



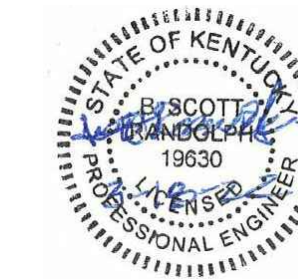
CONSTRUCTION PLANS FOR:  
**FiveStar #9000**  
 NEW BUILDING CONSTRUCTION  
 VETERANS MEMORIAL AT COMMERCE DRIVE  
 SCOTTSVILLE, KY

CERTIFICATE OF OWNERSHIP  
 I (WE) DO HEREBY CERTIFY THAT I AM (WE ARE) THE ONLY OWNER(S) OF THE  
 PROPERTY SHOWN HEREON, AND DO ADOPT THIS AS MY (OUR) FINAL  
 DEVELOPMENT PLAN FOR THE PROPERTY.

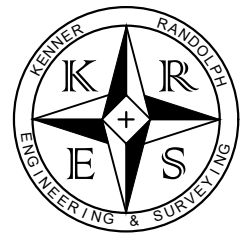
DATE \_\_\_\_\_

OWNER \_\_\_\_\_

OWNER \_\_\_\_\_



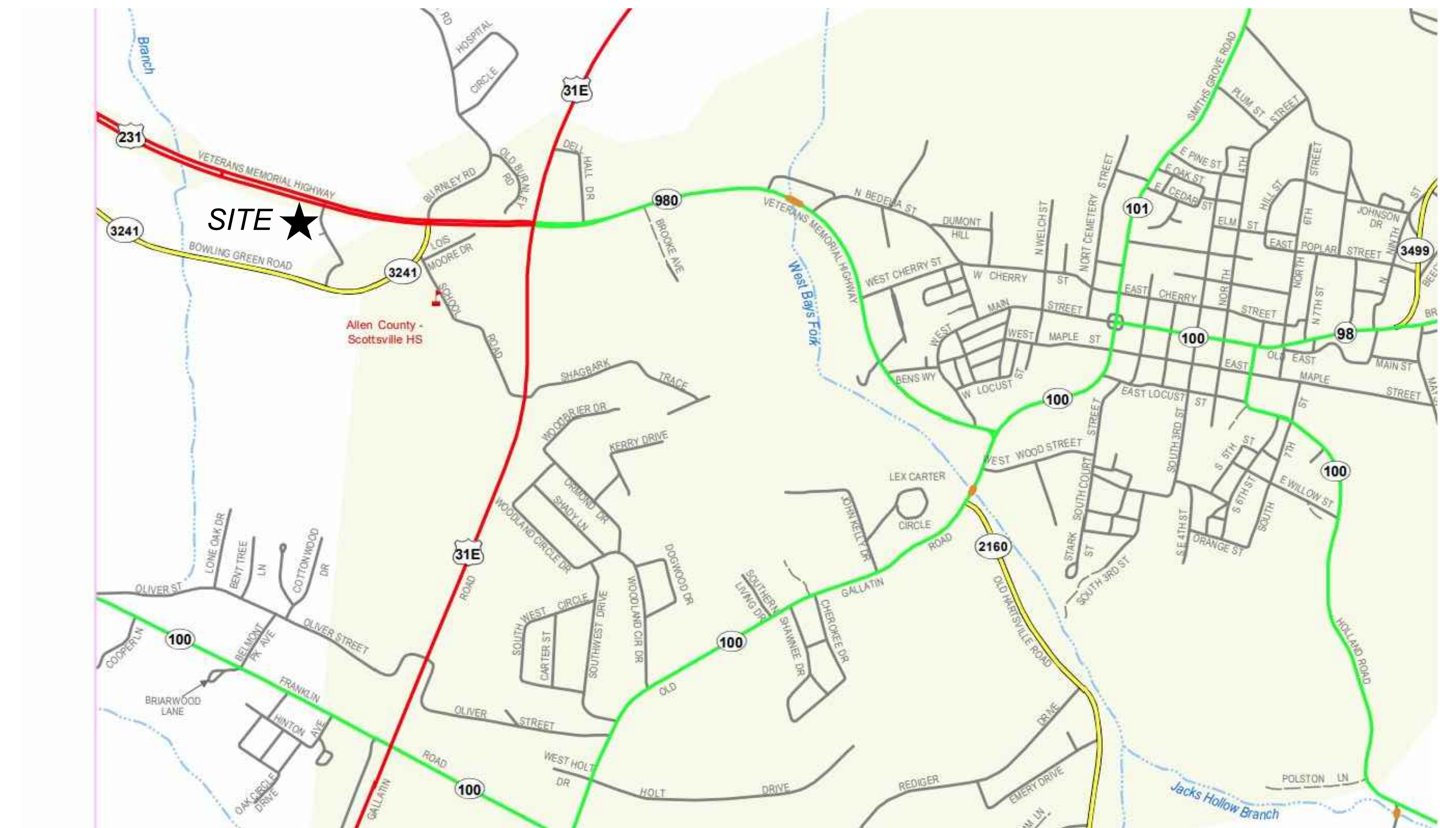
CIVIL ENGINEER:  
**KENNER RANDOLPH**  
 ENGINEERING & SURVEYING  
 199 NORTH OWEN STREET  
 RUSSELLVILLE, KY 42276  
 270-717-1167



Know what's below.  
 Call before you dig.

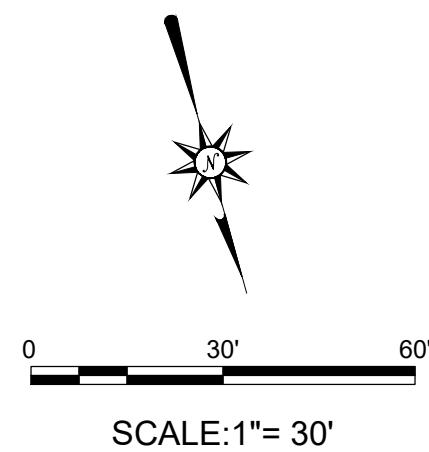
**INDEX:**

C1.0	EXISTING CONDITIONS PLAN
C2.0	PROPOSED SITE PLAN
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C2.3	ENLARGED GRADING PLAN
C3.0	DETAILS
C3.1	DETAILS



VICINITY MAP SCOTTSVILLE, KY

**BOUNDARY & TOPOGRAPHIC SURVEY**  
FIVESTAR - SCOTTSVILLE, KY



JERRY DOUGLAS MCPHERSON ET AL  
DEED BOOK 318 PAGE 876 LOT 10  
PLAT BOOK 5 PAGE 125 LOT 10  
ZONE B2

**SOURCE OF TITLE/LOT INFO**

1/2 INTEREST - JERRY DOUGLAS MCPHERSON  
1/2 INTEREST - DOUGLAS SHAWN & SUSAN MCPHERSON  
DEED BOOK 318 PAGE 876  
PLAT BOOK 5 PAGE 125 LOTS 1, 2, & 3  
ZONE B2

**SURVEYOR'S NOTES**

1. IN PERFORMING THIS SURVEY, NO GUARANTEE IS MADE AS TO THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLICLY OWNED.
2. NO EXTENSIVE INVESTIGATION HAS BEEN PERFORMED TO SEARCH FOR RECORDS OR DOCUMENTATION OF EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A PROFESSIONAL TITLE SEARCH MAY DISCLOSE.
3. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND SEAL ARE NOT VALID. THIS PLAN REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AND IS IN COMPLIANCE WITH 201 KAR 18:150.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS PERFORMED UNDER MY DIRECTION BY MEANS OF RTK GPS MEASUREMENTS USING TRIMBLE R10 AND TRIMBLE R8S DUAL FREQUENCY GPS RECEIVERS WHEN ACCEPTABLE AND CONVENTIONAL MEANS (RANDOM TRAVERSE), FROM GPS CONTROL POINTS, WHEN NECESSARY. GPS MEASUREMENTS HAD A STATICAL ERROR THAT DID NOT EXCEED 0.05" +100 PPM PER DISTANCE ACCURACY AND RELATIVE POSITIONAL ACCURACY. WHERE CONVENTIONAL METHODS WERE USED, THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE WAS A MINIMUM OF 1:43,750 AND WAS NOT ADJUSTED. THE SURVEY SHOWN HEREON IS AN "URBAN" SURVEY AND THE ACCURACY AND PRECISION OF SAID SURVEY MEETS OR EXCEEDS ALL THE SPECIFICATIONS OF THE CLASSIFICATION FOR THE COMMONWEALTH OF KENTUCKY.

