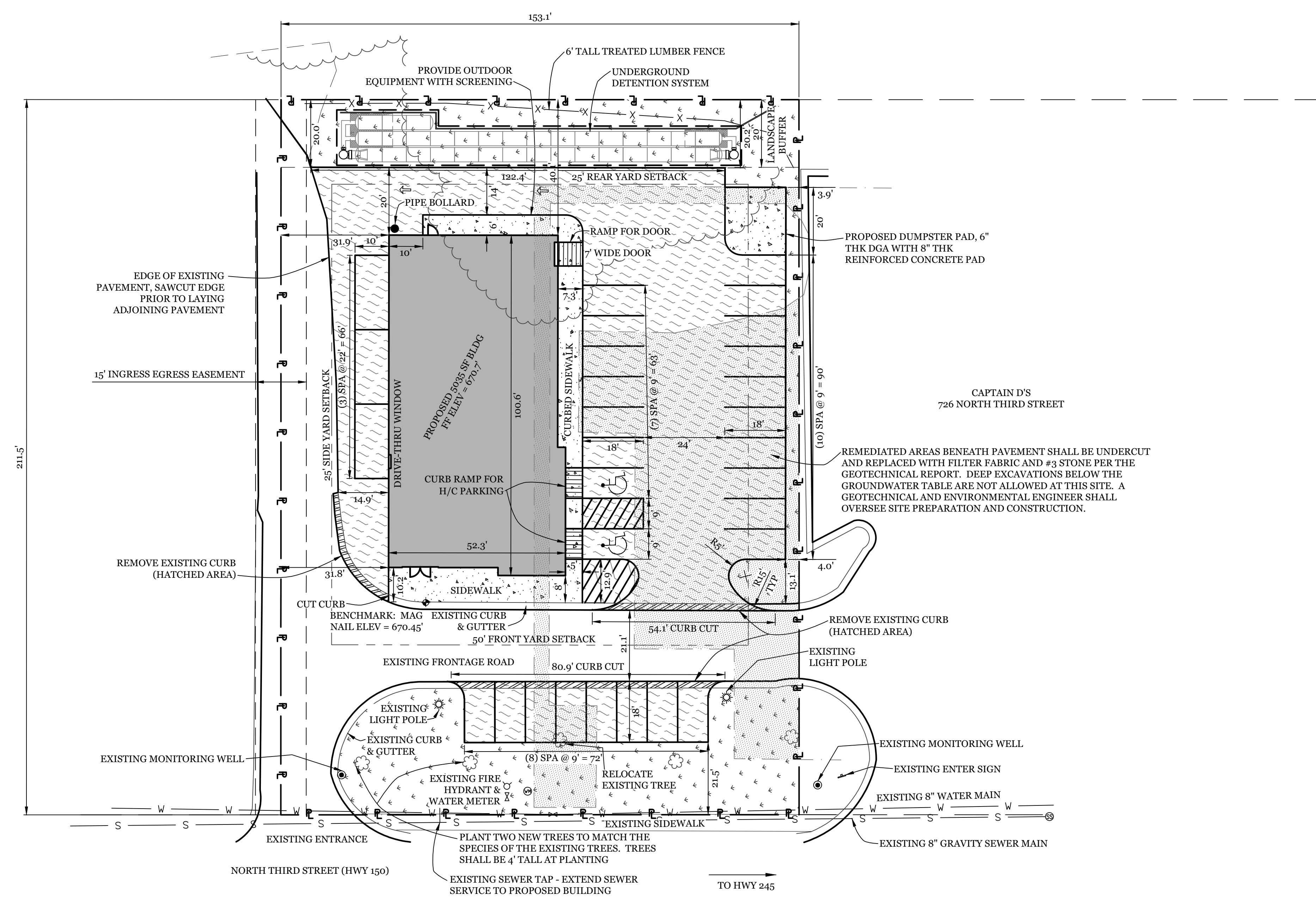
