTION POND IS CONSTRUCTED WITH THE VOLUME SPECIFIED ON THIS SHEET (SEE DETENTION STAGE STORAGE) AT A MINIMUM.
  24. MINIMUM STORM PIPE SLOPE SHALL BE 1% UNLESS OTHERWISE SHOWN ON THESE PLANS.
  25. SEE SHEET C-3.2 FOR DETAILS ON THE OUTLET STRUCTURE AND ASSOCIATED TRASH RACK. CONTRACTOR TO PAY CLOSE ATTENTION TO THE PROJECT SPECIFIC NOTES ON EACH DETAIL.
  26. PIPE EXISTING TRENCH DRAIN AT THE TRUCK DOCKS WAS NOT LOCATED DURING THE FIELD SURVEY. CONTRACTOR TO LOCATE THE PIPE AND CONNECT IT TO THE PROPOSED STORM SEWER SYSTEM (DOWNSTEAM OR AT STRUCTURE 08).
  27. EXISTING CONTOURS SHOWN ON THIS PLAN WERE GENERATED FROM THE FIELD SURVEY.

#### STORM SEWER STRUCTURE TABLE

STRUCTURE #	DESCRIPTION	STRUCTURE DETAILS	COORDINATES
01	HEADWALL	RIM = 994.82 INV IN = 992.88	N=3921057.32 E=5446329.71
02	OUTLET STRUCTURE (SEE DRAINAGE DETAILS)	RIM = 997.00 INV OUT = 993.25	N=3921094.22 E=5446331.43
03	HEADWALL	RIM = 996.05 INV IN = 993.49	N=3921115.94 E=5446316.98
04	NYOPLAST INLET	RIM = 1000.29 INV IN = 993.69 INV OUT = 993.69	N=3921133.74 E=5446289.08
05	CURB BOX INLET (SAG)	RIM = 998.39 INV IN = 994.05 INV OUT = 994.05	N=3921192.93 E=5446294.84
06	CURB BOX INLET (ON GRADE)	RIM = 999.13 INV IN = 994.52 INV OUT = 994.52	N=3921287.68 E=5446304.05
07	DROP BOX INLET	RIM = 1000.55 INV IN = 996.14 INV OUT = 996.14	N=3921301.65 E=5446465.60
08	DROP BOX INLET	RIM = 1001.17 INV IN = 997.39 INV OUT = 996.89	N=3921297.51 E=5446565.52
09	NYOPLAST INLET	RIM = 1000.30 INV OUT = 997.70	N=3921295.02 E=5446625.65

#### CONTROL POINT TABLE

BENCHMARK	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	3921365.112	5446624.369	1002.579	IRON PIN
2	3921328.908	5446897.363	997.849	IRON PIN

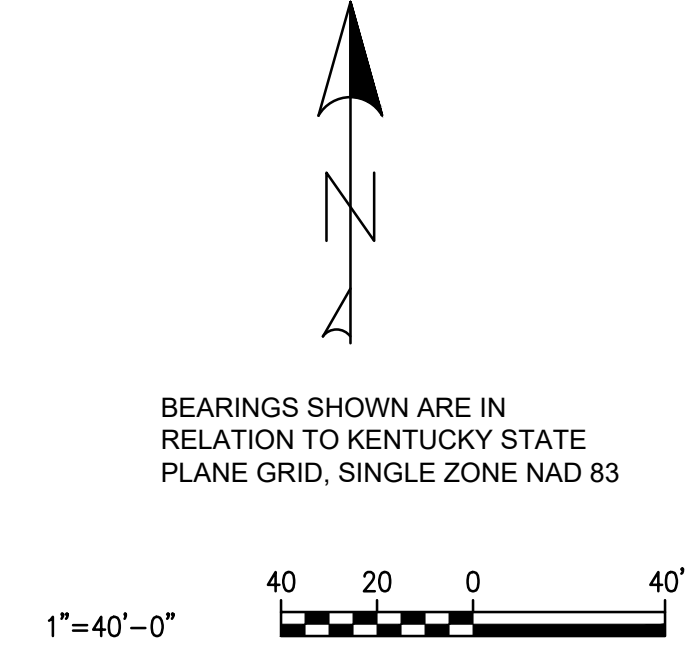
#### DETENTION STAGE STORAGE:

ELEVATION	AREA (SF)	VOLUME (CF)
993.25	10	0.0
994.00	965	365.63
995.00	2610	2153.13
996.00	4900	5908.13
997.00	6295	211505.63
998.00	8025	18665.63
999.00	10700	28082.13

- ### LEGEND
- PROPERTY LINE
  - - - EASEMENT / BUFFER LINE
  - ==== BUILDING LINE
  - - - 1000 --- EXISTING CONTOUR
  - - - O.H.U. --- EXISTING OVERHEAD UTILITY
  - - - GAS --- EXISTING GAS LINE
  - - - 6-W --- EXISTING WATER LINE
  - - - SAN --- EXISTING SANITARY SEWER
  - - - 1001 --- PROPOSED CONTOUR
  - - - GRADING LIMITS
  - - - PROPOSED SWALE / DITCH SURFACE SLOPE
  - - - SPOT ELEVATION
  - - - TOP / BOTTOM OF CURB



Know what's below.  
Call before you dig.



DATE	REVISION DESCRIPTION

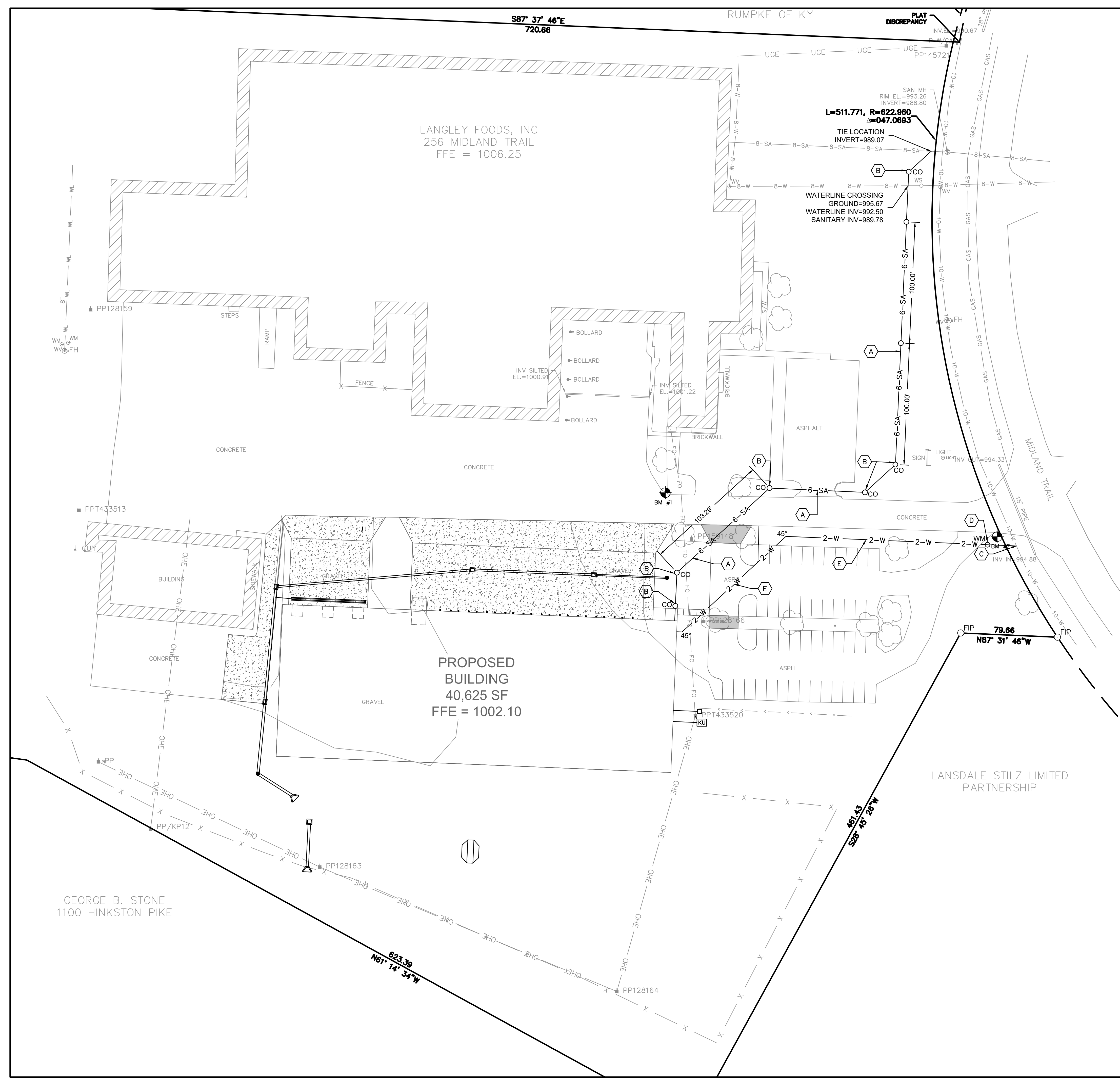
### GRADING PLAN

LANGLEY FOOD STORAGE BUILDING  
BCD, INC.  
256 MIDLAND TRAIL  
MOUNT STERLING, KENTUCKY 40353

PALMER ENGINEERING  
301 EAST MAIN STREET  
LEWISBURG, KY 40047  
859-389-9283

DATE: 07/30/2021  
SCALE: 1" = 40'  
JOB NUMBER: 12128.00  
SHEET: C-3.0

DRAWN: WCM/RMT  
CHECKED: WCE



**SITE UTILITY NOTES:**

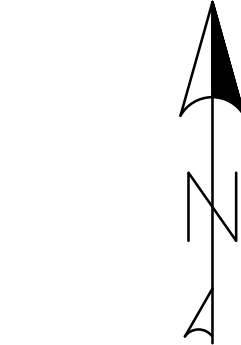
- ALL CONSTRUCTION MUST CONFORM TO CITY, COUNTY, AND STATE OF KENTUCKY STANDARDS.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES AND PROVIDERS HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO MAKING CONNECTIONS TO THEIR SYSTEMS.
- LOCATION OF EXISTING SITE UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING IN A UTILITY LOCATE THROUGH 811 AND CONTACTING ALL NON-MEMBER UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES AND/OR UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A 2-FT x 2-FT x 6-IN THICK CONCRETE APRON AROUND ALL CLEANOUTS, VALVES, AND METERS OUTSIDE OF BUILDING. THE CONTRACTOR SHALL RAISE ALL EXISTING CLEANOUTS, VALVES AND METERS THAT WILL NOT BE DEMOLISHED TO THE PROPOSED ELEVATION AS SHOWN ON THE GRADING PLANS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- UNLESS OTHERWISE SPECIFIED 90 ELBOWS SHALL NOT BE USED IN THE WATER LINE INSTALLATION. THE CONTRACTOR SHALL MINIMIZE THE USE OF VERTICAL BENDS. ALL VERTICAL BENDS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT.
- THRUST BLOCKS SHALL BE PROVIDED ON PRESSURIZED LINES AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- ALL PROPOSED UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18-IN VERTICAL SEPARATION BETWEEN UTILITY CROSSINGS AT NO COST TO THE OWNER UNLESS SHOWN OTHERWISE ON THE CONSTRUCTION DRAWINGS. SEWER CROSSING WATER LINES SHALL BE INSTALLED TO PROVIDE A VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN. ANY DEVIATION IN SEPARATION TO BE APPROVED BY ENGINEER.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 30-IN COVER ON ALL WATER AND SANITARY SEWER LINES UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING ON WATER AND SEWER LINES PER PROJECT SPECIFICATIONS. MOUNT STERLING WATER AND SEWER REQUIREMENTS. CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING ON WATER AND SEWER LINES PER UTILITY OWNER REQUIREMENTS. WATER AND SEWER CONNECTIONS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FURNISH ALL NECESSARY APPURTENANCES FOR UTILITY CONNECTIONS. USE EXTREME CAUTION WHEN EXCAVATING UNDERGROUND UTILITIES. UNDERGROUND UTILITIES ILLUSTRATED ARE APPROXIMATE AND ARE SHOWN TO ALERT CONTRACTORS TO THEIR PRESENCE. CONTRACTOR SHALL LOCATE/VERIFY UTILITIES BY HAND TOOL EXCAVATION. CONTRACTOR SHALL MARK AND MAINTAIN ALL EXISTING UTILITIES FOR THE DURATION OF THE PROJECT TO MINIMIZE POTENTIAL FOR DAMAGE AND DISRUPTION OF EXISTING SERVICES.
- ALL UTILITY LINE CONNECTIONS ARE 5 FEET FROM THE FACE OF THE BUILDING. REFER TO MECHANICAL, PLUMBING, AND ARCHITECTURAL PLANS FOR CONTINUATION.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL UTILITY INFORMATION.
- ALL WATERLINES SHALL BE TYPE K COPPER, DUCTILE IRON PIPE OR C-900 PVC PIPE.
- CONTRACTOR TO COORDINATE WITH COLUMBIA GAS FOR GAS LINE INSTALLATION. COLUMBIA GAS TO PROVIDE GAS METER AND RUN SERVICE LINE FROM METER TO THE NEAREST SERVICE LINE ON EVANS DRIVE.
- ALL SANITARY SEWER SHALL BE MARKED WITH DETECTABLE MYLAR SEWER LINE TAPE APPROVED BY THE ENGINEER (MIN. OF 18" DEEP).
- ALL 6" GRAVITY SANITARY SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE NOTED. ALL GRAVITY SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321 AND LOCAL UTILITY STANDARDS. ALL SANITARY PIPING SHALL BE SDR 35.
- COORDINATE ELECTRIC, TELEPHONE, AND FIBER OPTIC BUILDING SERVICE LINES WITH CORRESPONDING UTILITY COMPANIES.

**UTILITY PLAN KEY NOTES:**

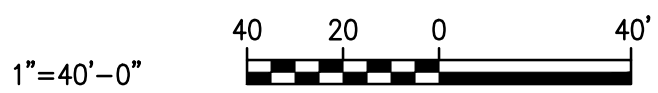
- (A) 6" SANITARY LATERAL (SDR-35 PVC @ 1.92% SLOPE)
- (B) SANITARY CLEANOUT
- (C) PROPOSED WATER TAP TO BE COORDINATED WITH MOUNT STERLING WATER AND SEWER. MOUNT STERLING WATER AND SEWER WILL BE RESPONSIBLE FOR WATERLINE FROM TAP TO METER. CONTRACTOR RESPONSIBLE FOR WATERLINE FROM METER TO BUILDING.
- (D) 2" WATER METER
- (E) 2" WATER SERVICE LINE

**LEGEND**

— OHE — OHE —	PROPERTY LINE
— GAS — GAS —	EXISTING OVERHEAD UTILITY
— 6-W — 6-W —	EXISTING GAS LINE
— SAN —	EXISTING WATER LINE
— 2-W — 2-W —	EXISTING SANITARY SEWER
— 6-SA —	PROPOSED WATER LINE
— UGE/UGT/UGC —	PROPOSED SANITARY LATERAL
[KU]	PROPOSED PRIMARY ELECTRIC AND COMMUNICATIONS LINES
[ ]	TRANSFORMER PAD
[ ]	TELEPHONE AND CABLE PEDESTAL



BEARINGS SHOWN ARE IN RELATION TO KENTUCKY STATE PLANE GRID, SINGLE ZONE NAD 83



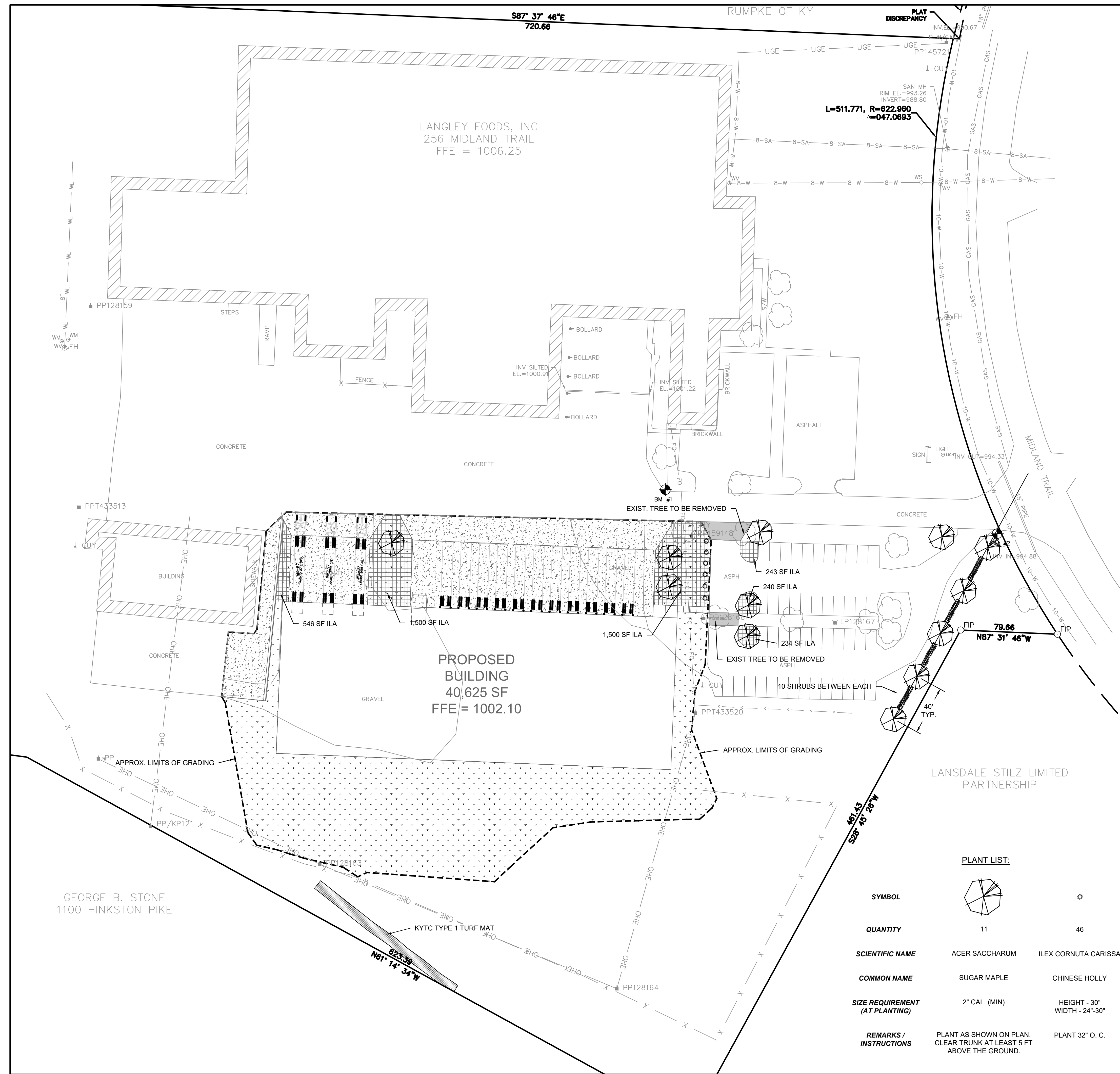
DATE	REVISION DESCRIPTION

<b>UTILITY PLAN</b> LANGLEY FOOD STORAGE BUILDING BCD, INC. 256 MIDLAND TRAIL MOUNT STERLING, KENTUCKY 40353	<b>Palmer</b> <b>ENGINEERING</b> 301 EAST MAIN STREET LEWISBURG, KY 40367 606-389-9293
--------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------