CHRIS R. KENNER, PLS #4120 DATE

**REFERENCE MERIDIAN**

THE BEARINGS SHOWN HEREON ARE REFERENCED TO GRID NORTH OF THE NAD83 KENTUCKY SOUTH STATE PLANE COORDINATE SYSTEM. DISTANCES SHOWN ARE GRID DISTANCES. ELEVATIONS ARE BASED UPON NAVD83 GEOID 18US. ALL MEASUREMENTS DERIVED FROM AN INITIAL GPS OBSERVATION USING A VRS NETWORK OF KY CORS STATIONS.

**LEGEND**

- 5/8" REBAR & CAP (FOUND) PLS #3290
- MEANDER POINT
- BOUNDARY LINE THIS SURVEY
- - - APPROXIMATE ADJOINER OR R/W LINES
- · - · - ORIGINAL TRACT LINES - NOW REMOVED
- · - · - EASEMENT & SETBACK LINES
- == EXISTING ROADWAY AS LABELED
- MOUNTABLE CURB
- X X EXISTING FENCE
- Wx Wx EXISTING WATERLINE
- Gx Gx EXISTING GAS LINE
- SDx SDx EXISTING STORM PIPE
- CPx EXISTING CULVERT PIPE
- SSx SSx EXISTING SANITARY SEWER
- Ex Ex EXISTING PRIMARY OVERHEAD ELECTRIC
- ESx ESx EXISTING SECONDARY OVERHEAD ELECTRIC
- ← CENTERLINE DITCH
- ⊥ EXISTING WATERLINE VALVE
- ⊙ POWER POLE
- + 750.00 EXISTING SPOT ELEVATION
- - - 750 EXISTING CONTOUR
- ~ EXISTING TREE/SHRUB VEGETATIVE PERIMETER

**VICINITY MAP SCOTTSVILLE, KY**



STATE OF KENTUCKY  
CHRIS R. KENNER  
4120  
LICENSED  
PROFESSIONAL  
LAND SURVEYOR

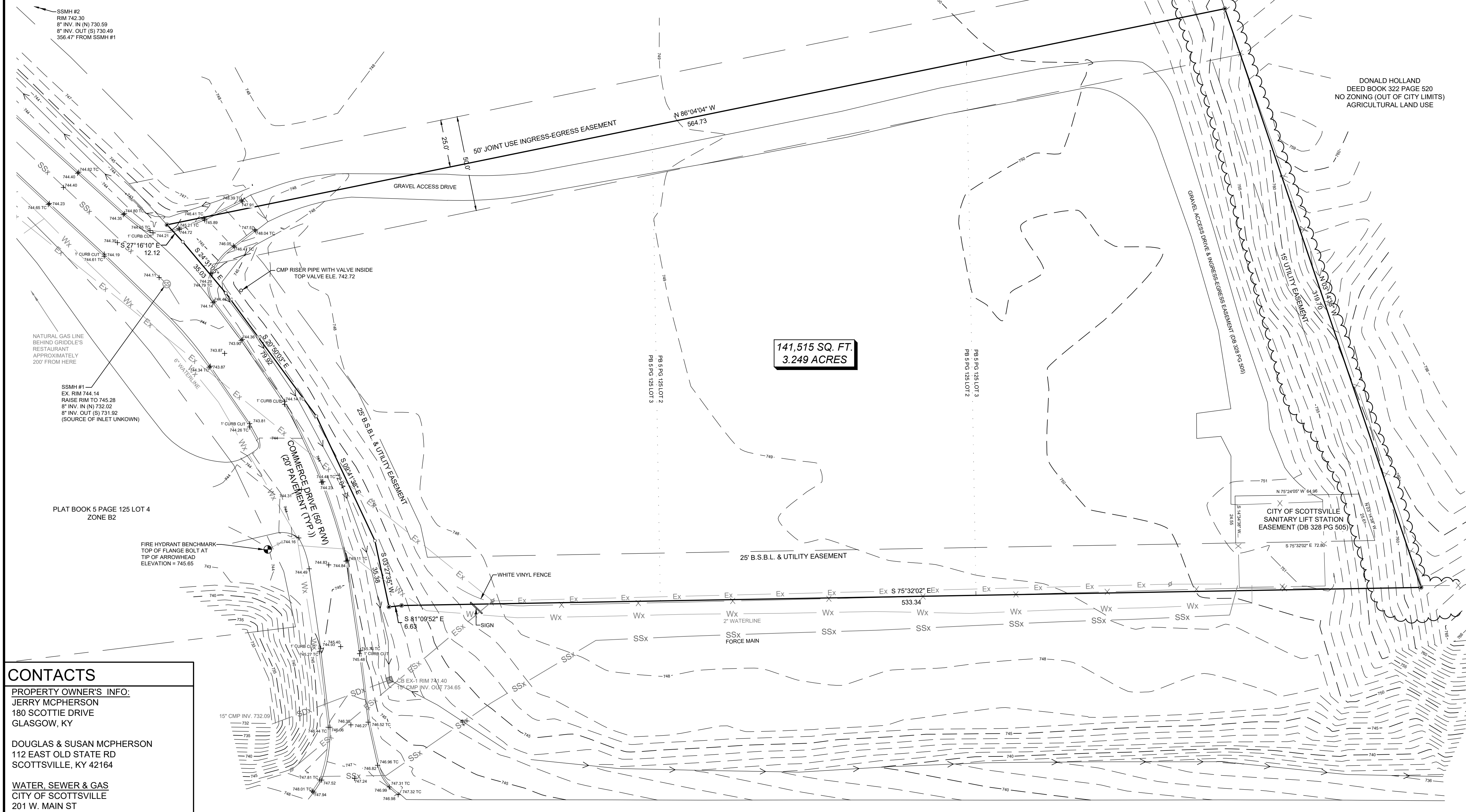
DATE	DESCRIPTION	MARK

**KENNER RANDOLPH**  
**ENGINEERING & SURVEYING**  
199 NORTH OWEN STREET  
RUSSELLVILLE, KY 42276  
270-717-1167

<b>SURVEYOR:</b> CRK	<b>CKD BY:</b> BSR	<b>FINAL SURVEY DATE:</b> 7/28/21	<b>CRD FILE:</b> 2107201E
<b>CLIENT ADDRESS:</b> NEWCOMB OIL 951 WITHROW COURT BARSTOWN, KY 40004	<b>FILE NAME:</b> 2107201E	<b>SIZE:</b> 24536	<b>DATE:</b> 7/28/21