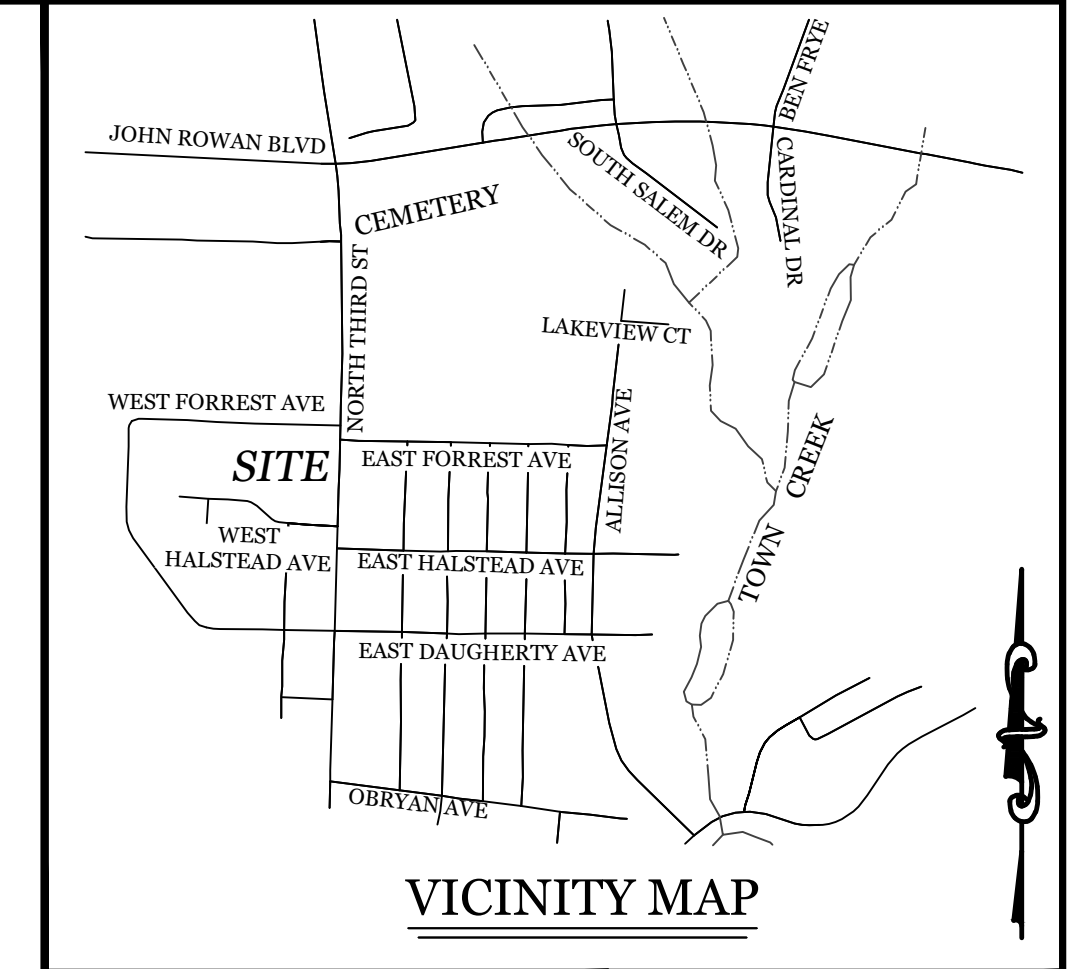