JOB NUMBER: 12128.00	DATE: 07/30/2021	SCALE: 1" = 40'
SHEET: C-4.0	DRAWN: WCM/RMT	CHECKED: WCE



LANGLEY FOODS, INC  
256 MIDLAND TRAIL  
FFE = 1006.25

PROPOSED BUILDING  
40,625 SF  
FFE = 1002.10

L=511.771, R=622.960  
A=047.0693

**LANDSCAPE NOTES:**

1. PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGES TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
2. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIALS FREE FROM DISEASE AND PESTS AND THAT COMPLY WITH THE LATEST EDITION OF THE PUBLICATION ANSI Z60 AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR CLARIFICATION.
4. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE BY THE OWNER. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD AS THE GROWING SEASON PERMITS. THE OWNER MAY INSPECT THE PLANTS AT THE END OF THE GUARANTEE PERIOD. PLANTS THAT ARE DEAD OR NOT IN SATISFACTORY GROWTH SHALL BE REMOVED AND REPLACED DURING THE NEXT NORMAL PLANTING SEASON AT NO ADDITIONAL COST TO THE OWNER.
5. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER AS INDICATED ON THE PLANT LIST. ALL TREES SHALL BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED. ALL TREES MUST BE GUYED OR STAKED.
6. ALL PLANTS AND INSTALLATION ARE SUBJECT TO THE APPROVAL OF THE OWNER.
7. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS, EROSION CONTROL BLANKET, HARDWOOD MULCH OR DESIGNATED FOR SODDING (INCLUDING RIGHT-OF-WAY) SHALL BE SEEDED/STRAWED.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
9. ALL AREAS PLANTED WITH SHRUBS SHALL RECEIVE A 3" LAYER OF BROWN SHREDDED HARDWOOD MULCH OVER 10 MIL FABRIC EQUAL TO "WEEDBLOCK" BY "EASY GARDENER."
10. THE TOP OF ALL AREAS OF HARDWOOD MULCH SHALL BE AT GRADE OF ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.
11. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT PRIOR WRITTEN PERMISSION OF THE OWNER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING SOD UNTIL WELL ESTABLISHED. NO IRRIGATION WILL BE PROVIDED BY OWNER.
13. CONTRACTOR MUST CONTACT OWNER'S REPRESENTATIVE PRIOR TO INSTALLING LANDSCAPING TO APPROVE PLANT LOCATIONS. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED BY OWNER.
14. SEE EROSION CONTROL DETAIL SHEET (C-2.1) FOR SEEDING SPECIFICATIONS.
15. ALL SCREENING AND LANDSCAPING SHALL MEET THE REQUIREMENTS SET FOR IN ARTICLE 13 OF THE WINCHESTER / CLARK COUNTY ZONING ORDINANCE.
16. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO THE PLANTING SPECIFICATIONS OF ARTICLE 13 OF THE WINCHESTER / CLARK COUNTY ZONING ORDINANCE.
17. TREE AND SHRUB SPECIES MAY BE SUBSTITUTED WITH AN EQUIVALENT OPTION THAT MEETS THE REQUIREMENTS OF ARTICLE 13 OF THE WINCHESTER / CLARK COUNTY ZONING ORDINANCE AT THE OWNER'S DISCRETION.
18. PRIVACY FENCE MAY BE USED IN LIEU OF SHRUB LINE ADJACENT TO THE RESIDENTIAL ZONE AT THE OWNER'S DISCRETION.

**TURF ESTABLISHMENT:**

1. THE LANDSCAPE CONTRACTOR SHALL PLACE A 4" COMPACTED LAYER OF TOPSOIL OVER ALL AREAS TO BE ESTABLISHED IN TURF. THE TOPSOIL LAYER SHALL BRING ALL TURF AREAS TO FINISH GRADE. REMOVE STONES BIGGER THAN 1-1/2 INCHES IN ANY DIMENSION AND STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER.
2. HYDROSEED ALL DISTURBED AREAS AS SPECIFIED UNLESS SOD IS SPECIFIED.
3. MIX SEED, FERTILIZER, AND PULVERIZED MULCH IN WATER, USING EQUIPMENT SPECIALLY DESIGNED FOR HYDROSEED APPLICATION.
4. APPLY SLURRY UNIFORMLY TO ALL AREAS TO BE SEEDED. RATE OF APPLICATION AS REQUIRED TO OBTAIN SPECIFIED SEED SOWING RATE.
5. LAY SOD WITHIN 24 HOURS OF STRIPPING. DO NOT LAY DORMANT SOD OR IF GROUND IS FROZEN. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. DO NOT OVERLAP.
6. WATER SOD WITH FINE SPRAY IMMEDIATELY AFTER PLANTING. DURING FIRST WEEK, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL DEPTH OF 4 INCHES.
7. CONTRACTOR TO PROVIDE WATERING UNTIL SOD AND PLANTS ARE ESTABLISHED.

**SITE STATISTICS:**

256 Midland Trail

TOTAL ACREAGE.....	15.64± AC
ZONING.....	N/A
VEHICLE USE AREA (VUA).....	20,335 SF
INTERIOR LANDSCAPE AREA (ILA) REQUIRED.....	1,017 SF (5% OF VUA)
ILA PROVIDED.....	4,263 SF

LANDSCAPING:

VUA PERIMETER TREES PROVIDED.....	4
MINIMUM ILA TREES REQUIRED.....	7 (1 TREE / 250 SF REQ. ILA) *2 REPLACED
ILA TREES PROVIDED.....	5
PROPERTY PERIMETER TREES PROVIDED.....	N/A

**LEGEND**

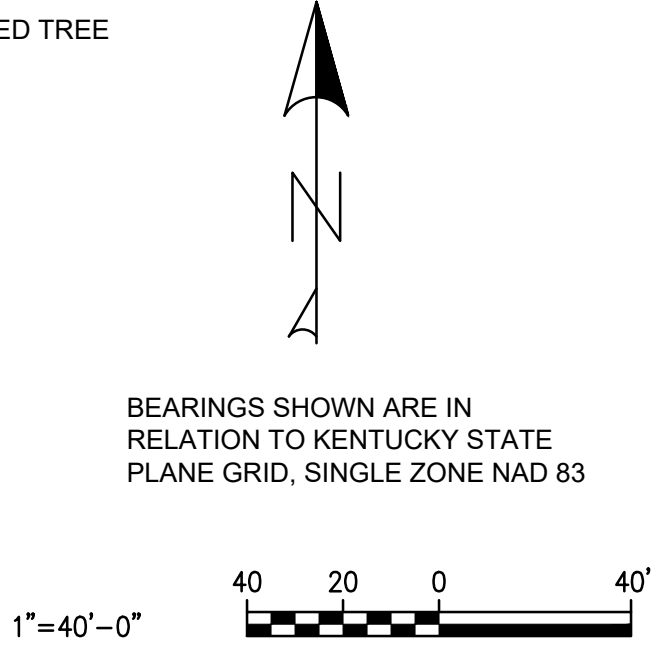
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	EASEMENT LINE
	BUILDING LINE
	EXISTING CONTOUR
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING TELECOMM
	EXISTING SANITARY SEWER
	GRADING LIMITS
	SEED / SOD
	EROSION CONTROL BLANKET
	TURF MAT (KYTC TYPE 1)
	PROPOSED SHRUB
	PROPOSED TREE

**PLANT LIST:**

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENT (AT PLANTING)	REMARKS / INSTRUCTIONS
	11	ACER SACCHARUM	SUGAR MAPLE	2" CAL. (MIN)	PLANT AS SHOWN ON PLAN. CLEAR TRUNK AT LEAST 5 FT ABOVE THE GROUND.
	46	ILEX CORNUTA CARISSA	CHINESE HOLLY	HEIGHT - 30" WIDTH - 24"-30"	PLANT 32" O. C.



Know what's below.  
Call before you dig.



LANDSCAPE PLAN	
DATE	REVISION DESCRIPTION
LANGLEY FOOD STORAGE BUILDING BCD, INC. 256 MIDLAND TRAIL MOUNT STERLING, KENTUCKY 40353	
JOB NUMBER: 12128.00	DATE: 07/30/2021
SHEET: C-5.0	SCALE: 1" = 40'
DRAWN: WCM/RMT	CHECKED: WCE



**FOUNDATION NOTES**

- 1) CONCRETE CONTRACTOR MUST VERIFY LOCATION, SIZES AND PLACEMENT OF ANCHOR BOLTS USING BUILDING MANUFACTURER'S DATA. CONTRACTOR MUST VERIFY IN FIELD.
- 2) ALL CONCRETE TO BE 4,000 P.S.I.
- 3) CONTRACTOR TO PROVIDE REINFORCED CONCRETE WORK REQUIRED FOR BRACED BAYS. VERIFY REQUIREMENTS WITH BUILDING MANUFACTURER.
- 4) CONTRACTOR TO SUPPLY ARCHITECT WITH BUILDING MANUFACTURER'S STAMPED ENGINEERING DRAWINGS AND BASE REACTIONS BEFORE BEGINNING CONSTRUCTION SO THAT ARCHITECT MAY VERIFY FOUNDATION DESIGN.
- 5) ALL FOOTINGS AND PIERS ARE TO BE CENTERED ON THE BUILDING COLUMNS UNLESS OTHERWISE NOTED.
- 6) COLUMN PIERS ARE TO BE PLACED INTEGRAL WITH THE GRADE BEAM OR FOUNDATION WALLS WITH REINFORCING TO BE CONTINUOUS THROUGH PIERS.
- 7) COLUMN PIERS MUST BE MIN. 12" ANY DIRECTION PLUS 1" PAST MANUF. BASE PLATES. GROUT SOLID BETWEEN PIER AND BASE PLATE. CONTRACTOR MUST COORDINATE WITH BUILDING MANUFACTURER AND VERIFY IN FIELD.
- 8) BUILDING FOUNDATIONS ARE DESIGNED FOR 1,500 P.S.F. SOIL BEARING CAPACITY. VERIFY BEFORE CONSTRUCTION.
- 9) ALL ANCHOR BOLTS TO BE SET BY TEMPLATE MATCHING BUILDING MANUFACTURER'S LAYOUTS.
- 10) NO FIELD ALTERING OF BASE PLATES IS ALLOWED.
- 11) JUNCTURE OF FLOOR SLAB WITH ALL PIERS AND GRADE TO BE 1/2" WIDE EXPANSION JOINT MATERIAL.
- 12) CONTRACTOR TO SET OVERHEAD DOOR JAMB ANCHORS INTO FLOOR SLAB AS REQUIRED BY BUILDING MANUFACTURER.
- 13) FLOOR SLAB TO BE POURED THRU AT ALL DOORWAYS. SLOPE 2% TO OUTSIDE.
- 14) BUILDING ANCHOR BOLTS TO BE DIAMETER DESIGNED BY BUILDING MANUFACTURER. LENGTHS TO BE 3" PROJECTION, 15" IMBEDDED W/ 3" HOOK UNLESS OTHERWISE DESIGNED BY MANUFACTURER OR HERE IN.
- 15) FOOTING TO REST ON UNDISTURBED SOIL.

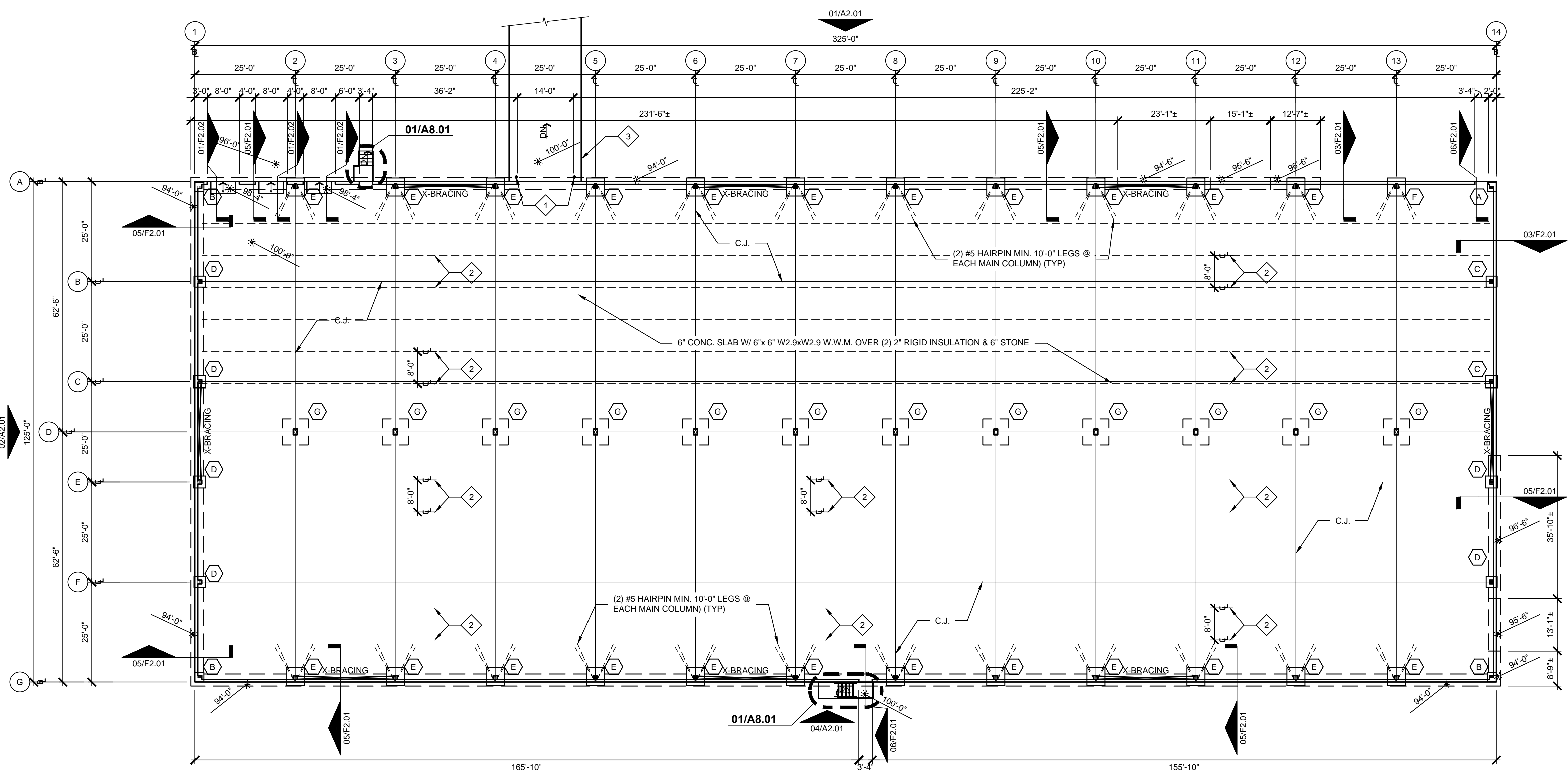
**FOOTING SCHEDULE**

TYPE	SIZE	REINFORCING	MIN. PIER	DETAILS	REMARKS
A	2'-3" x 2'-3" x 1'-3"	(3) #5 BARS E.W. BTM.	20" x 20"	01/F1.01	
B	2'-3" x 2'-3" x 1'-3"	(3) #5 BARS E.W. BTM.	20" x 20"	04/F1.01	
C	3'-0" x 3'-0" x 1'-3"	(4) #5 BARS E.W. BTM.	12" x 16"	01/F1.01	
D	3'-0" x 3'-0" x 1'-3"	(4) #5 BARS E.W. BTM.	12" x 16"	04/F1.01	
E	4'-6" x 4'-6" x 1'-3"	(6) #5 BARS E.W. BTM.	12" x 16"	04/F1.01	
F	4'-6" x 4'-6" x 1'-3"	(6) #5 BARS E.W. BTM.	12" x 16"	01/F1.01	
G	6'-6" x 6'-6" x 1'-3"	(9) #5 BARS E.W. BTM.	16" x 16"	02/F1.01	

**SHEET NOTES:**

- 1 PIPE BOLLARDS - SEE DETAIL 07/F2.01
- 2 CHASE PIPE @ 8'-0" O.C. COORDINATE W/ G.C. FOR DETAILS.
- 3 DRIVE-IN RAMP BY OWNER

NOTE SYMBOL



**01 FOUNDATION PLAN**  
SCALE: 1/16" = 1'-0"  
NORTH

**NOTE:** GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER  
**NOTE:** ELECTRICAL, HVAC AND PLUMBING TO BE RELOCATED PER FEDERAL, STATE AND LOCAL CODES. GENERAL CONTRACTOR TO COORDINATE.

Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form or matter whatsoever nor are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Highway, Louisville, Kentucky 40213

NEW CONSTRUCTION FOR:

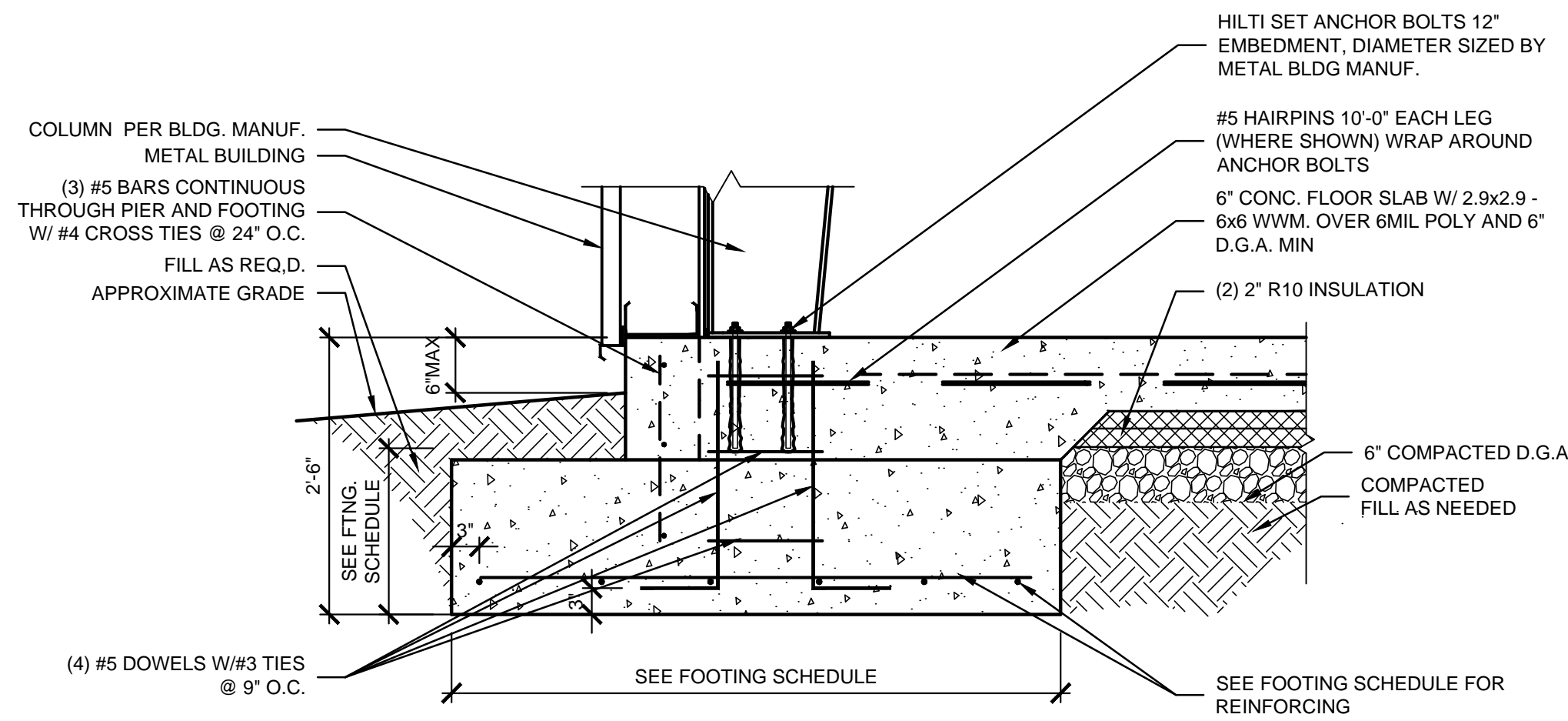
**LANGLEY FOODS**

MT. STERLING, KY 40004

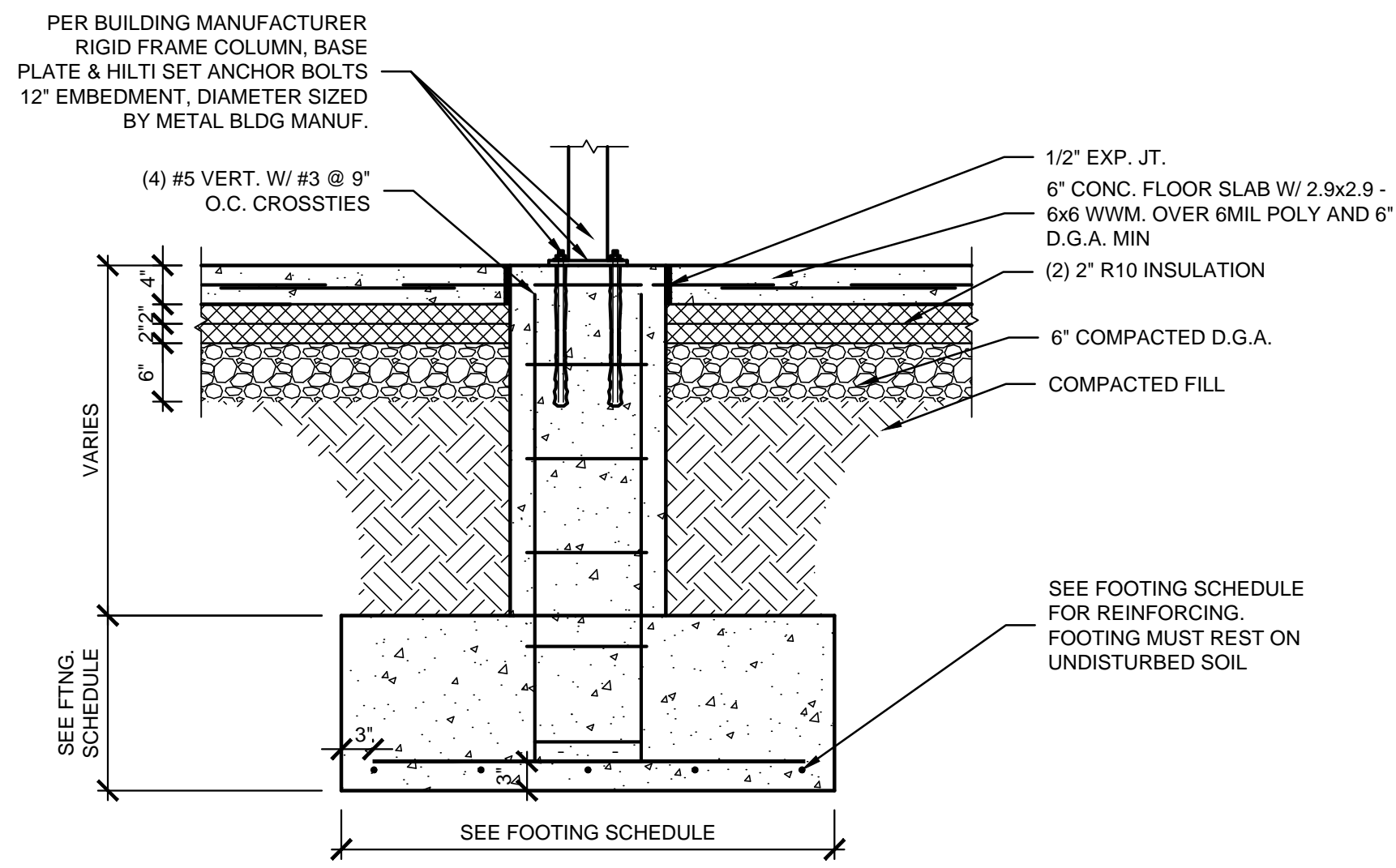
**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

FOUNDATION PLAN

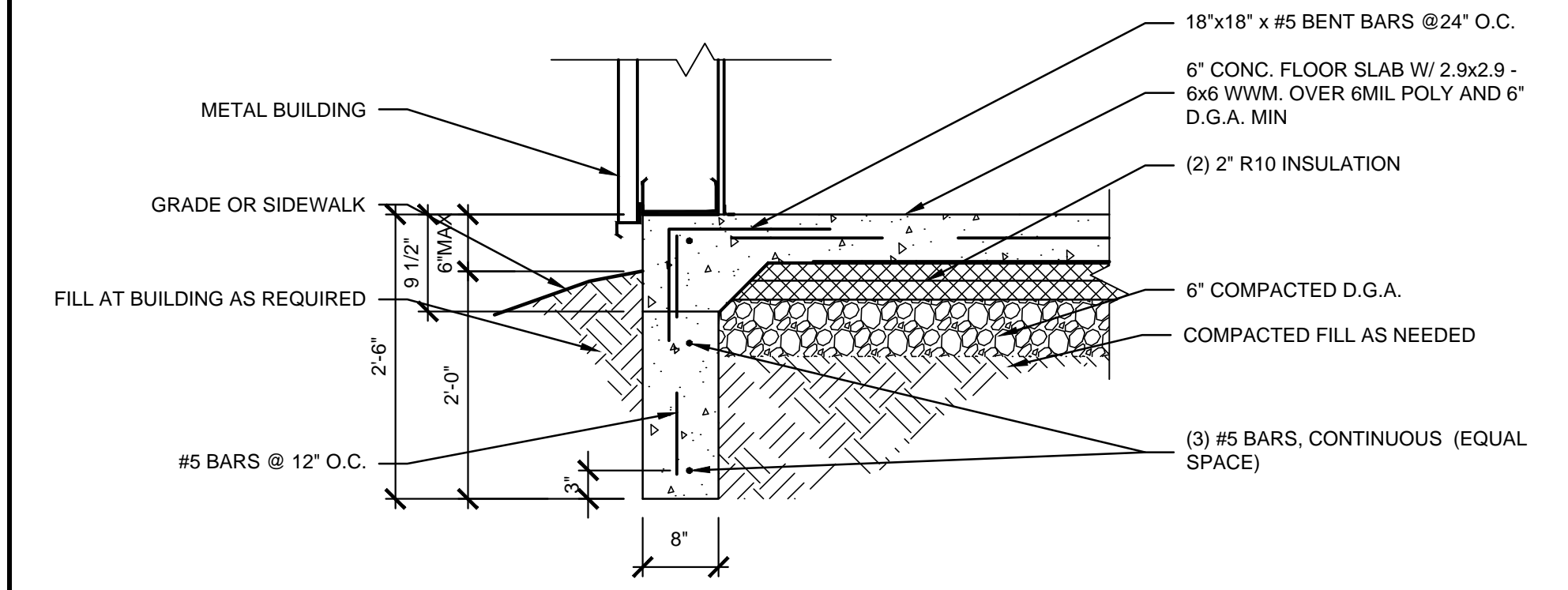
**F1.01**



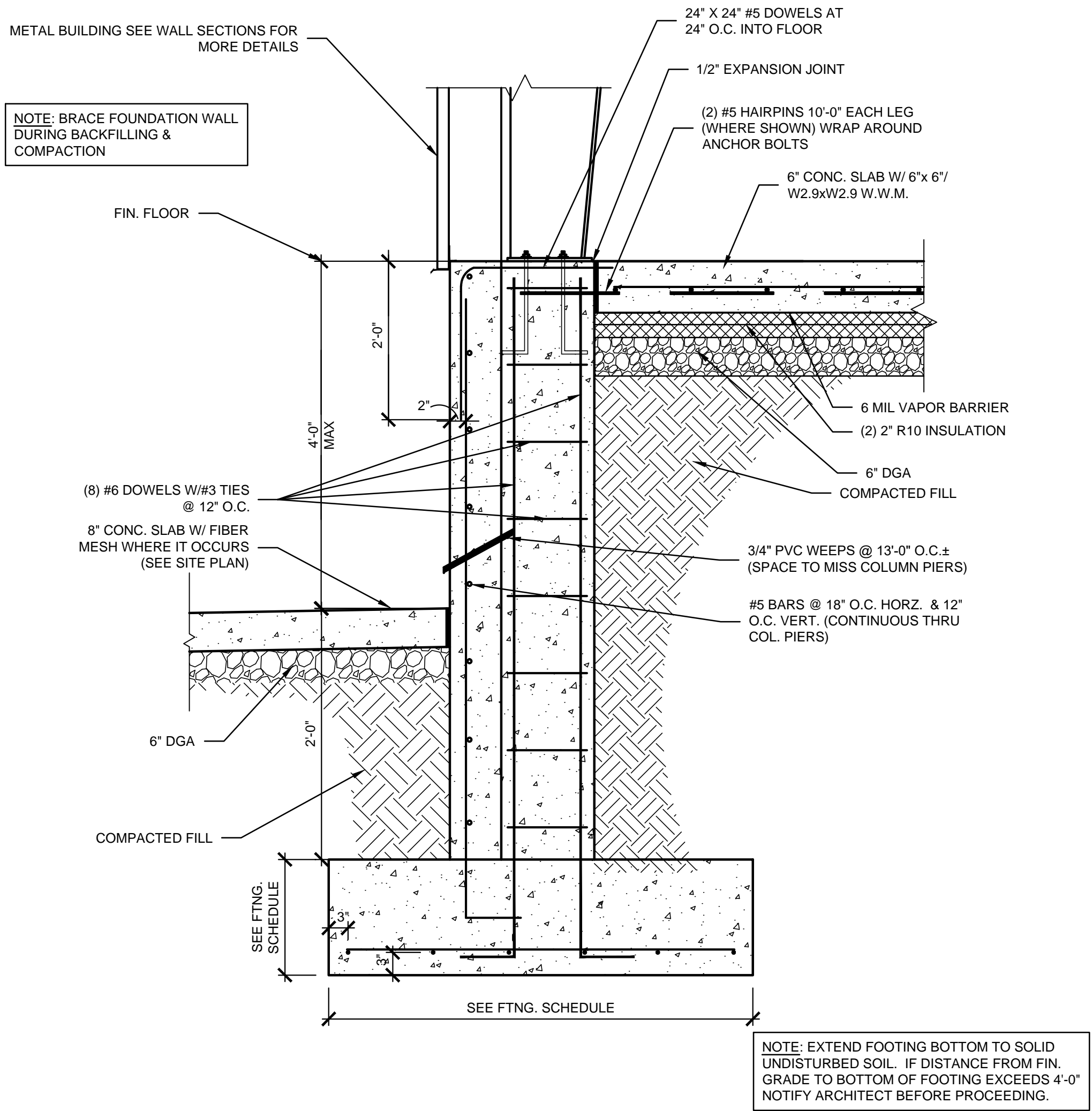
**01 COLUMN FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-0"



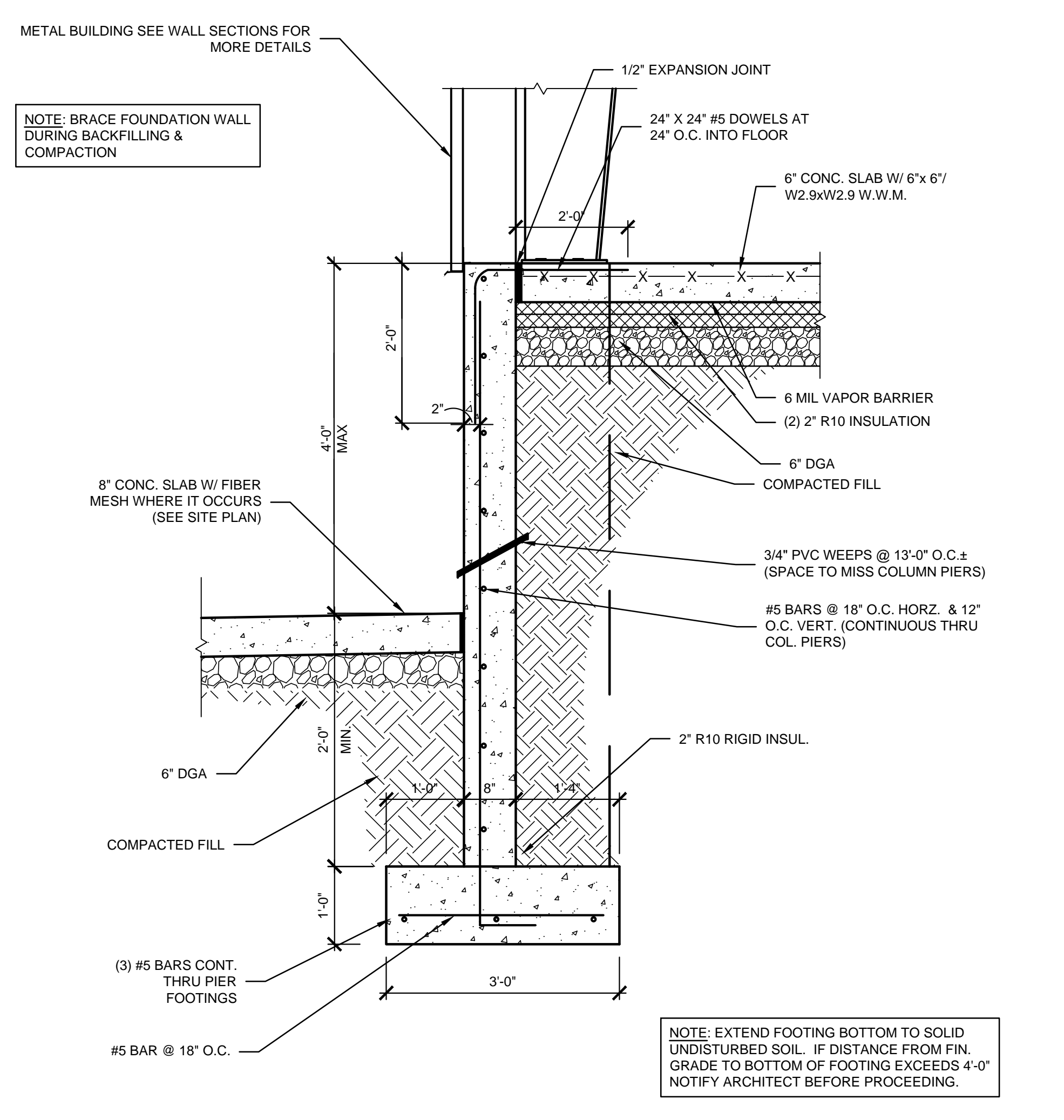
**02 CENTER COLUMN FOOTING DETAIL**  
SCALE: 3/4" = 1'-0"