**BOUNDARY & TOPOGRAPHIC SURVEY**  
FIVESTAR  
SW INTERSECTION VETERANS MEMORIAL HWY & COMMERCE DR.

SHEET IDENTIFICATION  
**C1.0**



**CONTACTS**

**PROPERTY OWNER'S INFO:**  
JERRY MCPHERSON  
180 SCOTTIE DRIVE  
GLASGOW, KY

DOUGLAS & SUSAN MCPHERSON  
112 EAST OLD STATE RD  
SCOTTSVILLE, KY 42164

**WATER, SEWER & GAS**  
CITY OF SCOTTSVILLE  
201 W. MAIN ST  
SCOTTSVILLE, KY 42164  
270-237-3831

**TELEPHONE & INTERNET**  
NORTH CENTRAL TELEPHONE COOP.  
1630 BOWLING GREEN RD  
SCOTTSVILLE, KY 42164

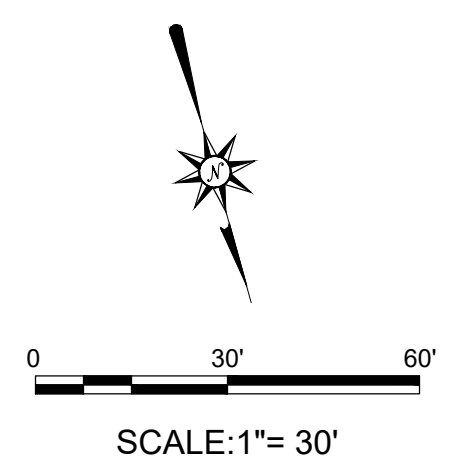
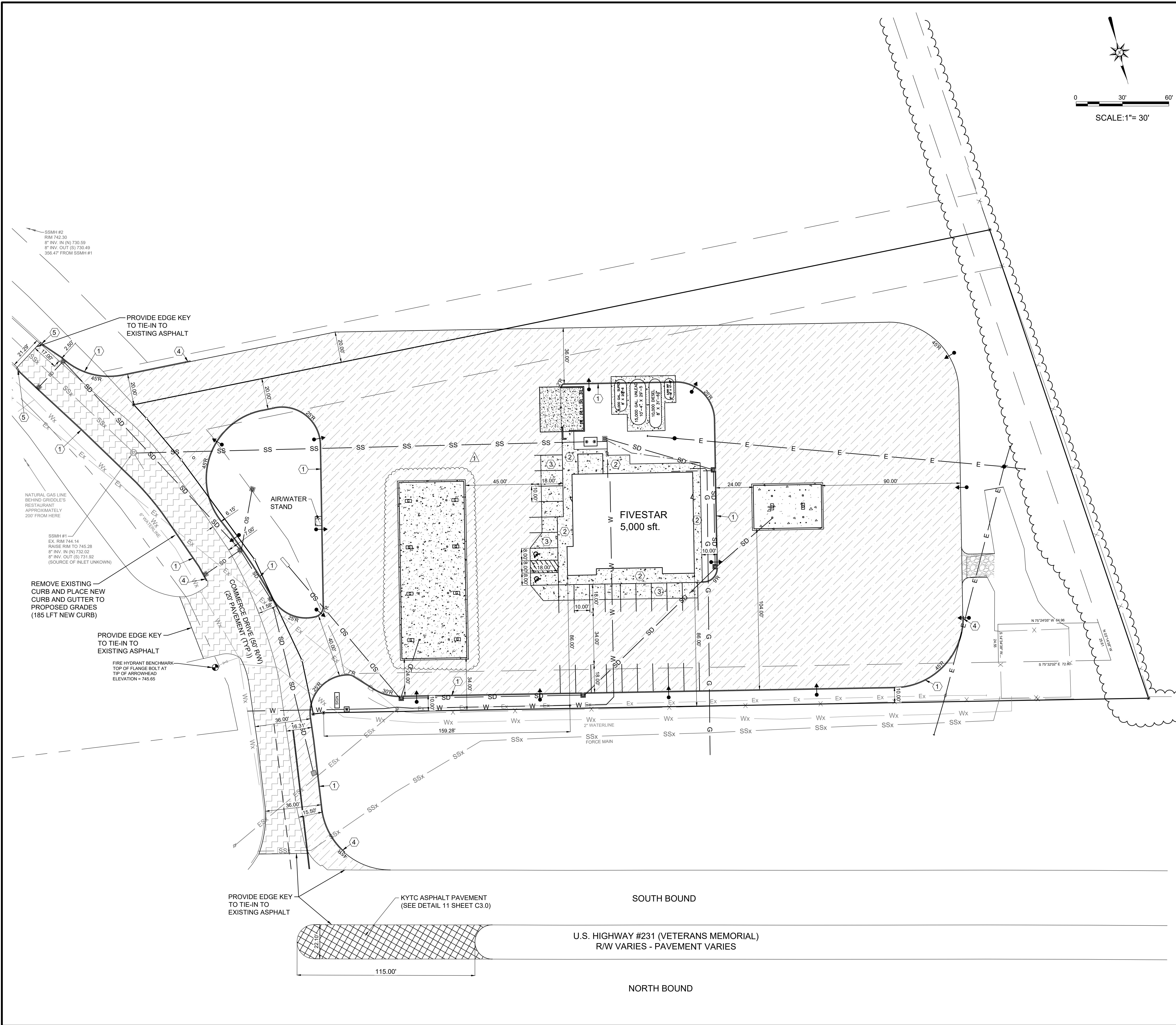
**FIRE DEPARTMENT**  
CHIEF MIKE COOKSEY  
270-237-4665

**FLOOD PLAIN INFO**

THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A FEMA SPECIAL FLOOD HAZARD AREA ACCORDING TO FIRM #21003C0140C WITH AN EFFECTIVE DATE OF 7/4/2011

SCOTTSVILLE - 9000

SCOTTSVILLE - 9000



**GENERAL NOTES:**

1. THE EXISTING UTILITIES SHOWN WERE FIELD SURVEYED FROM MARKINGS PROVIDED BY UTILITY COMPANIES AND ARE APPROXIMATE LOCATIONS. OTHER UTILITIES MAY EXIST ON THIS SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 AND LOCATING ALL UTILITIES BEFORE ANY EXCAVATION BEGINS.
2. MORE THAN 1 ACRE OF LAND SHOULD BE DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL SUBMIT AN NOI WITH THE STATE OF KENTUCKY PRIOR TO BEGINNING ANY GRADING WORK.
3. NO GRADING, STRIPPING, EXCAVATION, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNLESS AND UNTIL ALLEN COUNTY HAS APPROVED THE DEVELOPER'S SOIL EROSION CONTROL PROCEDURES AND EROSION CONTROL PLAN.
4. NO BUILDING PERMITS SHALL BE ISSUED UNTIL A FINAL DEVELOPMENT PLAN IS APPROVED BY THE PLANNING COMMISSION AND ALL CONDITIONS HAVE BEEN MET.
5. ALL CURB RADII ARE 5' TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

**SITE DATA**

1. CURRENT ZONING FOR THE LOT: B-2.
2. TOTAL LOT AREA IS 3.249 ACRES OR 141,515 SFT.
3. TOTAL DISTURBED AREA INCLUDING UTILITIES IS 129,900 SFT.
4. FRONT YARD BUILDING SETBACK IS 25'.
5. SIDE YARD BUILDING SETBACK IS 0'.
6. REAR YARD BUILDING SETBACK IS 0'.

**PARKING SPACE TABLE**

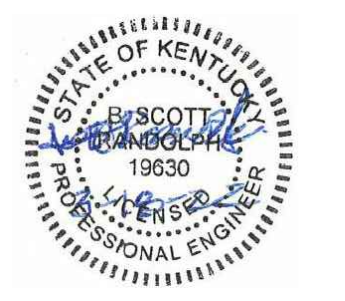
BUILDING SIZE	SPACES REQUIRED	SPACES PROVIDED
5,000 SFT.	17	46 INCLUDING 2 ADA SPACES.