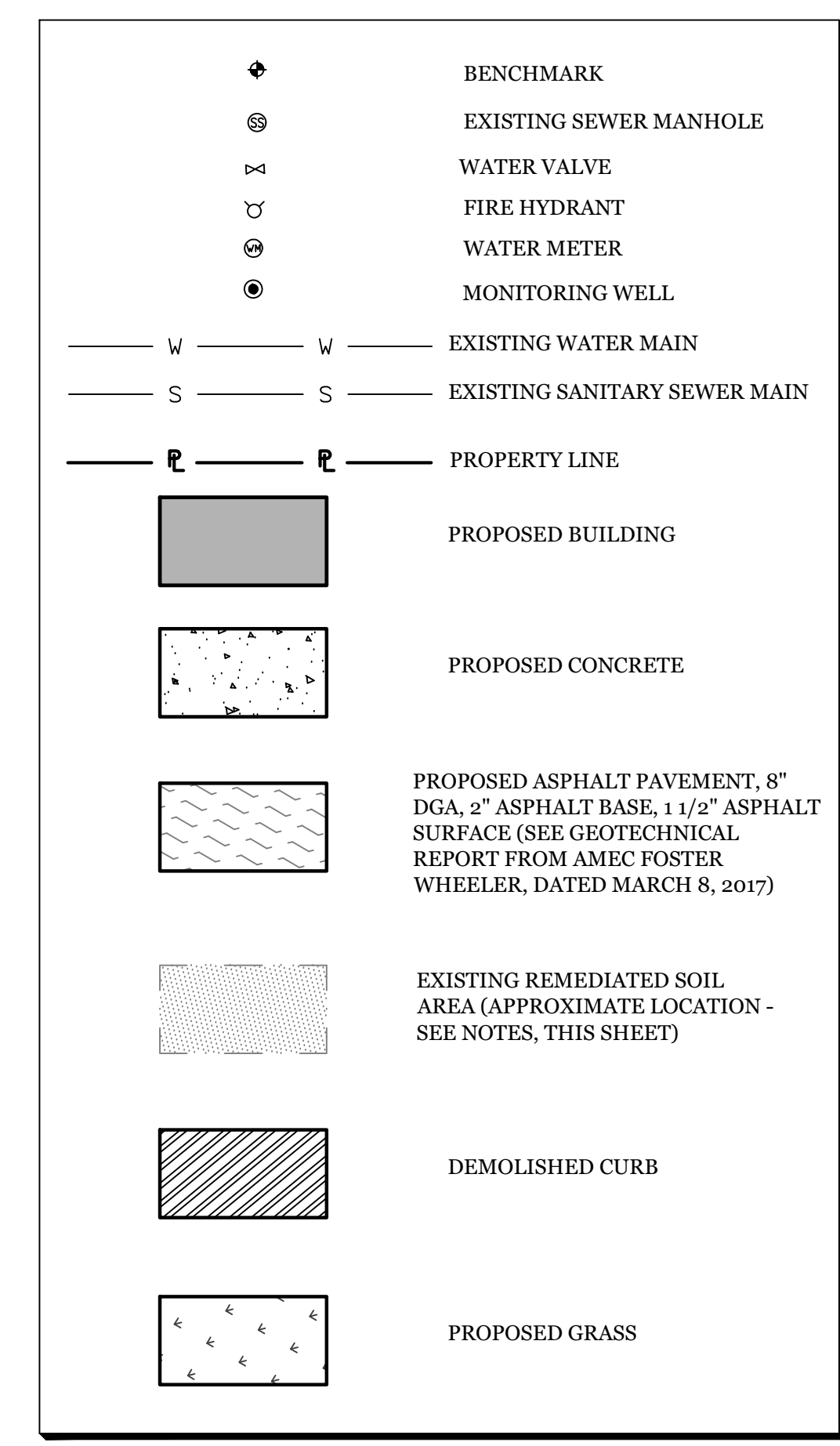