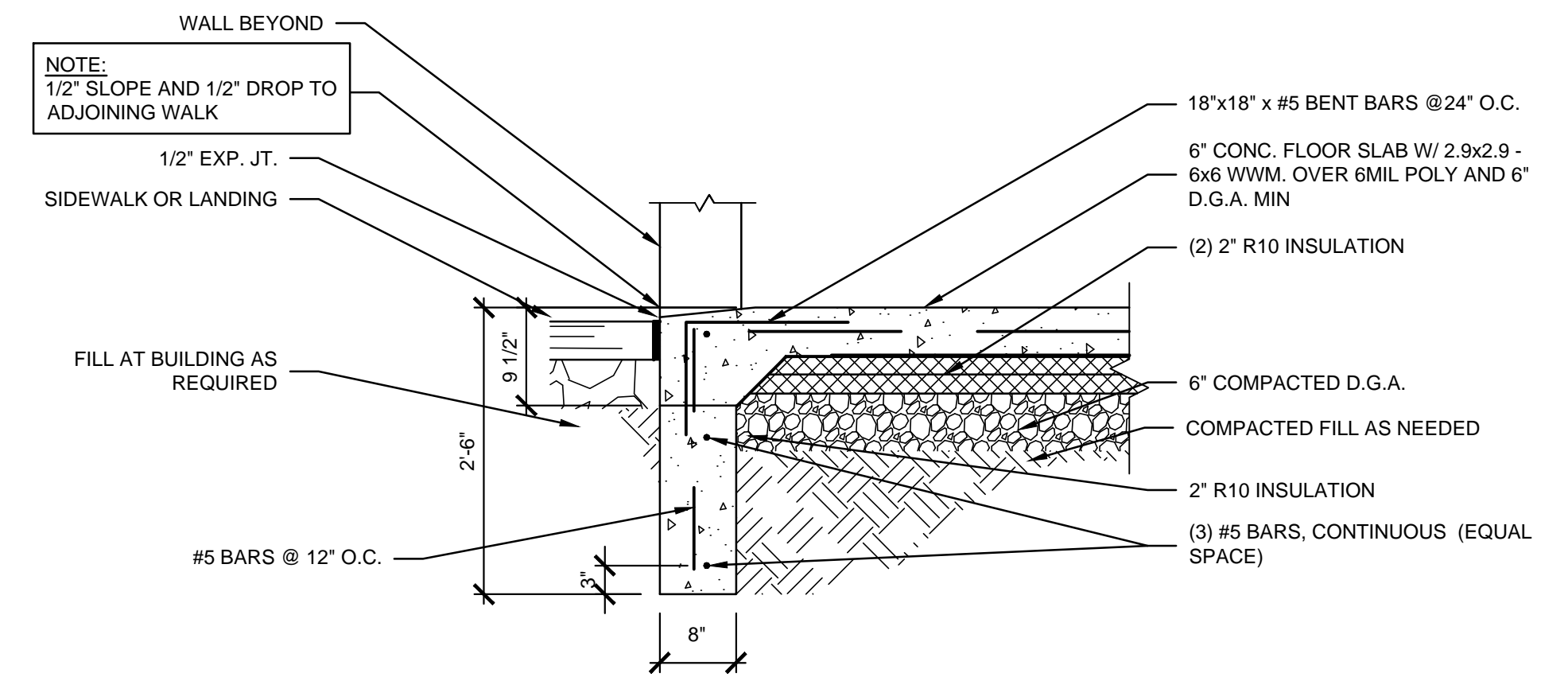
**03 GRADE BEAM DETAIL**  
SCALE: 3/4" = 1'-0"



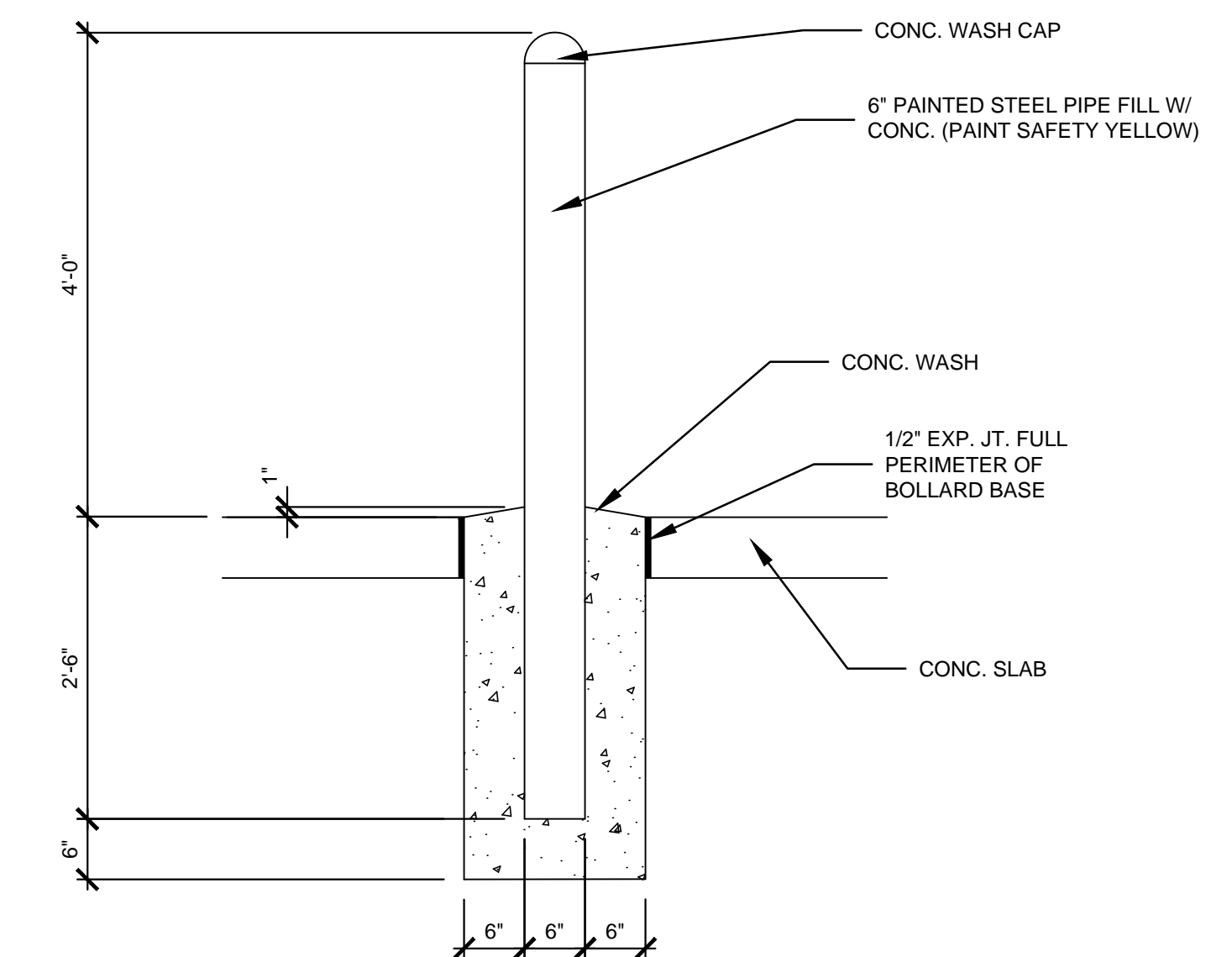
**04 RETAINING WALL COLUMN FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-0"



**05 RETAINING WALL FOUNDATION**  
SCALE: 3/4" = 1'-0"



**06 FOUNDATION THRU DOOR**  
SCALE: 3/4" = 1'-0"



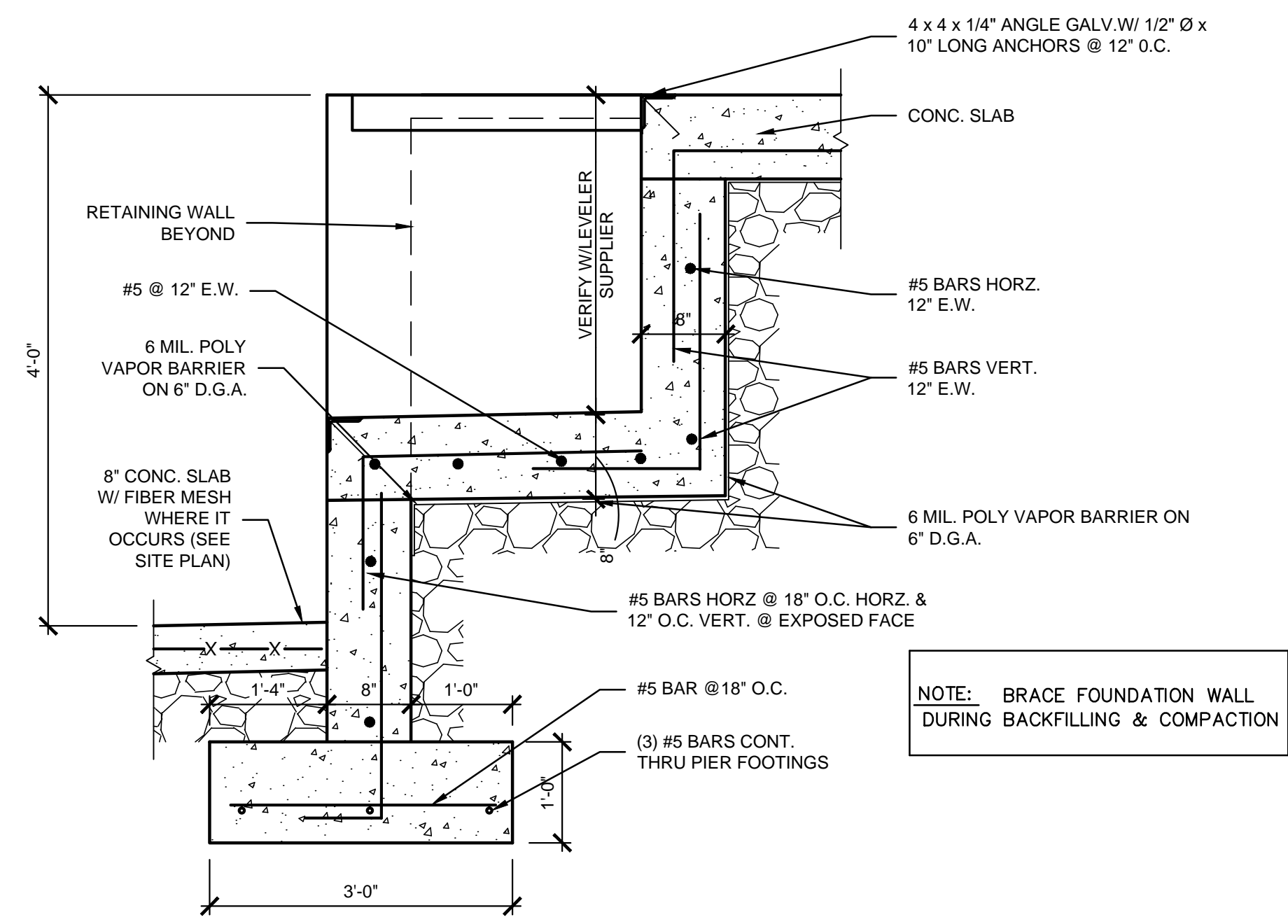
**07 BOLLARD DETAIL**  
SCALE: 3/4" = 1'-0"

PROJECT: LANGLEY FOODS - FILE: F2.01 Foundation Details.dwg - DATE: Jul 29, 2021 2:24PM - BY: GARRETT HAMM

KEYES ARCHITECTS & ASSOCIATES  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION FOR:  
LANGLEY FOODS  
MT. STERLING, KY 40004

Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form or matter whatsoever nor are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Highway, Louisville, Kentucky 40213



**01** FOUNDATION AT DOCK LEVELER  
SCALE: 3/4" = 1'-0"

PROJECT: LANGLEY FOODS - FILE: F2.02 Foundation Details.dwg - DATE: Jul 29, 2021 2:25PM - BY: GARRETT HAMM

NEW CONSTRUCTION FOR:  
**LANGLEY FOODS**  
MT. STERLING, KY 40004

**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

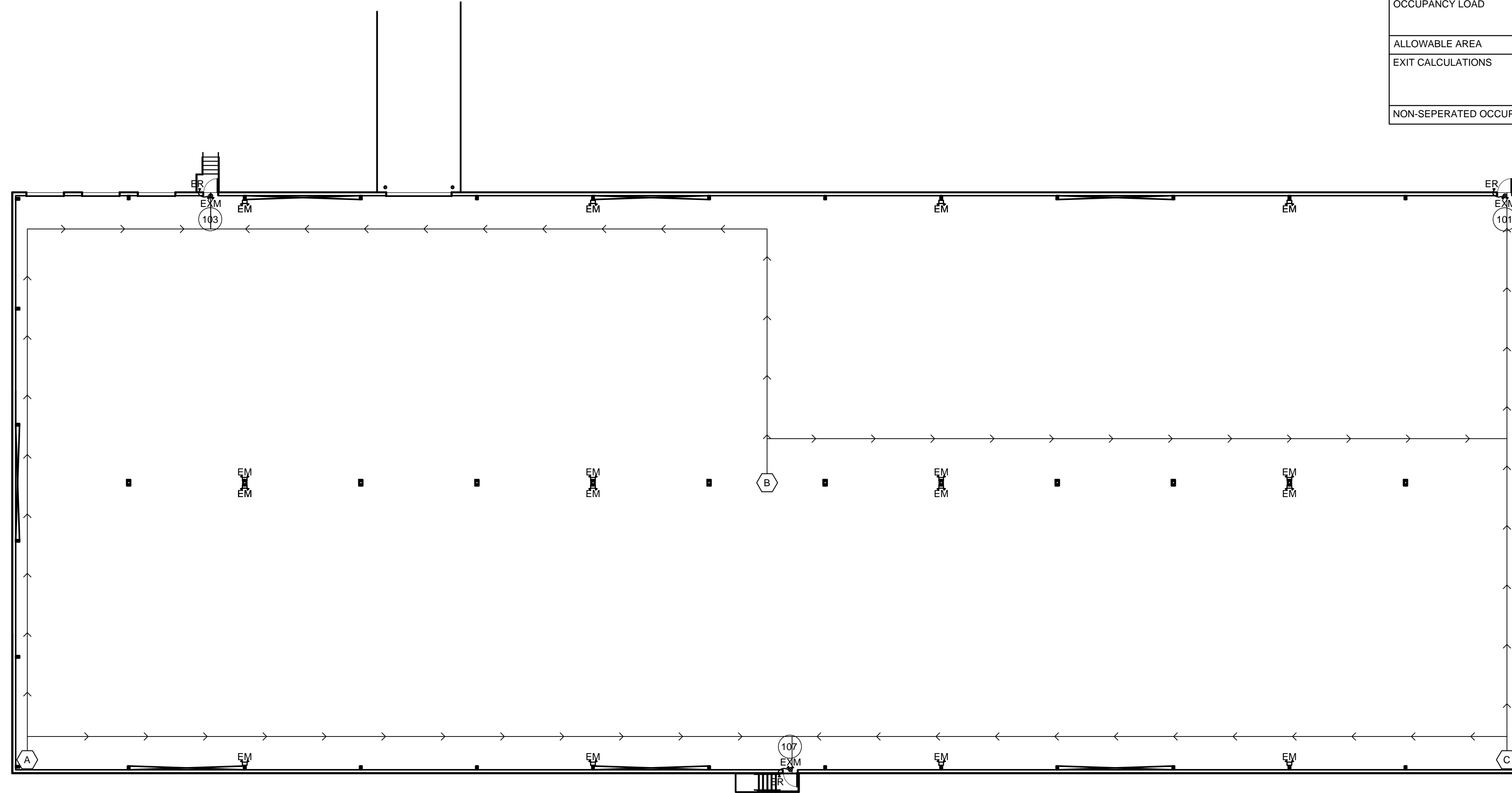
Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form or matter whatsoever nor are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Hwy, Louisville, Kentucky 40213

FOUNDATION DETAILS

**F2.02**

NOT FOR CONSTRUCTION

CODE ANALYSIS			
CATEGORY	CODE REFERENCE	REQUIREMENT/DESIGNATION	PROVIDED
CONSTRUCTION TYPE	TABLE 506.2		II-B
OCCUPANCY GROUPS	TABLE 304.1		LOW-HAZARD STORAGE, GROUP S-2
OCCUPANCY LOAD	TABLE 1004.1.2	WAREHOUSE	81 OCCUPANTS
		TOTAL OCCUPANTS	81 OCCUPANTS
ALLOWABLE AREA	TABLE 506.2		40,625 S.F.
EXIT CALCULATIONS	SECTION 1006.3.2	COMMON PATH OF EGRESS TRAVEL GROUP	100 FT
	SECTION 1017 TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	400 FT
NON-SEPERATED OCCUPANCIES	TABLE 508.4	NO SEPARATION BETWEEN GROUP AND GROUP	



LIFE SAFETY PATHWAYS		TOTAL TRAVEL DISTANCE		
LOCATION	COMMON PATH	DOOR NUMBER		
		EXIT 101	EXIT 103	EXIT 107
A	-	-	161'-9"	177'-8"
B	-	221'-11"	182'-5"	-
C	-	122'-3"	-	166'-10"

PATHWAY KEY PLAN:

- : TRAVEL PATH W/ DIRECTION OF FLOW
- # : TRAVEL PATH STARTING LOCATION, WHERE "#" = LOCATION COLUMN IN THIS TABLE.
- ◇ : COMMON PATH LOCATION, WHERE "#" = LOCATION COLUMN IN THIS TABLE.
- ⊕ : EXIT DOOR LOCATION, WHERE "#" = DOOR IN THIS TABLE AND IN DOOR FINISH SCHEDULE.