**KEYNOTES**

1. 12" CURB AND GUTTER (SEE DETAIL 10 SHEET C3.0).
2. ALL CURB RADII SHALL BE 5' TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
3. TURNDOWN SIDEWALK (SEE DETAIL 9 SHEET C3.0).
4. BLACK CONCRETE SLAB.
5. TAPER CURB HEIGHT TO 0" OVER 3' DISTANCE.
6. TRANSITION TO MATCH EXISTING CURB OVER A 3' DISTANCE.

**LEGEND**

	BOUNDARY LINE THIS SURVEY
	APPROXIMATE ADJOINER OR R-O-W LINES
	EXISTING SETBACK LINES OR EASEMENTS
	EXISTING ROADWAY AS LABELED
	EXISTING FENCE
	EXISTING WATERLINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING PRIMARY OVERHEAD ELECTRIC
	EXISTING POWER POLE
	EXISTING SECONDARY OVERHEAD ELECTRIC
	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING DITCH CENTERLINE
	EXISTING STORM INLET
	PROPOSED SANITARY SEWER LINE
	PROPOSED GAS LINE
	PROPOSED OVERHEAD ELECTRIC
	PROPOSED WATERLINE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED STORM INLET
	PROPOSED LIGHT POLE
	PROPOSED POWER POLE
	PROPOSED CONCRETE PAVEMENT
	PROPOSED STANDARD ASPHALT PAVEMENT
	PROPOSED ASPHALT OVERLAY
	PROPOSED KYTC ASPHALT PAVEMENT
	PROPOSED GRAVEL PAVEMENT



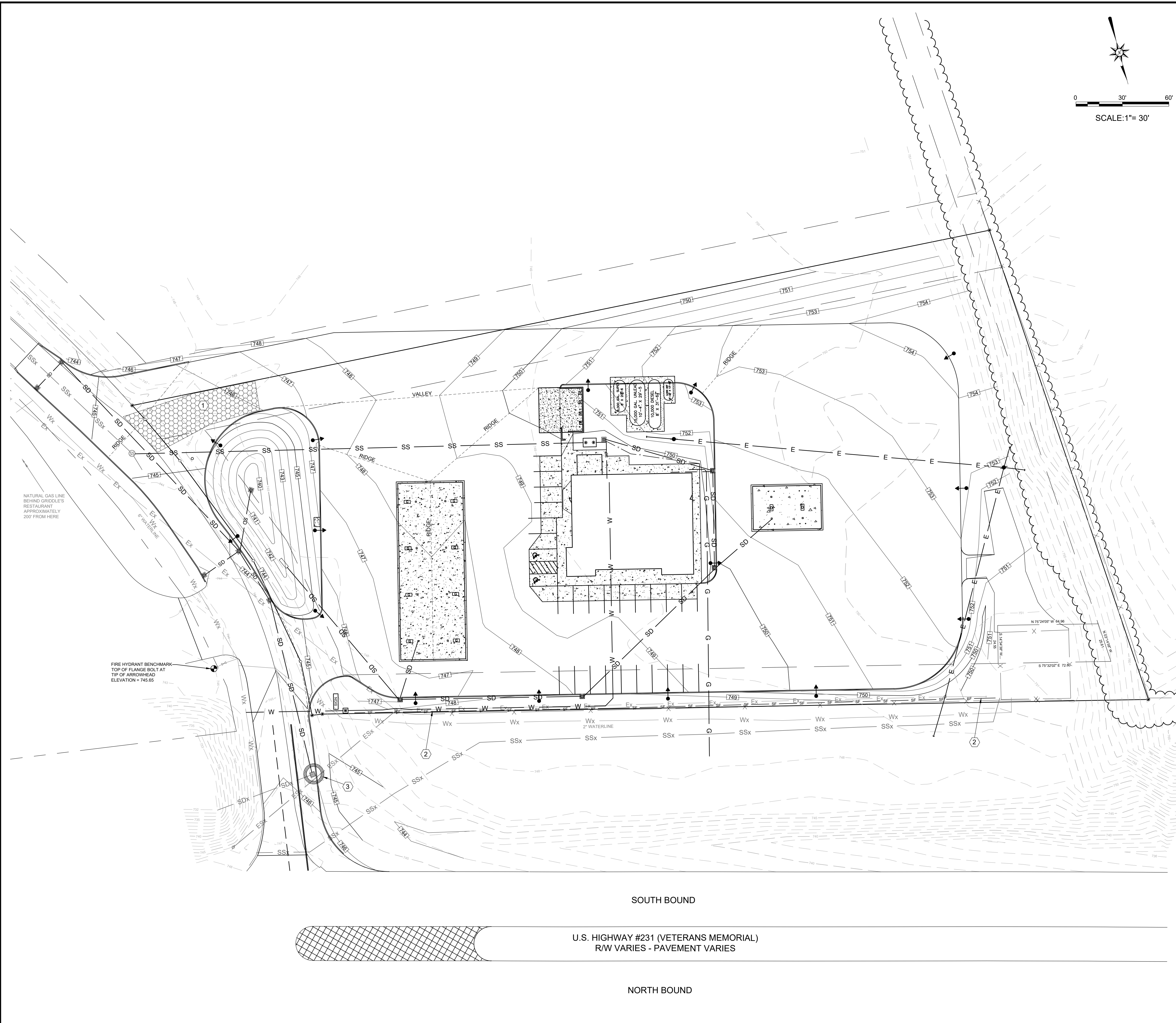
MARK	DESCRIPTION	DATE
△	MOVE GAS CANOPY	5-5-22

**KENNER RANDOLPH**  
**ENGINEERING & SURVEYING**  
 199 NORTH OWEN STREET  
 RUSSELLVILLE, KY 42276  
 270-717-1167

CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARSTOWN, KY 40004	ENGINEER: ESR	DRAWN BY: BSR	CKD BY: CRK	FINAL SURVEY DATE: 7/28/21	CRD FILE: 2107201E
				SIZE: 3/1822	FILE NAME: 24256