**B-3 REGIONAL RETAIL BUSINESS DISTRICT**  
**DIMENSION AND AREA REQUIREMENTS**

MAXIMUM HEIGHT	50 FEET
MINIMUM LOT AREA:	
SERVED WITH SANITARY SEWERS	5,000 SQUARE FEET
NOT SERVED BY SANITARY SEWERS	43,560 SQUARE FEET
MINIMUM OPEN SPACE REQUIRED	20%
MINIMUM LOT WIDTH	50 FEET
MINIMUM FRONT YARD SETBACK	50 FEET
MINIMUM SIDE YARD SETBACK	50 FEET
NOT ADJOINING A RESIDENTIAL USE	15 FEET
ADJOINING A RESIDENTIAL USE	25 FEET
MINIMUM REAR YARD SETBACK	25 FEET



**LEGEND**

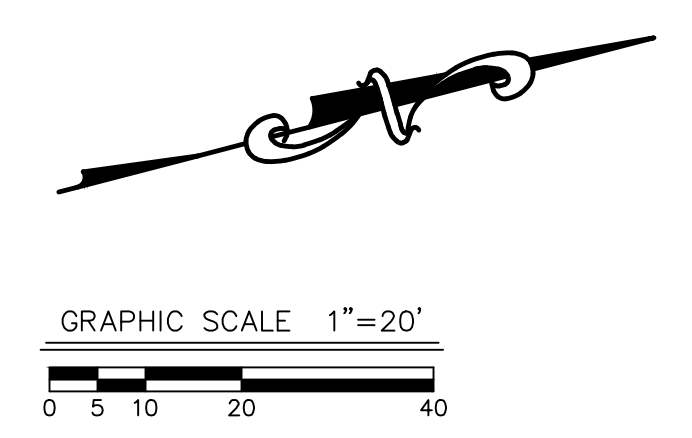


**SITE STATISTICS:**

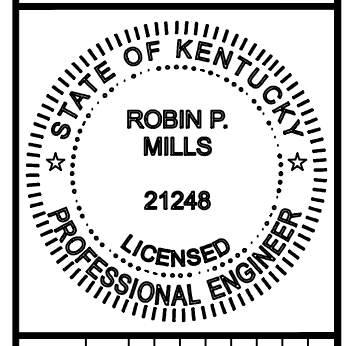
- REVISED TRACT 2, OAKLAWN SUBDIVISION, BLOCK B  
0.74 ACRE LOT, ZONED B-3
- 5035 SQ. FOOT BUILDING - LIQUOR STORE  
PARKING:  
MIN. = 1 SPA/300 SF = 17 SPA.  
MAX = 1 SPA /150 SF = 33 SPA  
27 PARKING SPACES PROVIDED
- 0.17 ACRES GREENSPACE, 23% PROVIDED

**NOTES:**

- CONTRACTOR SHALL REVIEW AND FOLLOW RECOMMENDATIONS IN THE FOLLOWING REPORTS:  
a.) PROPERTY MANAGEMENT PLAN PREPARED BY WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. DATED MAY 18, 2021  
b.) GEOTECHNICAL SITE EVALUATION REPORT PREPARED BY AMEC FOSTER WHEELER ENVIRONMENT & INFRASTRUCTURE, INC., DATED MARCH 8, 2017
- THIS SITE HAS BEEN SUBJECT TO ENVIRONMENTAL INVESTIGATIONS AND CORRECTIVE ACTIONS FOR THE PAST 18 YEARS; THEREFORE, THE ENVIRONMENTAL REPORTS AND RECOMMENDATIONS PREPARED FOR THE SITE SHALL BE REVIEWED THOROUGHLY BY THE CONTRACTOR. ALL EXCAVATIONS AT THE SITE SHALL BE PERFORMED IN CONJUNCTION WITH THE REPORTS, INCLUDING CONSTRUCTION OVER REMEDIATED SOILS, MANAGEMENT OF SOILS AND GROUNDWATER DURING CONSTRUCTION AND THE REMOVAL OF ANY ABANDONED MONITORING WELLS LEFT ON THE PROPERTY. IT IS RECOMMENDED THAT ENVIRONMENTAL AND GEOTECHNICAL CONSULTANTS SHOULD OVERSEE GRADING OPERATIONS, FOUNDATION CONSTRUCTION AND PREPARATION OF PAVED AREAS FOR THE SITE.



**Horizon ENGINEERING, L.L.C.**  
 Civil Engineering & Land Surveying  
 115 East Piaget Street  
 Bardonia, NY 40004  
 Phone: (502) 346-4330



Date	By	Description
8-1-22	REM	REVISIONS PER CORE AND ISZ

H2980.crd	Date	12/10/2021
Drawing File: PATELLIQUORSTORE.DWG	Drawn By:	RPM
Job Number: H4188	Date:	12/10/2021
Scale: 1" = 20'	Sheet:	1 of 3
P/A Number:		

**BARDSTOWN LIQUOR STORE**  
 Site Layout  
 BARDSTOWN INVESTMENTS, LLC  
 4412 GLEN EAGLE DRIVE, COLUMBIA, MO 65203  
 NORTH THIRD STREET - BARDSTOWN, NELSON COUNTY, KENTUCKY