EMERGENCY LIGHT FIXTURE SCHEDULE			
TYPE	DESCRIPTION	MODEL#	BULBS
ER	EMERGENCY REMOTE HEAD	LITHONIA #ELA-NX-H0606	INCLUDED
EM	EMERGENCY LIGHT W/ BATTERY PACK REMOTE HEAD WHERE SHOWN	LITHONIA #6ELM2P	INCLUDED
EXM	COMBINATION EXIT/EMERGENCY FIXTURE W/ BATTERY PACK	LITHONIA #LHQM-S-W-1-R-120/277-HO	INCLUDED

NOTE: EXIT EMERGENCY LIGHTING IS ON AN "NL" CIRCUIT

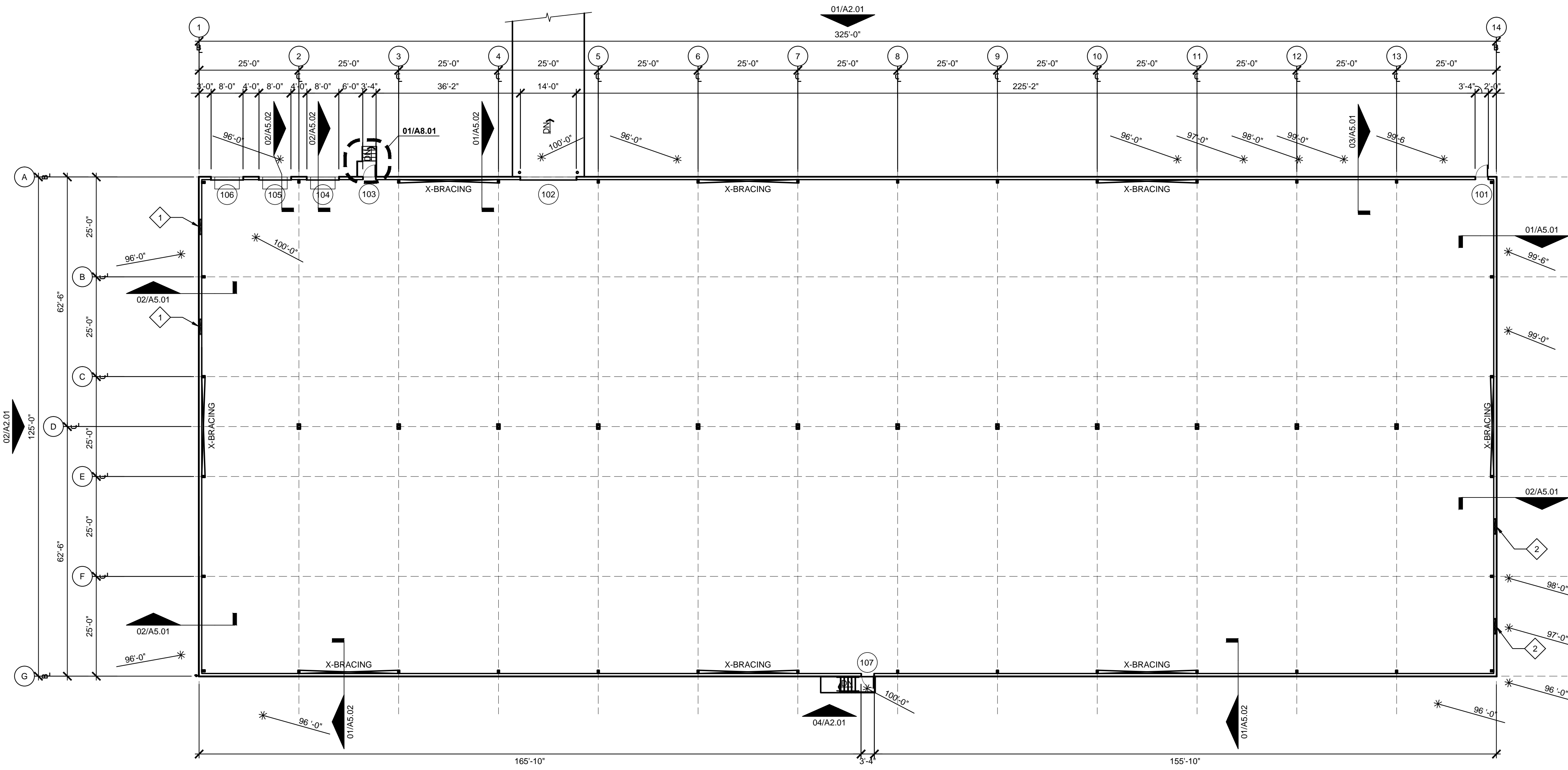
NORTH  
  
**01 LIFE SAFETY PLAN**  
 SCALE: 1/16" = 1'-0"

PROJECT: LANGLEY FOODS - FILE: LS1.01 Life Safety Plan.dwg - DATE: Jul 29, 2021 2:25PM - BY: GARRETT HAMM

NEW CONSTRUCTION FOR:  
**LANGLEY FOODS**  
 MT. STERLING, KY 40004

**KEYES ARCHITECTS & ASSOCIATES**  
 4717 PRESTON HIGHWAY  
 LOUISVILLE, KENTUCKY 40213 (502) 636-5113

Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form or matter whatsoever nor are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Highway, Louisville, Kentucky 40213



**01 FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**WALL LEGEND**

	8" METAL BUILDING GIRTS WITH METAL SIDING
--	-------------------------------------------

\*ALL MATERIALS ARE SIZES LISTED IN THIS LEGEND UNLESS OTHERWISE DIMENSIONED ON THIS PLAN OR SPECIFIED IN THE DETAILS AT A DIFFERENT SIZE

**SHEET NOTES:**

1	INTAKE LOUVER		NOTE SYMBOL
2	EXHAUST LOUVER		

**DOOR SCHEDULE**

NUMBER	SIZE	FIRE	MATERIAL	FRAME	HARDWARE	REMARKS
101	3'-0" x 7'-0"	-	H.M.	H.M.	1	
102	14'-0" x 14'-0"	-	STEEL	STEEL	2	
103	3'-0" x 7'-0"	-	H.M.	H.M.	1	
104	8'-0" x 9'-0"	-	STEEL	STEEL	2	
105	8'-0" x 9'-0"	-	STEEL	STEEL	2	
106	8'-0" x 9'-0"	-	STEEL	STEEL	2	
107	3'-0" x 7'-0"	-	H.M.	H.M.	1	

**DOOR HARDWARE SCHEDULE**

1)	1-1/2 PR. HINGES (NRP)
	1 ENTRANCE SET
	1 CLOSER
	1 WEATHERSTRIP SET
	1 THRESHOLD
2)	HARDWARE BY MANUFACTURER

**NOTE:** ALL DIMENSIONS ARE TO FACE OF STUD

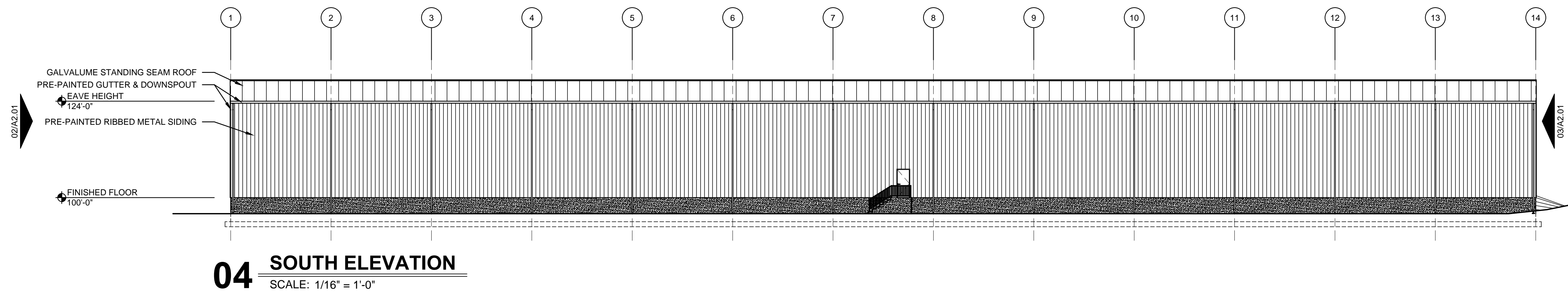
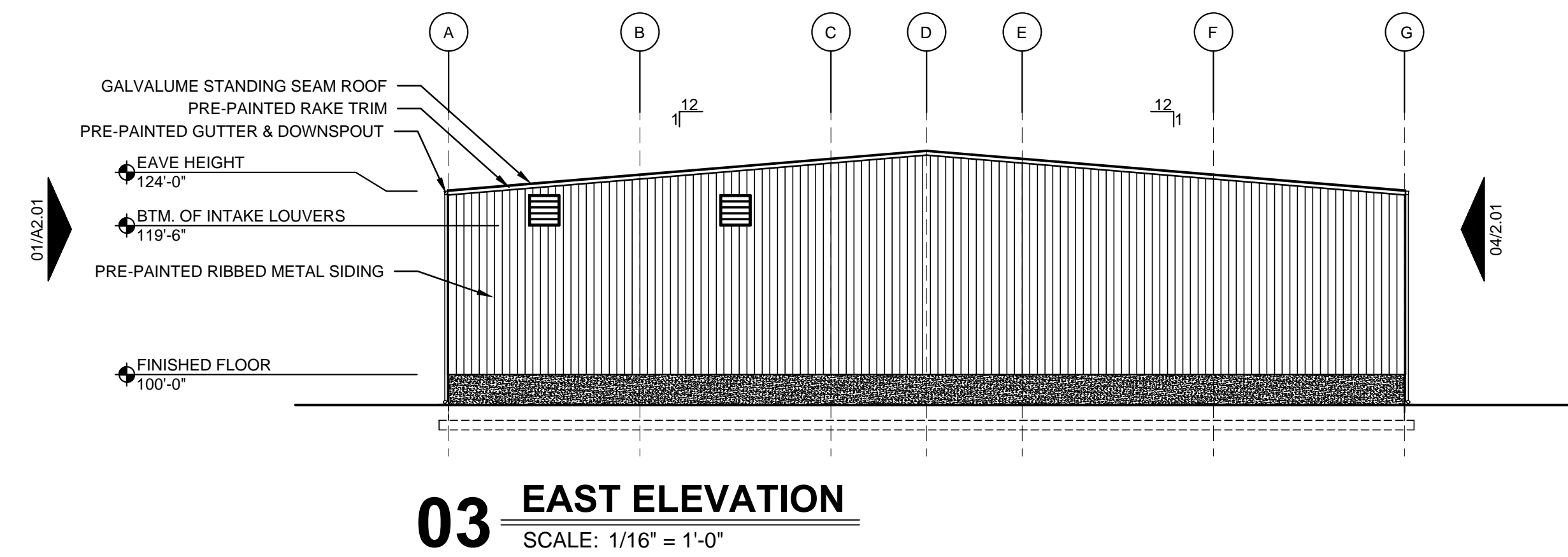
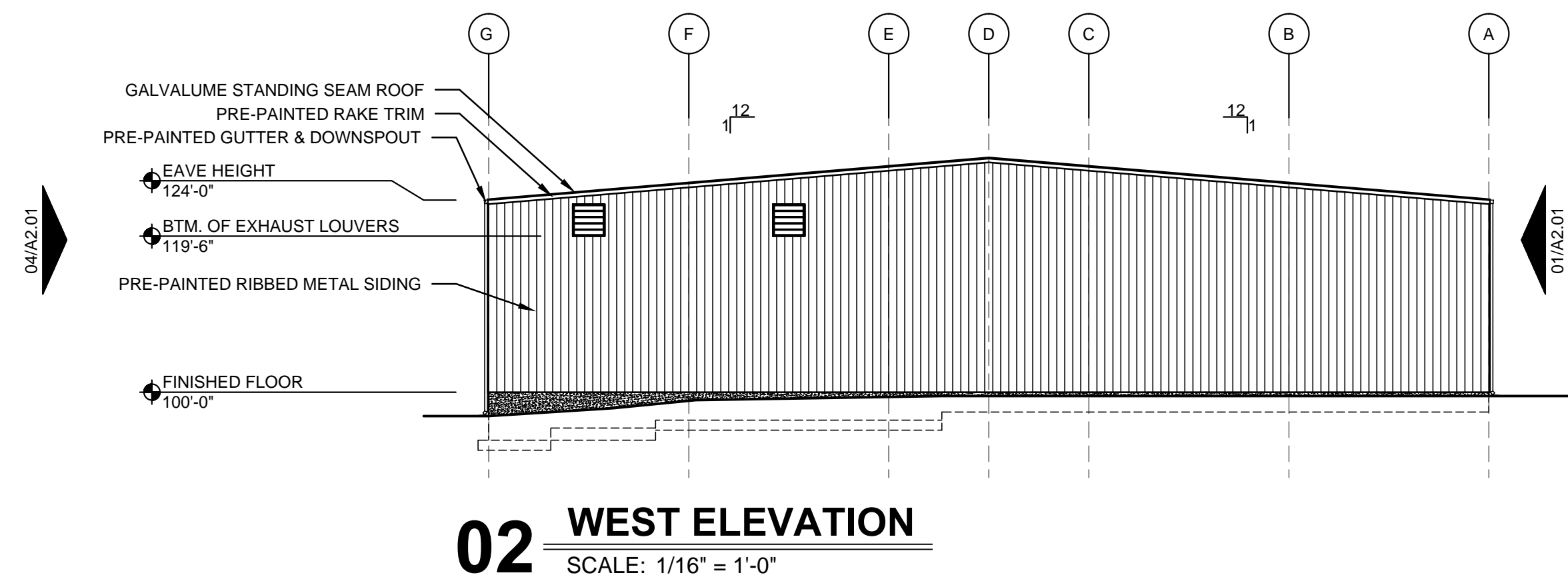
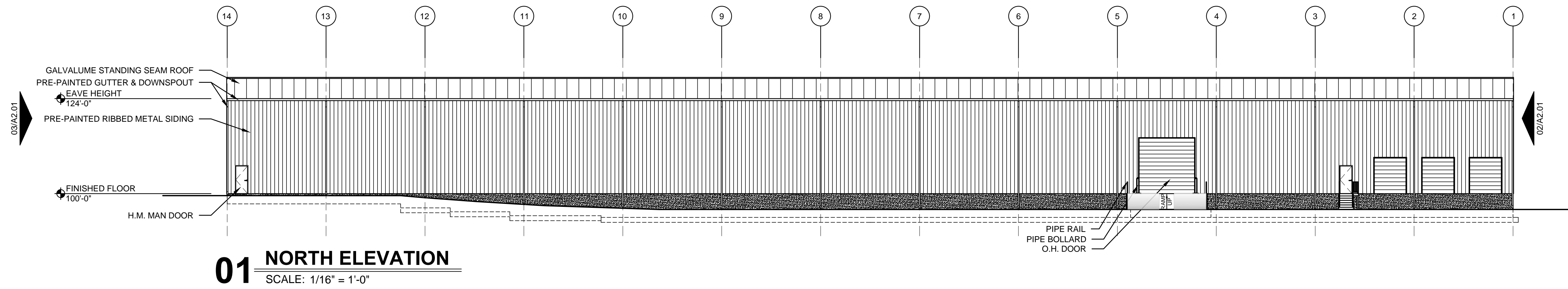
**NOTE:** GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER

**NOTE:** ELECTRICAL, HVAC AND PLUMBING TO BE RELOCATED PER FEDERAL, STATE AND LOCAL CODES. GENERAL CONTRACTOR TO COORDINATE.

Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form or matter whatsoever not are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Highway, Louisville, Kentucky 40213

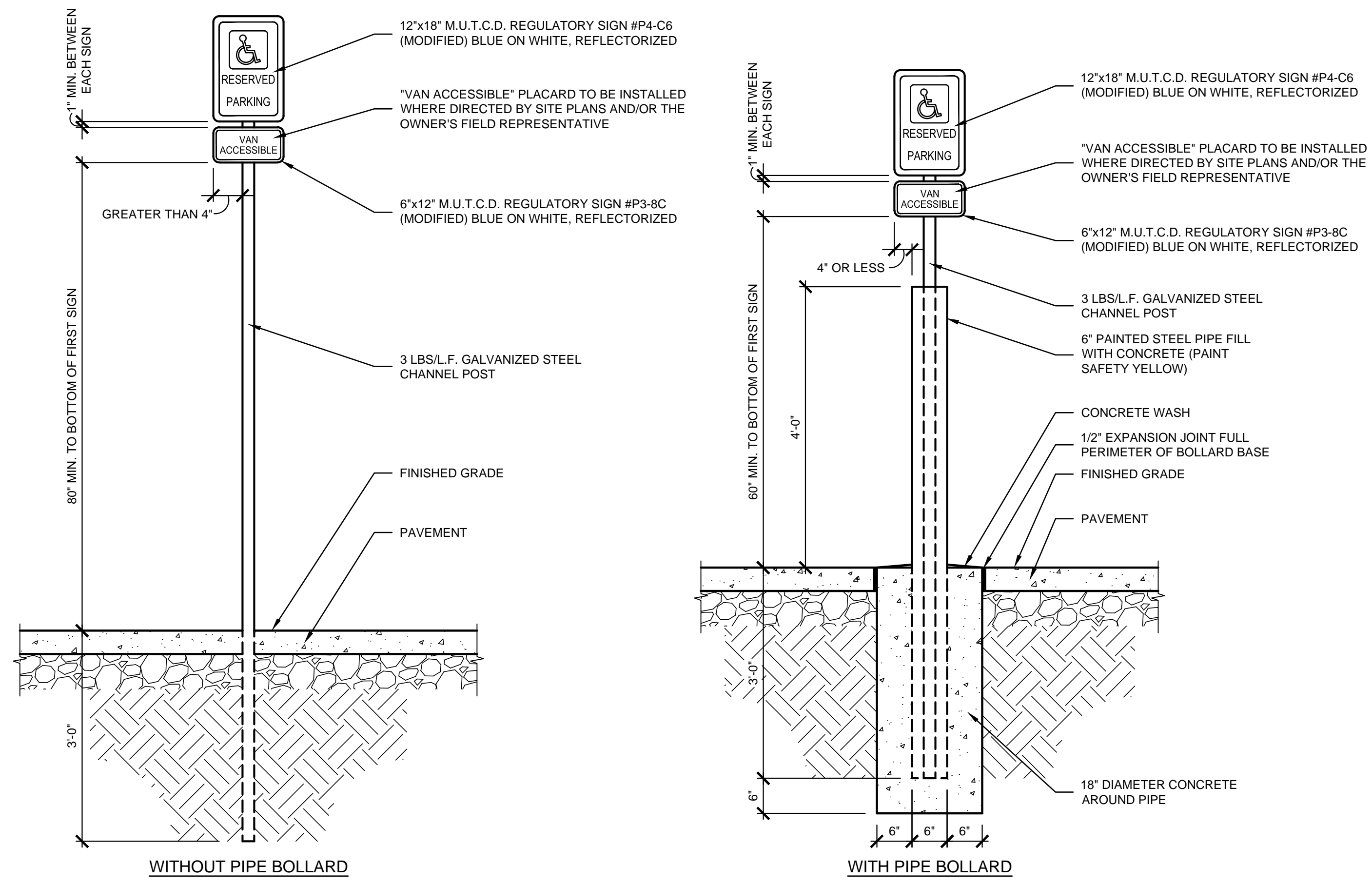
PROPOSED CONSTRUCTION  
 KEYES ARCHITECTS & ASSOCIATES  
 4717 PRESTON HIGHWAY  
 LOUISVILLE, KENTUCKY 40213 (502) 636-5113  
 NEW CONSTRUCTION FOR:  
 LANGLEY FOODS  
 MT. STERLING, KY 40004

PROJECT: LANGLEY FOODS - FILE: A1.01 Floor Plan.dwg - DATE: Jul 29, 2021 2:25PM - BY: GARRETT HAMM



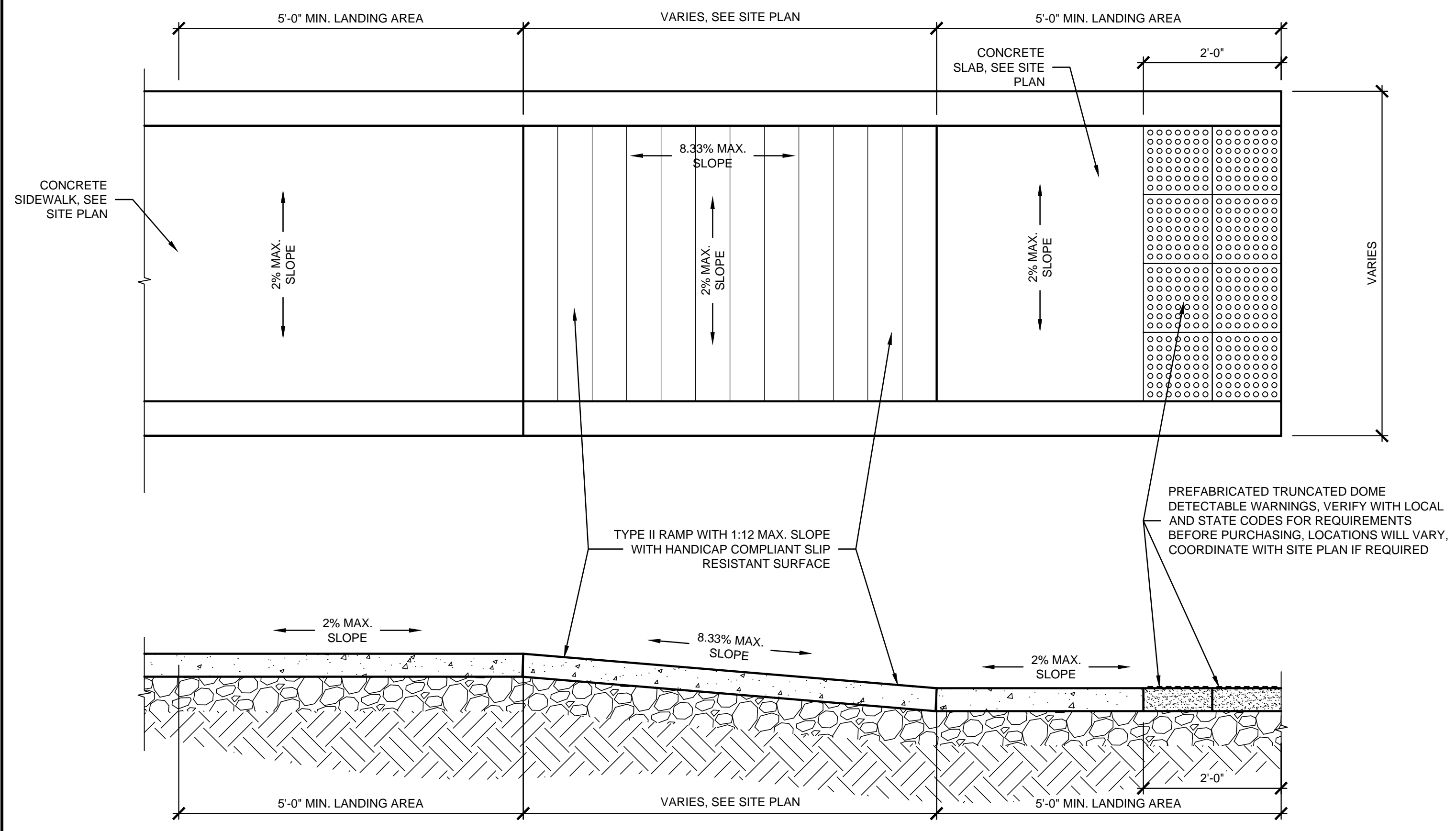
PROOF CONSTRUCTION  
 KEYES ARCHITECTS & ASSOCIATES  
 4717 PRESTON HIGHWAY  
 LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION FOR:  
 LANGLEY FOODS  
 MT. STERLING, KY 40004

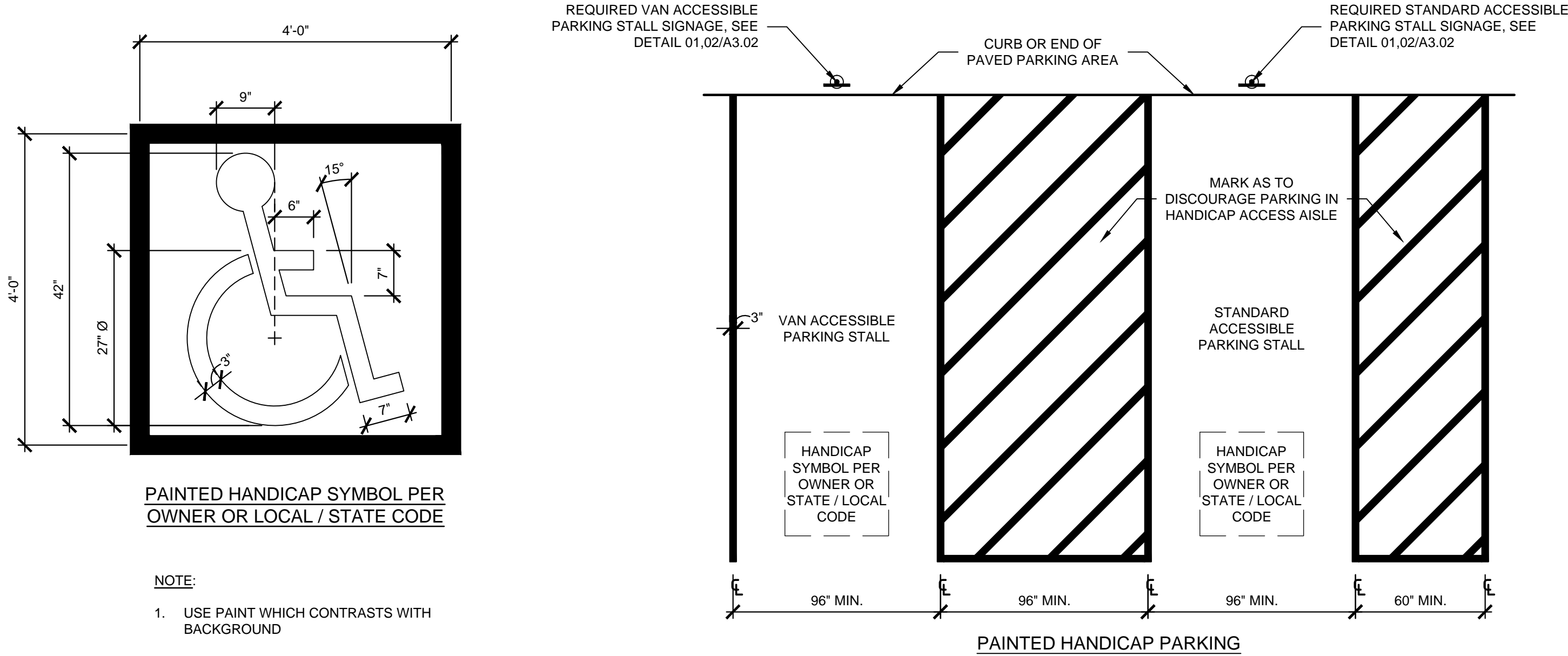


**01 ACCESSIBLE PARKING SIGNAGE DETAIL**  
SCALE: 3/4" = 1'-0"

NOTE:  
SIGN TO BE A MIN. OF 2'-0"  
FROM FACE OF CURB (SEE  
SITE PLAN BY OTHERS)



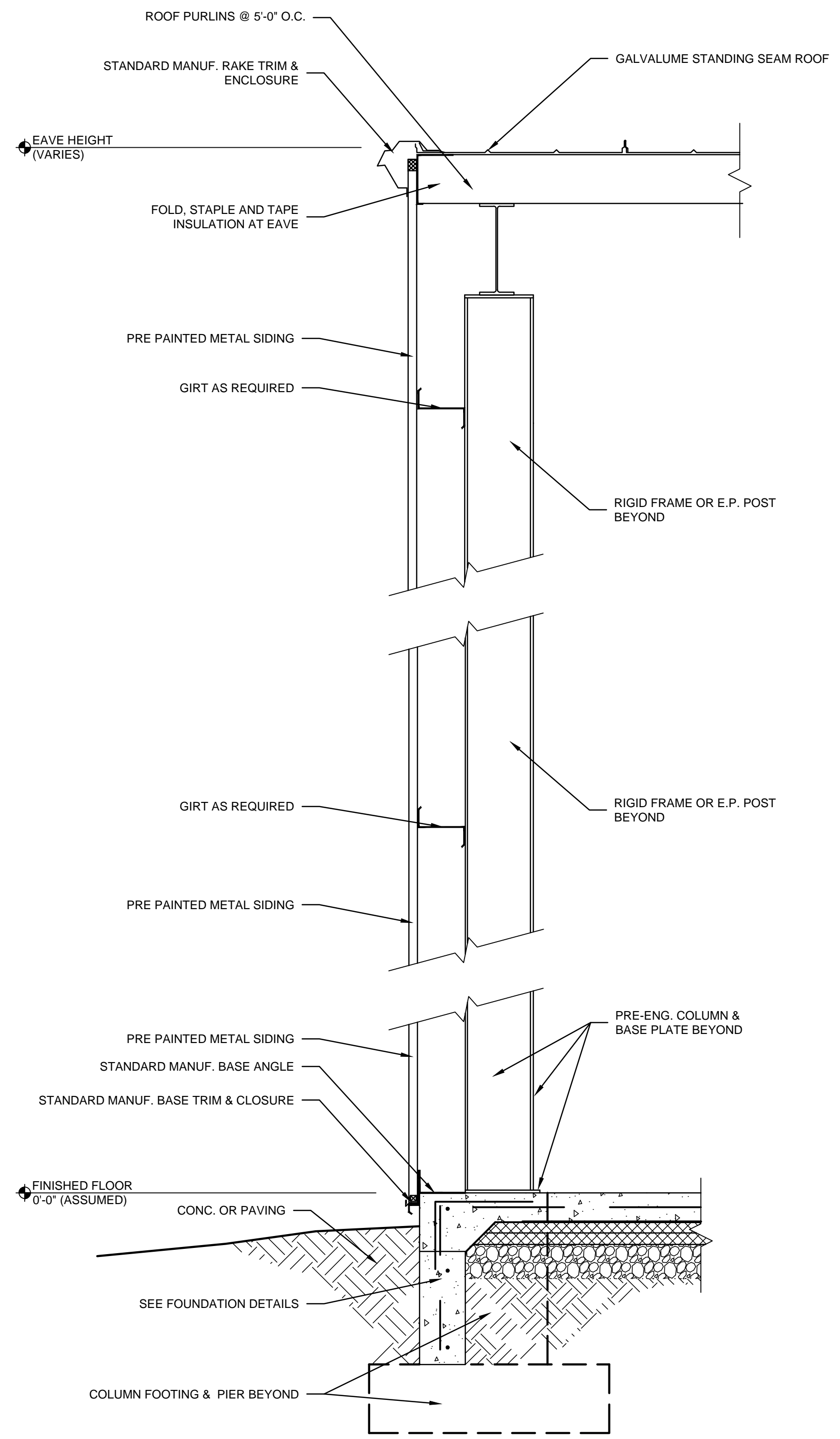
**02 TYPE II ACCESSIBLE RAMP**  
SCALE: 3/4" = 1'-0"



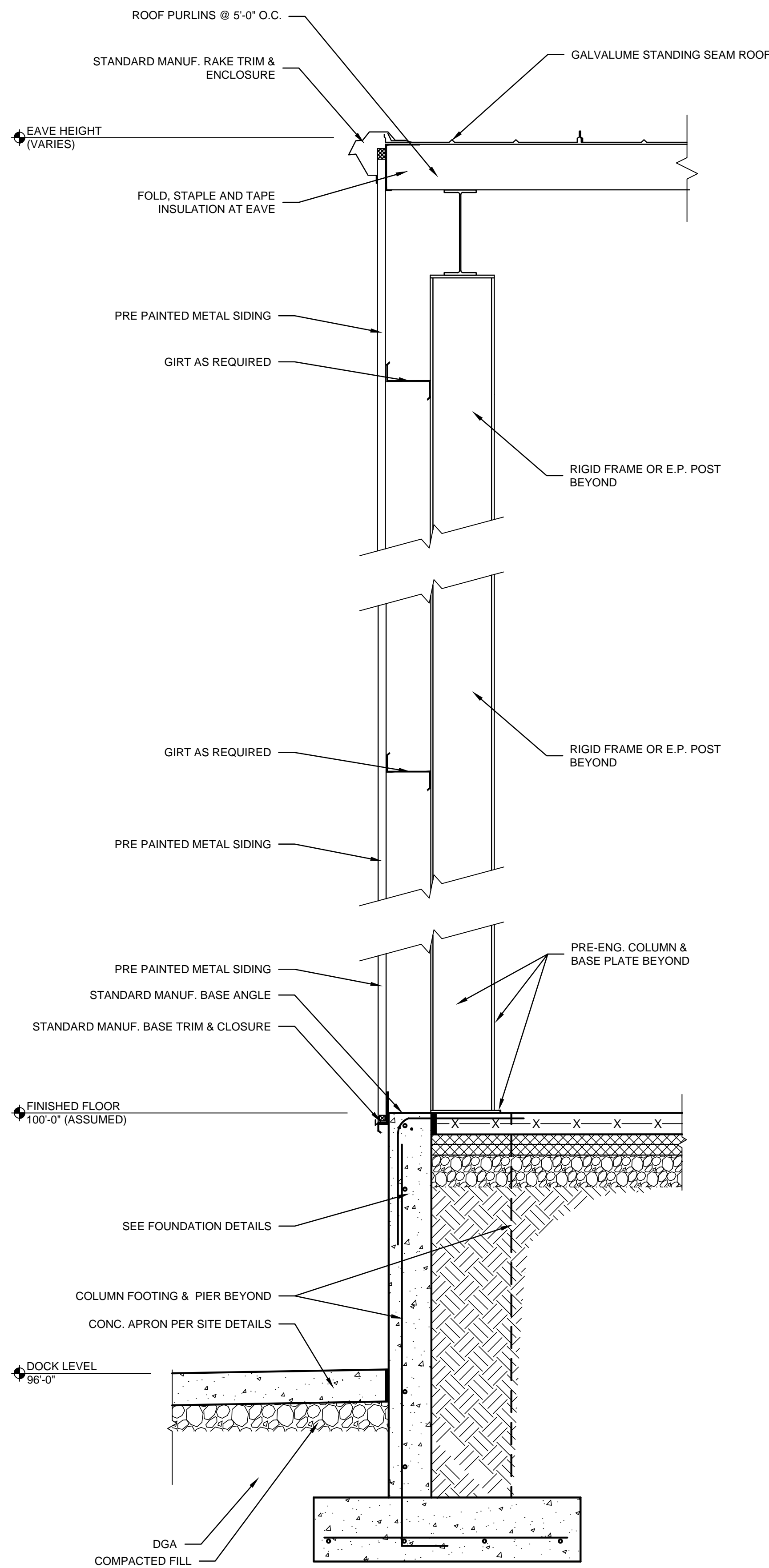
- NOTE:
1. USE PAINT WHICH CONTRASTS WITH BACKGROUND
  2. THIS SIGN TO BE FURNISHED AND INSTALLED BY G.C.