**SITE PLAN**  
 FIVESTAR  
 SW INTERSECTION VETERANS  
 MEMORIAL HWY & COMMERCE DR.

SHEET  
 IDENTIFICATION  
**C2.0**



**EROSION CONTROL NOTES:**

1. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF THE APPROPRIATE PERSONEL NEEDED TO CREATE AND MAINTAIN A BEST MANAGEMENT PRACTICES PLAN IN ACCORDANCE WITH KPDES STORMWATER GENERAL PERMIT KYR10 AND "KENTUCKY EROSION PREVENTION AND SEDIMENT CONTROL FIELD GUIDE."
2. EROSION CONTROL MEASURES NOTED AND SHOWN ARE THE MINIMUMS DEEMED NECESSARY TO PROTECT THE PUBLIC AND OFF-SITE PROPERTIES, AND DO NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR COMPLIANCE WITH ANY AND ALL U.S. EPA AND KENTUCKY DIVISION OF WATER REQUIREMENTS. ANY ADDITIONAL ITEMS REQUIRED BY THESE AND/OR LOCAL GOVERNING AUTHORITIES SHALL BE PROVIDED AT NO COST TO THE OWNER.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL PRACTICES, PERMIT DOCUMENTS, AND INSPECTION RECORDS REQUIRED TO COMPLY WITH THE NOI AND THE CONDITIONS OF THE GENERAL KPDES PERMIT, AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
4. ANY REQUIRED ALTERATIONS OR REVISIONS TO THE EROSION CONTROL PLANS BASED UPON RESULTS OF PERIODIC INSPECTIONS, CONTRACTOR ACTIONS, AND/OR OWNER/AGENCY DIRECTIONS SHALL BE IMPLEMENTED WITHIN 7 DAYS OF DISCOVERY, AND WRITTEN DOCUMENTATION OF SUCH ALTERATIONS/REVISIONS SHALL BE KEPT ON FILE BY THE CONTRACTOR.
5. ALL AREAS DISTURBED BY GRADING THAT ARE NOT STABILIZED WITH OTHER METHODS FOR A PERIOD OF 14 DAYS SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED.
6. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
7. REMOVE ALL EROSION CONTROL DEVICES UPON THE ESTABLISHMENT OF PERMANENT GROUND COVER.
8. PROVIDE TEMPORARY SEEDING AS NEEDED IN ACCORDANCE WITH "KENTUCKY EROSION PREVENTION AND SEDIMENT CONTROL FIELD GUIDE."
9. ALL PAINT, SOLVENT, PETROLEUM PRODUCTS (FUEL, LUBE OILS, GREASE AND CUTTING OILS) AND PETROLEUM WASTE PRODUCTS SHALL BE STORED IN CONTAINERS (SUCH AS DRUMS, CANS, OR CARTONS) SO THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION CONTROL, AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENTS SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND ALSO PREVENT CONTAMINATION OF GROUNDWATER.
10. DO NOT STORE CHEMICALS, DRUMS, AND BAGGED MATERIAL DIRECTLY ON THE GROUND. USE SECONDARY CONTAINMENT OR USE WOODEN PALLETS. PROVIDE SPILL CONTAINMENT DIKES AROUND CHEMICAL AND FUEL STORAGE TANKS. LINE WITH PLASTIC FILM TO PREVENT SOIL CONTAMINATION. STORE HAZARDOUS WASTES IN AN APPROPRIATE TYPE OF CONTAINER AND PROPERLY LABELED PER EPA, OSHA AND DOT REQUIREMENTS.
11. ONSITE TRASH SHOULD BE COLLECTED AND DISPOSED OF ON A REGULAR BASIS. SANITARY SYSTEMS SHOULD BE REGULARLY SERVICED. REPAIR TRASH CONTAINERS AND DUMPSTERS ON AN AS NEEDED BASIS. WHERE POSSIBLE PROVIDE COVER FOR WASTE CONTAINERS TO PREVENT THE ENTRY OF RAINWATER AND LOSS OF CONTENTS BY WIND. MAINTAIN A CONTINGENCY PLAN IN THE CASE THAT HAZARDOUS OR TOXIC MATERIALS ARE DISCOVERED.
12. MAINTAIN WASTE FLUID CONTAINERS IN LEAK PROOF CONDITION. VEHICLES AND EQUIPMENT SHOULD BE INSPECTED ON EACH DAY OF USE. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE PROBLEM VEHICLE(S) OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE.

**SEQUENCE OF SWPPP CONSTRUCTION:**

1. BEFORE ANY LAND DISTURBANCE OCCURS, A NOTICE-OF-INTENT (NOI) SHALL BE FILED WITH THE STATE OF KENTUCKY DIVISION OF WATER.
2. BEFORE ANY LAND DISTURBANCE OCCURS, SILT FENCING SHALL BE INSTALLED AS SHOWN, THE CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED, AND INLET PROTECTION SHALL BE INSTALLED AROUND CB EX-1.
3. ONCE ALL TEMPORARY EROSION CONTROL ITEMS ARE REMOVED AND PERMANENT GROUND COVER IS ESTABLISHED, A NOTICE-OF-TERMINATION SHALL BE SUBMITTED TO THE KENTUCKY DIVISION OF WATER.

DISTURBED AREA = 129,900 SFT

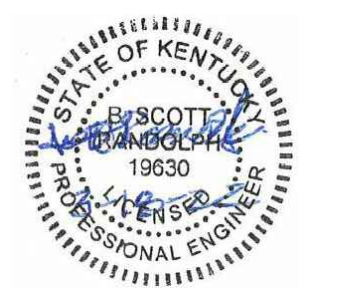
**KEY NOTES:**

1. CONSTRUCTION ENTRANCE. SEE DETAIL 1 SHEET C3.1.
2. PROPOSED SILT FENCE. SEE DETAIL 2 SHEET C3.1.
3. INLET PROTECTION. SEE DETAIL 3 SHEET C3.1.

SEE EROSION CONTROL NOTES THIS SHEET.

**LEGEND**

	EXISTING BOUNDARY LINE
	EXISTING ADJOINER LINES
	EXISTING DITCH
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PROPOSED SILT FENCE



MARK	DESCRIPTION	DATE

**KENNER RANDOLPH**  
**ENGINEERING & SURVEYING**  
 199 NORTH OWEN STREET  
 RUSSELLVILLE, KY 42276  
 270-717-1167

ENGINEER: ESR	CKD BY: CRK	CRD DATE: 7/28/21	FILE NAME: 2107201E
DWN BY: ESR	FINAL SURVEY DATE: 7/28/21	CRD FILE: 3-1822	FILE SIZE: 24286
CLIENT ADDRESS: NEWCOMB OIL 861 WITHROW COURT BARSTOWN, KY 40004			

**EROSION CONTROL PLAN**  
 FIVESTAR  
 SW INTERSECTION VETERANS  
 MEMORIAL HWY & COMMERCE DR.

SHEET  
 IDENTIFICATION  
**C2.1**

**STORM STRUCTURE TABLE**

FROM		TO		PIPE LENGTH	SLOPE	DIAMETER	TYPE
CODE	INV. EL.	CODE	INV. EL.				
CB A1	746.10	CB A2	745.39	71 FT	1.00%	15-IN	HDPE N-12
CB A2	745.39	CB A3	744.78	61 FT	1.00%	15-IN	HDPE N-12
CB A3	744.78	CB A4	743.60	118 FT	1.00%	15-IN	HDPE N-12
CB A4	743.60	CB A5	742.44	116 FT	1.00%	15-IN	HDPE N-12
CB A5	742.44	HW A6	741.32	N/A	1.00%	15-IN	HDPE N-12
CB B1	739.00	CB B2	738.62	38 FT	1.00%	15-IN	HDPE N-12
CB B2	738.62	CB B3	738.26	36 FT	1.00%	15-IN	HDPE N-12
CB B3	738.26	CB EX 1 <sup>2</sup>	737.12	114 FT	1.00%	15-IN	HDPE N-12
CB B5	740.48	CB B4	740.27	21 FT	1.00%	15-IN	HDPE N-12
CB B4	740.27	CB B2	738.62	165 FT	1.00%	15-IN	HDPE N-12
CB B6	738.88	CB B2	738.62	26 FT	1.00%	15-IN	HDPE N-12
RD1 <sup>1</sup>	749.20	CB A3	747.88	N/A	2.75%	8-IN	PVC SCH. 40
RD2 <sup>1</sup>	745.36	CB A5	744.47	N/A	2.34%	8-IN	PVC SCH. 40

CB = CATCH BASINS SHALL BE 24" X 24" CONCRETE BOXES WITH JOHN BOUCHARD AND SONS 26" GRATE OR EQUIVALENT.  
 CB B1 IS AN OUTLET CONTROL STRUCTURE. SEE DETAIL 7 SHEET C3.1  
 \*NOTE: BY OTHERS - SHOWN FOR REFERENCE ONLY.  
 \*NOTE: RAISE EXISTING CB RIM FROM ELEV. 741.40 TO ELEV. 745.63. CORE NEW HOLE TO RECEIVE NEW 15-IN HDPE PIPE. CONNECTION SHALL BE WATER-TIGHT.

**GENERAL NOTES:**

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- MORE THAN 1 ACRE OF LAND SHOULD BE DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL SUBMIT AN NOI WITH THE STATE OF KENTUCKY PRIOR TO BEGINNING ANY GRADING WORK. DISTURBED AREA INCLUDING UTILITIES IS 2.98 ACRES OR 129,900 SFT.
- NO GRADING, STRIPPING, EXCAVATION, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNLESS AND UNTIL ALLEN COUNTY HAS APPROVED THE DEVELOPER'S SOIL EROSION CONTROL PROCEDURES AND EROSION CONTROL PLAN.
- NO BUILDING PERMITS SHALL BE ISSUED UNTIL A FINAL DEVELOPMENT PLAN IS APPROVED BY THE PLANNING COMMISSION AND ALL CONDITIONS HAVE BEEN MET.
- ALL DISTURBED AREAS THAT ARE NOT PAVED, LANDSCAPED, OR OTHERWISE PROVIDED WITH PERMANENT GROUND COVER SHALL BE SEEDED AND MULCHED OR SODDED AS SOON AS PRACTICAL TO PREVENT SOIL EROSION.

**STORM WATER RUNOFF CALCULATION SUMMARY**

METHOD OF STORM WATER CALCULATIONS:  
 SCS Method. 24 Hr Design Storms: 1, 2, 5, 10, 25, 50 and 100 Year

<b>PRE-DEVELOPMENT</b>	<b>POST-DEVELOPMENT BEFORE DETENTION</b>
Total Drainage Area = 3.25 Acres	Total Drainage Area = 3.25 Acres
Cn = 82, Tc = 17.1 min.	Cn = 87 Tc = 14.4 min.

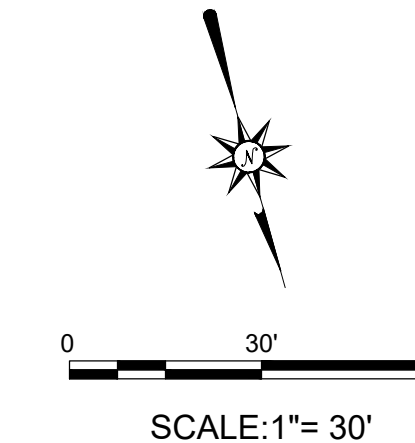
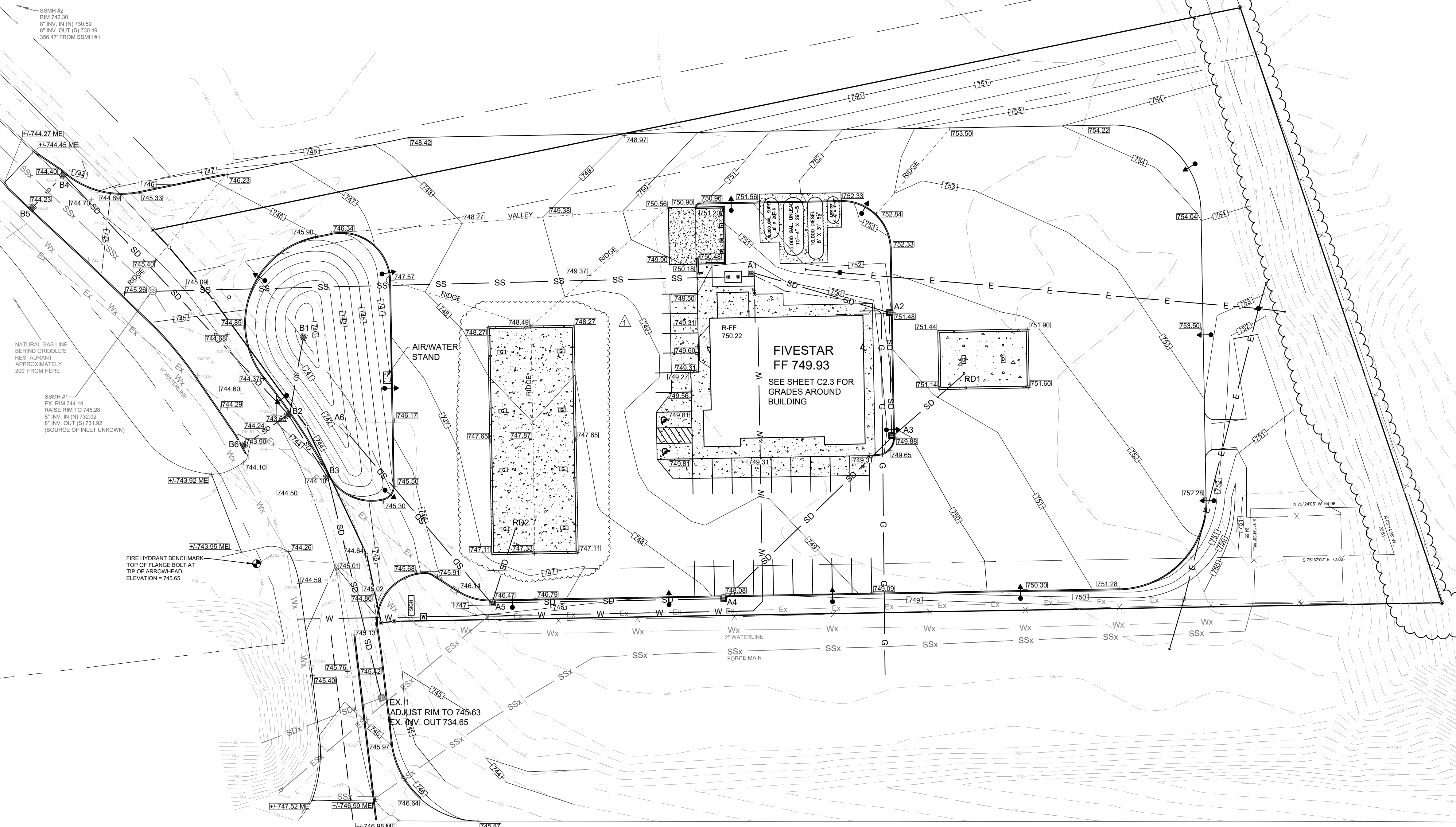
PEAK DISCHARGE		PEAK DISCHARGE	
Year	Q(cfs)	Year	Q(cfs)
1	5.23	1	7.23
2	7.03	2	9.31
5	9.60	5	12.20
10	11.85	10	14.69
25	15.23	25	18.39
50	18.12	50	21.52
100	21.30	100	24.94

POST-DEVELOPMENT ROUTED THRU BASIN  
 Bottom El. = 739.00, Top El. 745.00  
 Storage Volume = 12,523 cft

PEAK DISCHARGE & ELEVATION

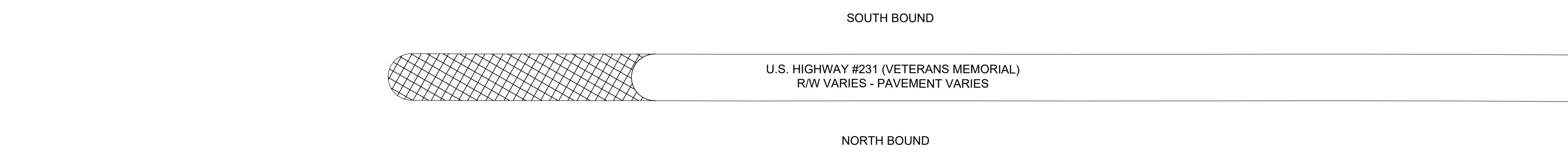
Year	Q(cfs)	Peak El.
1	5.05	741.98
2	6.76	742.42
5	8.99	742.94
10	10.10	743.32
25	11.61	743.95
50	15.50	744.26
100	20.39	744.45

OUTLET STRUCTURE:  
 15" HDPE N-12 Culvert @ I.E. 739.00  
 11"Ø Orifice @ I.E. 739.00  
 6" x 18" Orifice @ I.E. 742.00  
 Rim Grate @ I.E. 742.50  
 Emergency Spillway @ Elev. 744.00