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2 PERCENT OF TOTAL
1001 AND OVER	20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000

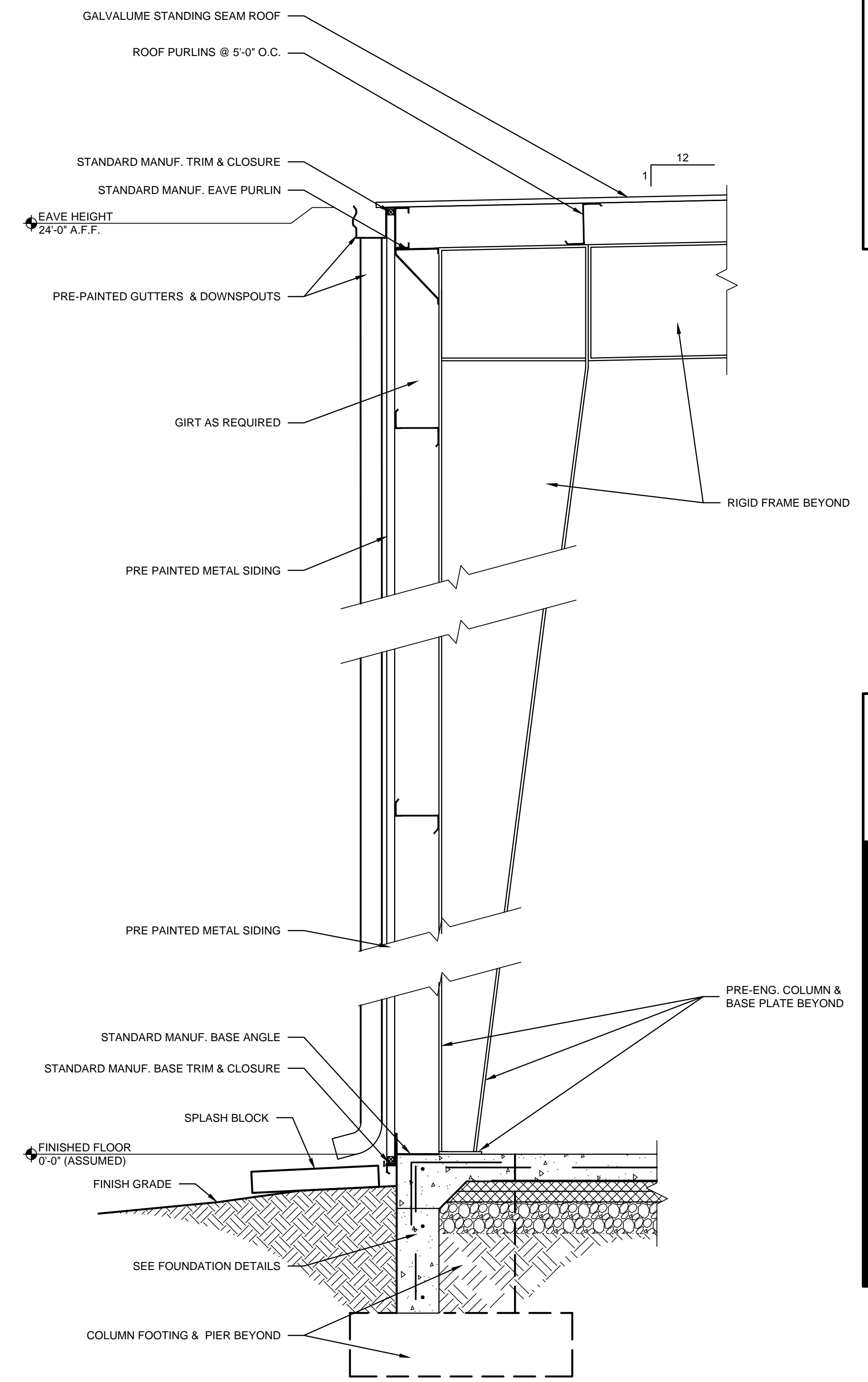
**03 PAINTED ACCESSIBLE SYMBOL / PAINTED ACCESSIBLE PARKING**  
SCALE: NTS



**01** ENDWALL SECTION  
SCALE: 3/4" = 1'-0"



**02** ENDWALL SECTION  
SCALE: 3/4" = 1'-0"



**03** SIDEWALL SECTION  
SCALE: 3/4" = 1'-0"

PROJECT: LANGLEY FOODS - FILE: A5.01 Wall Sections and Details.dwg - DATE: Jul 29, 2021 2:25PM - BY: GARRETT HAMM

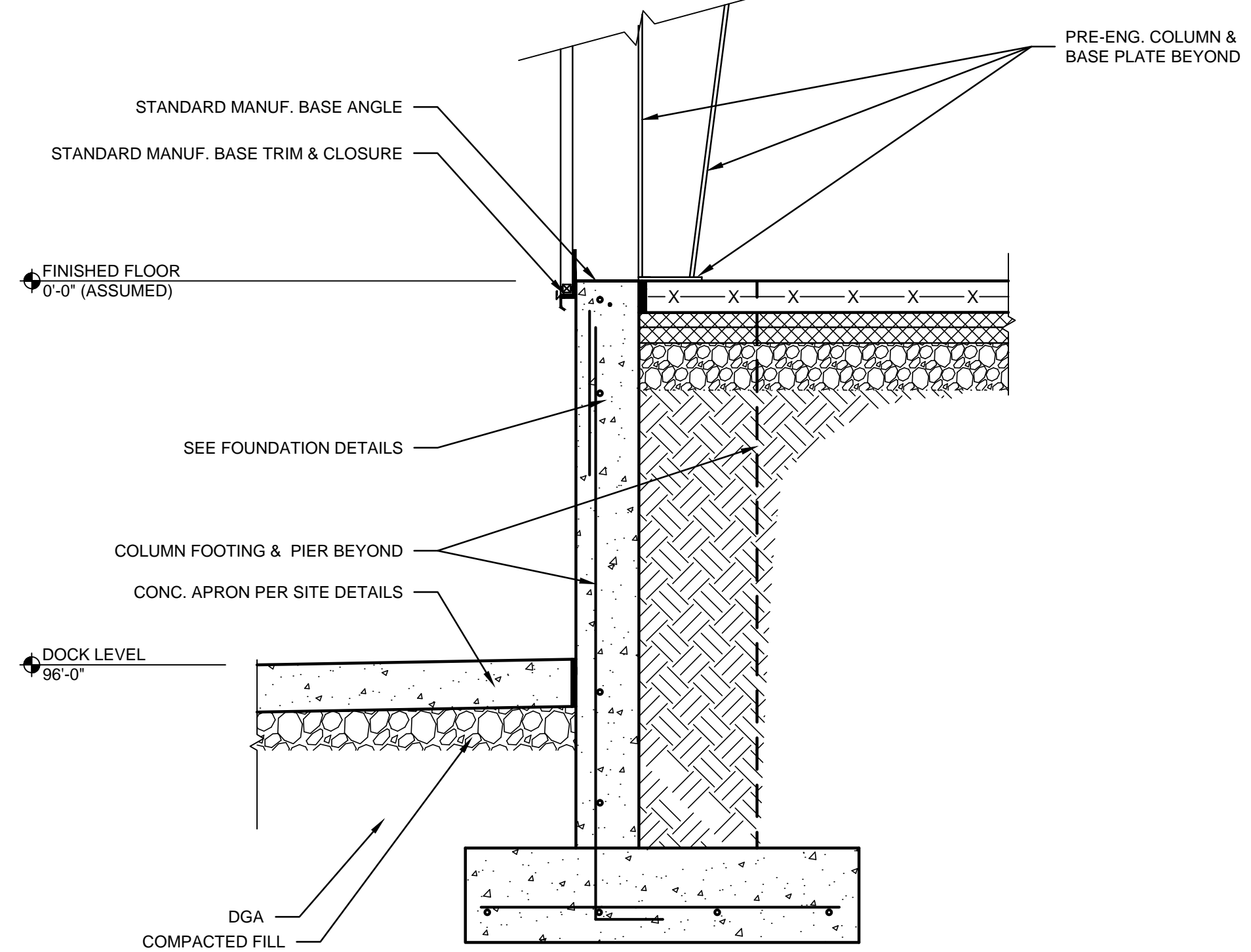
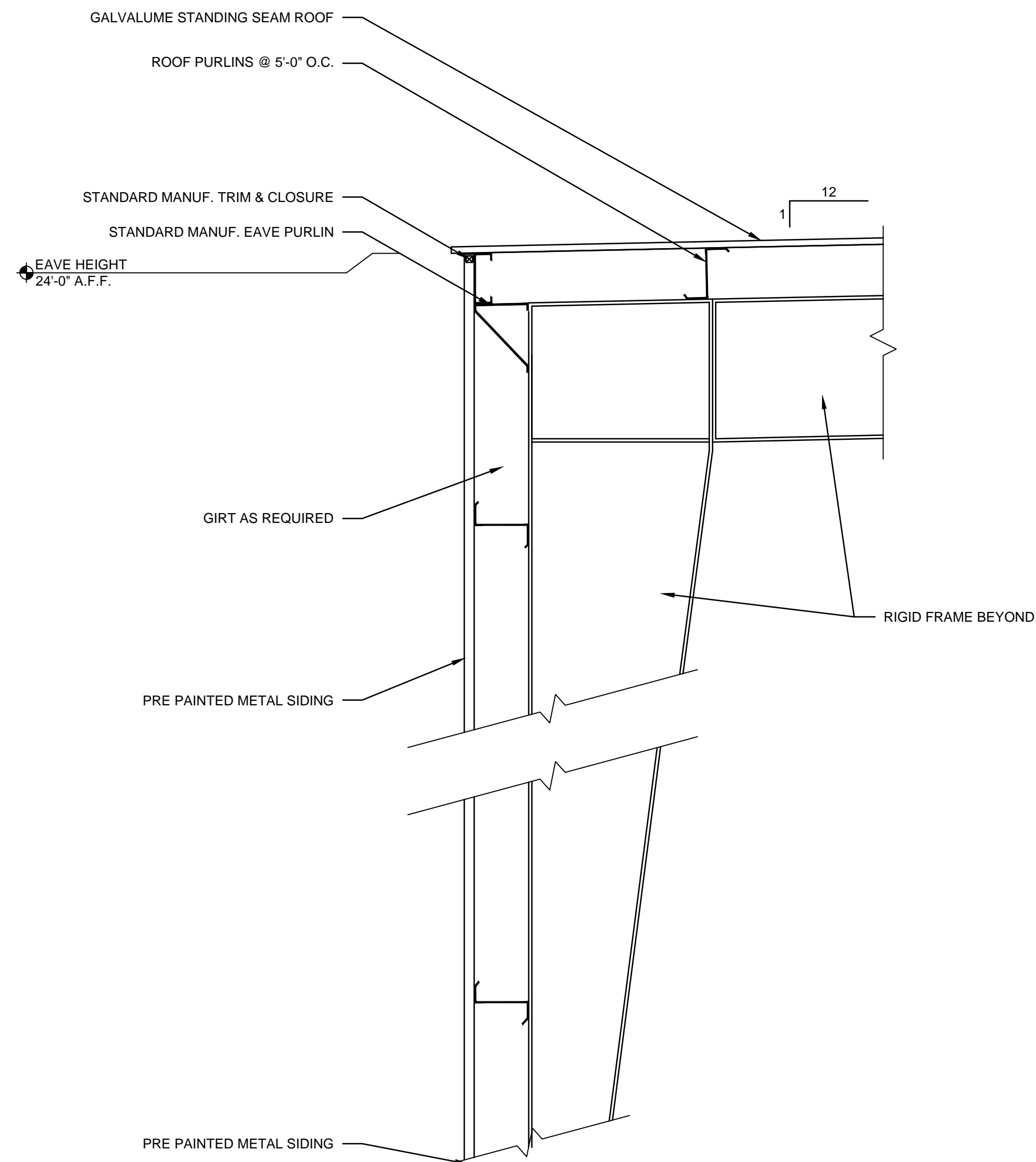
**NOT FOR CONSTRUCTION**  
**KEYES ARCHITECTS & ASSOCIATES**  
 4717 PRESTON HIGHWAY  
 LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION FOR:  
**LANGLEY FOODS**  
 MT. STERLING, KY 40004

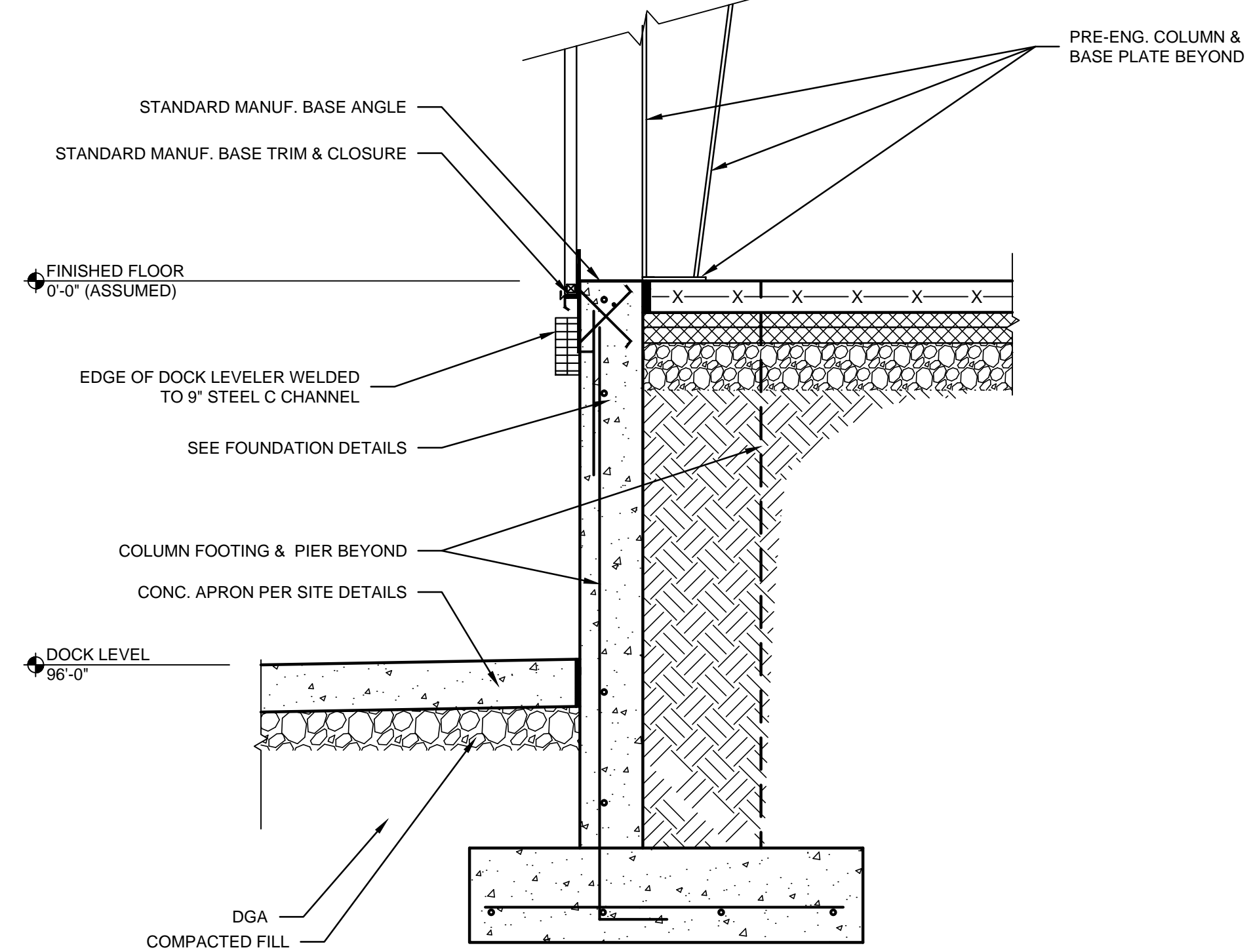
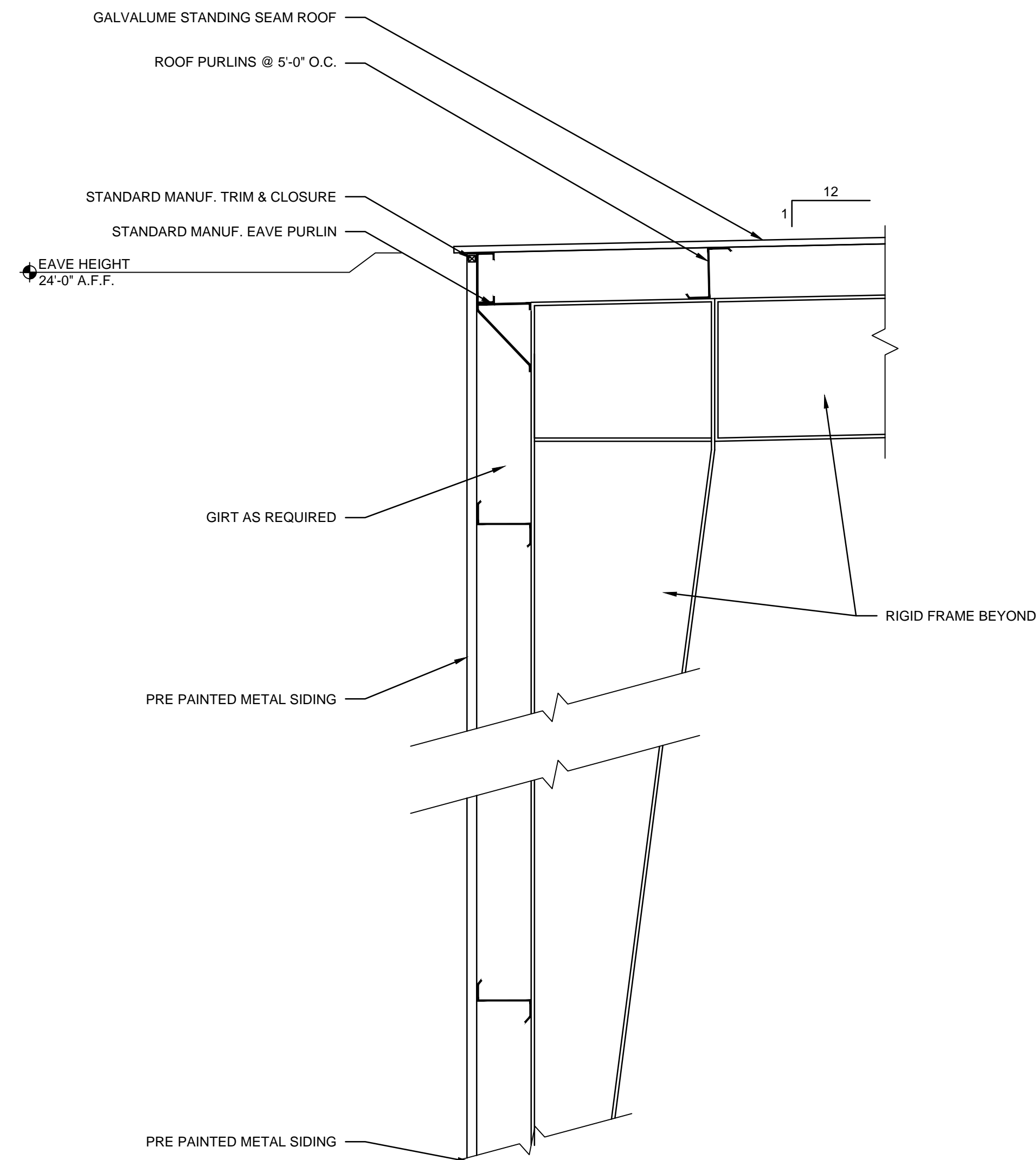
Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form matter whatsoever nor are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Highway, Louisville, Kentucky 40213