**LEGEND**

- BOUNDARY LINE THIS SURVEY
- APPROXIMATE ADJOINER OR R-O-W LINES
- EXISTING SETBACK LINES OR EASEMENTS
- EXISTING ROADWAY AS LABELED
- X X EXISTING FENCE
- Wx Wx EXISTING WATERLINE
- SSx SSx EXISTING SANITARY SEWER LINE
- Ex Ex EXISTING PRIMARY SEWER MANHOLE
- ESx ESx EXISTING PRIMARY OVERHEAD ELECTRIC
- Gx Gx EXISTING POWER POLE
- SDx SDx EXISTING SECONDARY OVERHEAD ELECTRIC
- EXISTING STORM SEWER
- EXISTING DITCH CENTERLINE
- EXISTING STORM INLET
- +7XX.XX EXISTING SPOT ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- +7XX.XX PROPOSED SPOT ELEVATION
- PROPOSED SANITARY SEWER LINE
- PROPOSED GAS LINE
- PROPOSED OVERHEAD ELECTRIC
- PROPOSED WATERLINE
- PROPOSED STORM INLET
- PROPOSED LIGHT POLE
- PROPOSED POWER POLE



MARK	MOVE GAS CANOPY	DESCRIPTION	DATE
△			5-5-22

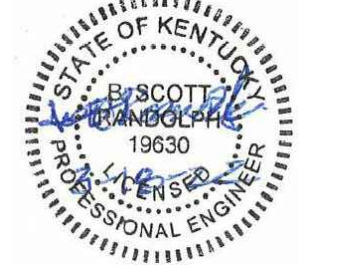
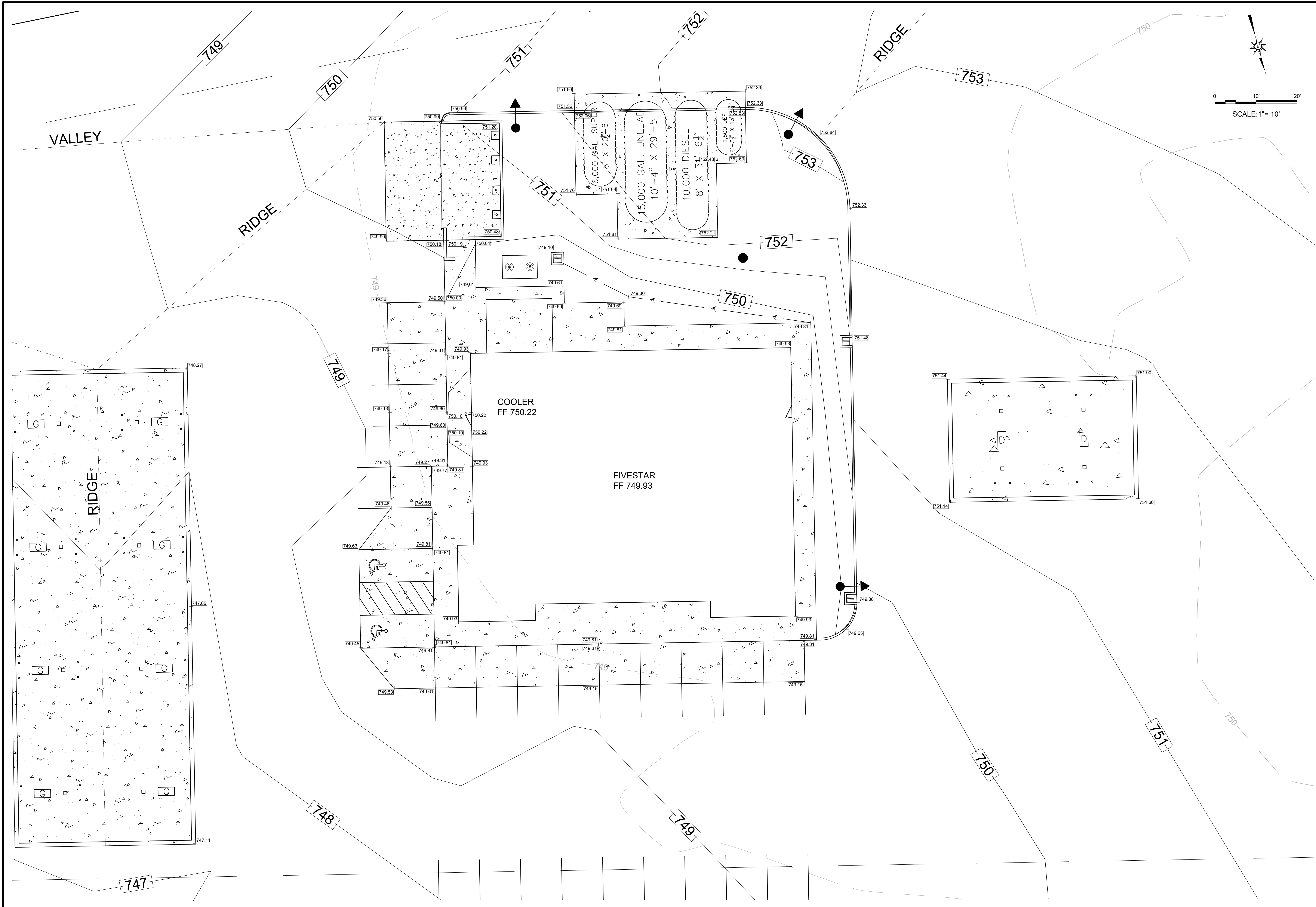
**KENNER RANDOLPH**  
**ENGINEERING & SURVEYING**  
 199 NORTH OWEN STREET  
 RUSSELLVILLE, KY 42276  
 270-717-1167

CLIENT ADDRESS:  
 NEWCOMB OIL  
 951 WITHROW COURT  
 BARDSTOWN, KY 40004

ENGINEER:  
 ESR  
 DWN BY:  
 ESR  
 CKD BY:  
 CRK  
 FINAL SURVEY DATE:  
 7/28/21  
 PLOT DATE:  
 3/18/22  
 CRD FILE:  
 2107201E  
 FILE NAME:  
 24286

**GRADING PLAN**  
 FIVESTAR  
 SW INTERSECTION VETERANS  
 MEMORIAL HWY & COMMERCE DR.

SHEET  
 IDENTIFICATION  
**C2.2**



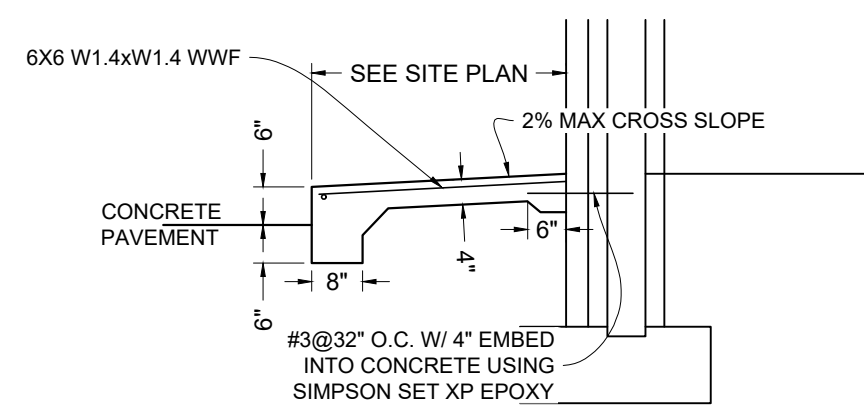
MARK	DESCRIPTION	DATE

**KENNER RANDOLPH**  
**ENGINEERING & SURVEYING**  
 199 NORTH OWEN STREET  
 RUSSELLVILLE, KY 42276  
 270-717-1167

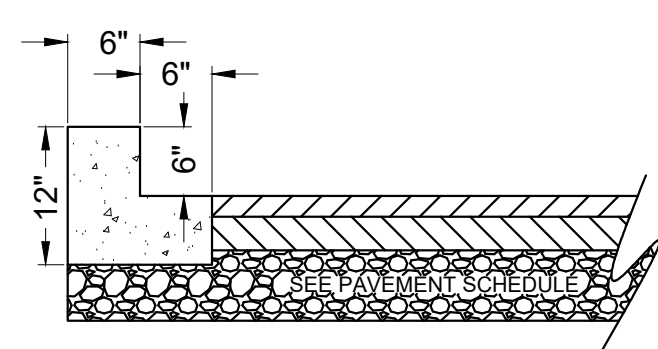
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				<b>PLOT DATE:</b> 3/18/22	<b>FILE NAME:</b> 2107201E
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**ENLARGED GRADING PLAN**  
 FIVESTAR  
 SW INTERSECTION VETERANS  
 MEMORIAL HWY & COMMERCE DR.