WALL SECTIONS AND DETAILS  
**A5.01**





**01** SIDEWALL SECTION  
SCALE: 3/4" = 1'-0"



**02** SIDEWALL DOCK SECTION  
SCALE: 3/4" = 1'-0"

PROJECT: LANGLEY FOODS - FILE: A5.02 Wall Sections and Details.dwg - DATE: Jul 29, 2021 2:26PM - BY: GARRETT HAMM

NEW CONSTRUCTION FOR:

**LANGLEY FOODS**  
MT. STERLING, KY 40004

**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

PROFESSIONAL ARCHITECTS

Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form matter whatsoever nor are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Hwy, Louisville, Kentucky 40213

WALL SECTIONS AND DETAILS

**A5.02**

NOT FOR CONSTRUCTION

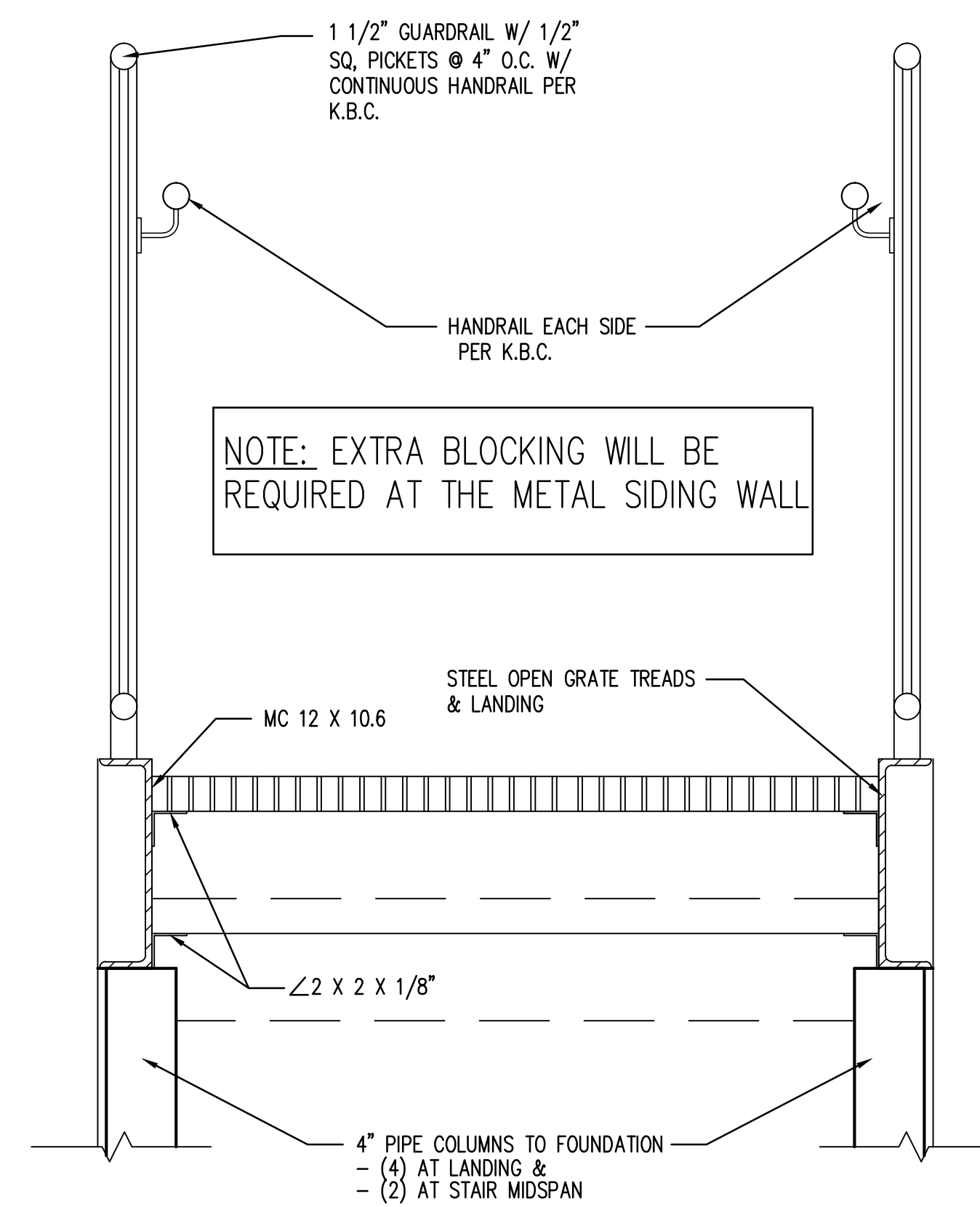
NOT FOR CONSTRUCTION

KEYES ARCHITECTS & ASSOCIATES  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION FOR:  
LANGLEY FOODS  
MT. STERLING, KY 40004

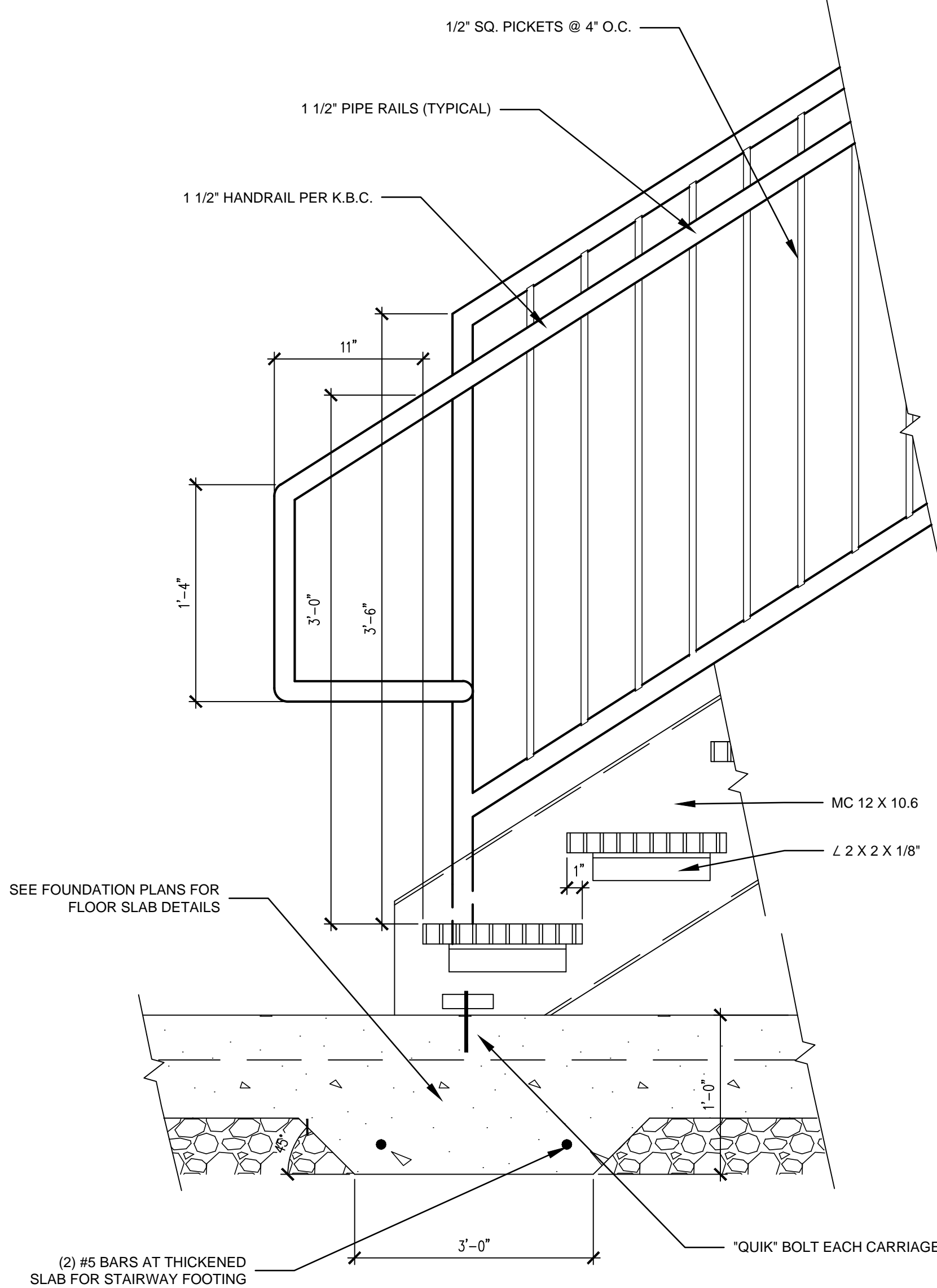
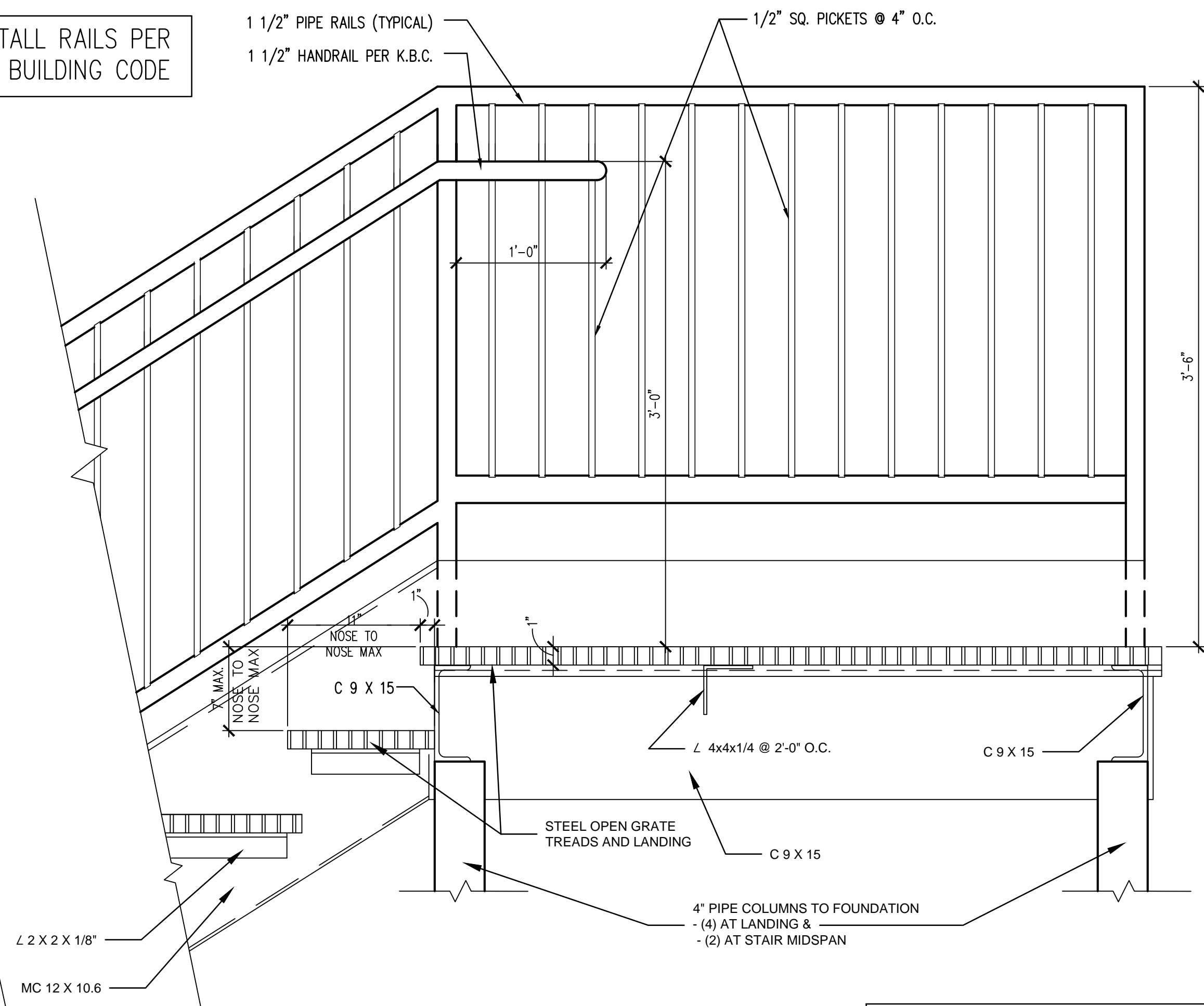
STAIR DETAILS  
**A8.01**

Keyes Architects and Associates expressly reserve its common law copyright and other property rights in these documents. These documents are considered proprietary information and shall not be upgraded, changed or copied in any form or matter whatsoever nor are they to be assigned to any third party without first obtaining the express written permission and consent of Keyes Architects and Associates, 4717 Preston Hwy, Louisville, Kentucky 40213



NOTE: LANDING BOLTED INTO BLDG FLOOR W/ (3) 1/2" EXPANSION BOLTS

NOTE: INSTALL RAILS PER KENTUCKY BUILDING CODE



**01 STAIR DETAILS**  
SCALE: NTS



**13000 SPECIAL CONSTRUCTION: PRE-ENGINEERED BUILDING PACKAGE**

- A. Owner to furnish any special construction not required or listed herein.
- B. Building package to be generally as shown on drawings to include primary and secondary steel framing
- C. Walls to be painted ribbed siding unless otherwise note on plans.
- D. Canopy roofs to be painted vertical rib standing unless otherwise noted on plans.
- E. Main roofs to be galvanized standing seam roof with related flashing, gutters and downspouts .
- F. Full design responsibility of package to be by manufacturer. Roof loads to be 20#/s.f. plus 5#/s.f. for equipment loads, plus dead load and additional collateral loads as designed by manufacturer. Manufacturer to provide additional reinforcing required for any snow build-up, framing at canopies and for all roof top units (verify weight with mechanical contractors). Wind load of 15#/s.f. on walls and UL 90 uplift on roof. Building manufacturer to comply with all requirements of the State Building Codes. This includes all bracing and connections required to transfer loads to foundations as shown, or required. (Note: Live Load Reductions are not allowed in steel weights).
- G. Weather tightness of pre-engineered building component systems to be responsibility of building manufacturer.

**SPECIAL NOTE:**

- A. Final detailed layout of Steel Structures, Plumbing, Mechanical, Fire Suppression and Electrical systems are by separate Engineers or installers, it is the responsibility of the owner and General Contractor to coordinate all work with affected other trades to assure completeness and code compliance.
- B. It is the responsibility of the General Contractor and the Mechanical, Electrical, and Plumbing Contractors to ensure that all parts of their work is to be accessible as per Federal ADAAG Guidelines and all State / Local Guidelines. This includes but is not limited to Electrical Controls such as Thermostats or Lighting Controls, Light Switches, Outlet Plugs, Hand Dryers, and Faucet Controls. If there are concerns about how to determine reach ranges, equipment clearance or other accessibility items, contact the architect immediately before work begins for guidance.

**15330 AUTOMATIC SUPPRESSION SYSTEM**

- A. Contractor to furnish and install a complete wet pipe sprinkler system per N.F.P.A. 13 and Factory Mutual requirements. System to be design to give full coverage as required by N.F.P.A. requirements for the specific use areas of this building.
- B. Bid to be complete to provide all work required. Include dedicated fire suppression line to the street, new tap and P.I.V. or vault. Riser, compressor and alarm to be located as shown. Coordinate final locations, power, communications and service with all other trades.
- C. Coordinate P.I.V. and Fire Department connection, location and pipe threads with local fire department. Sprinkler lines to be installed so as not to interfere with future crane, piping systems, mechanical systems and electrical systems or fixtures.
- D. Provide shop drawings for approval before ordering materials. Design, stamped drawings and obtaining agency approvals of system to be responsibility of sprinkler subcontractor.

**END OF SPECIFICATIONS**

**ABBREVIATIONS**

These are abbreviations used on the plans and in these specifications. Not all items may be use and are for reference only.

- AFF - Above Finished Floor
- CJ - Control Joint
- I.B.C. - International Building Code
- MAX - Maximum
- MIN - Minimum
- NRP - Non-Removable Pin
- O.C. - On Center
- V.I.F. - Verify In Field