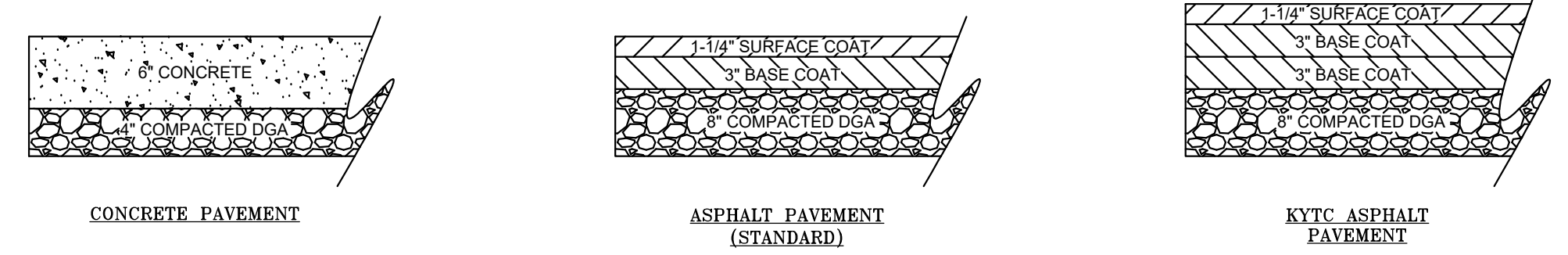
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 IDENTIFICATION  
**C2.3**



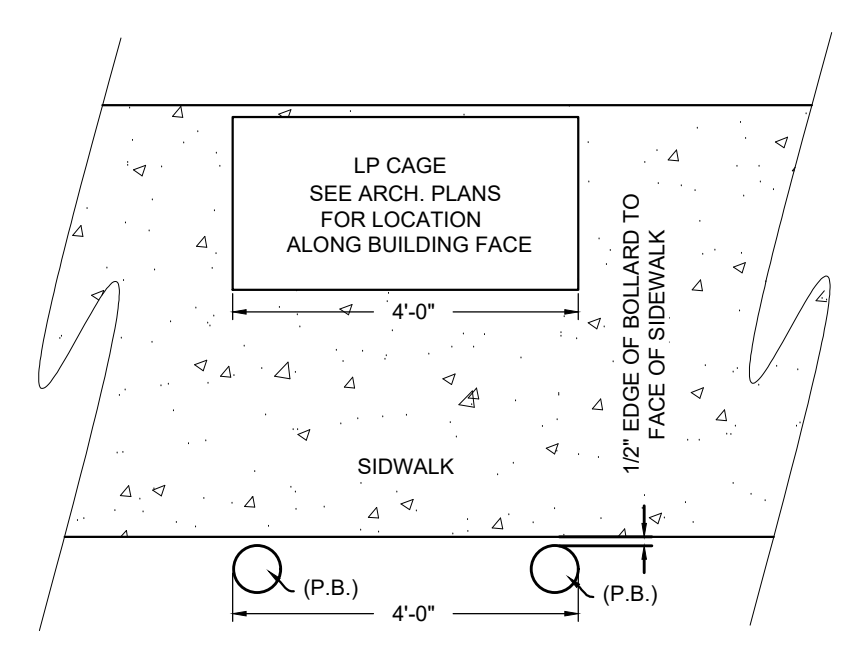
9 TURNDOWN SIDEWALK DETAIL  
3.0 N.T.S.



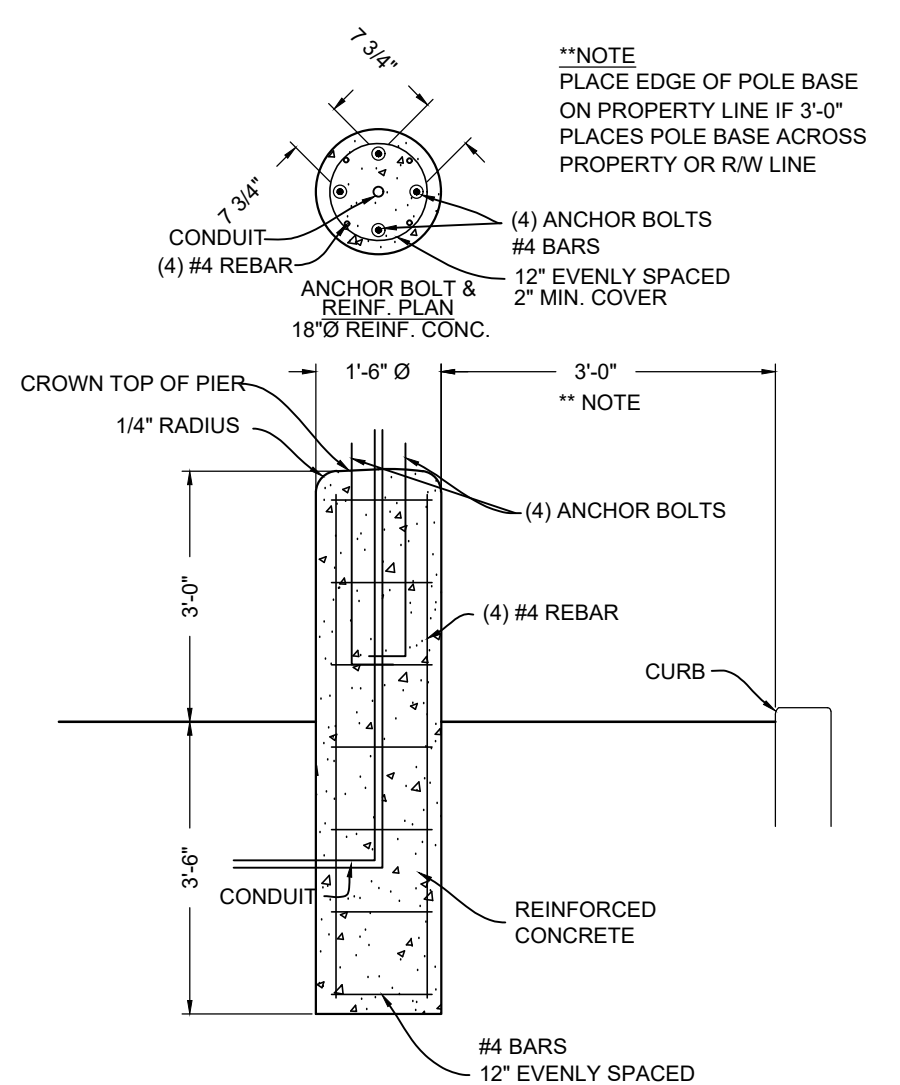
10 CURB DETAIL  
3.0 N.T.S.



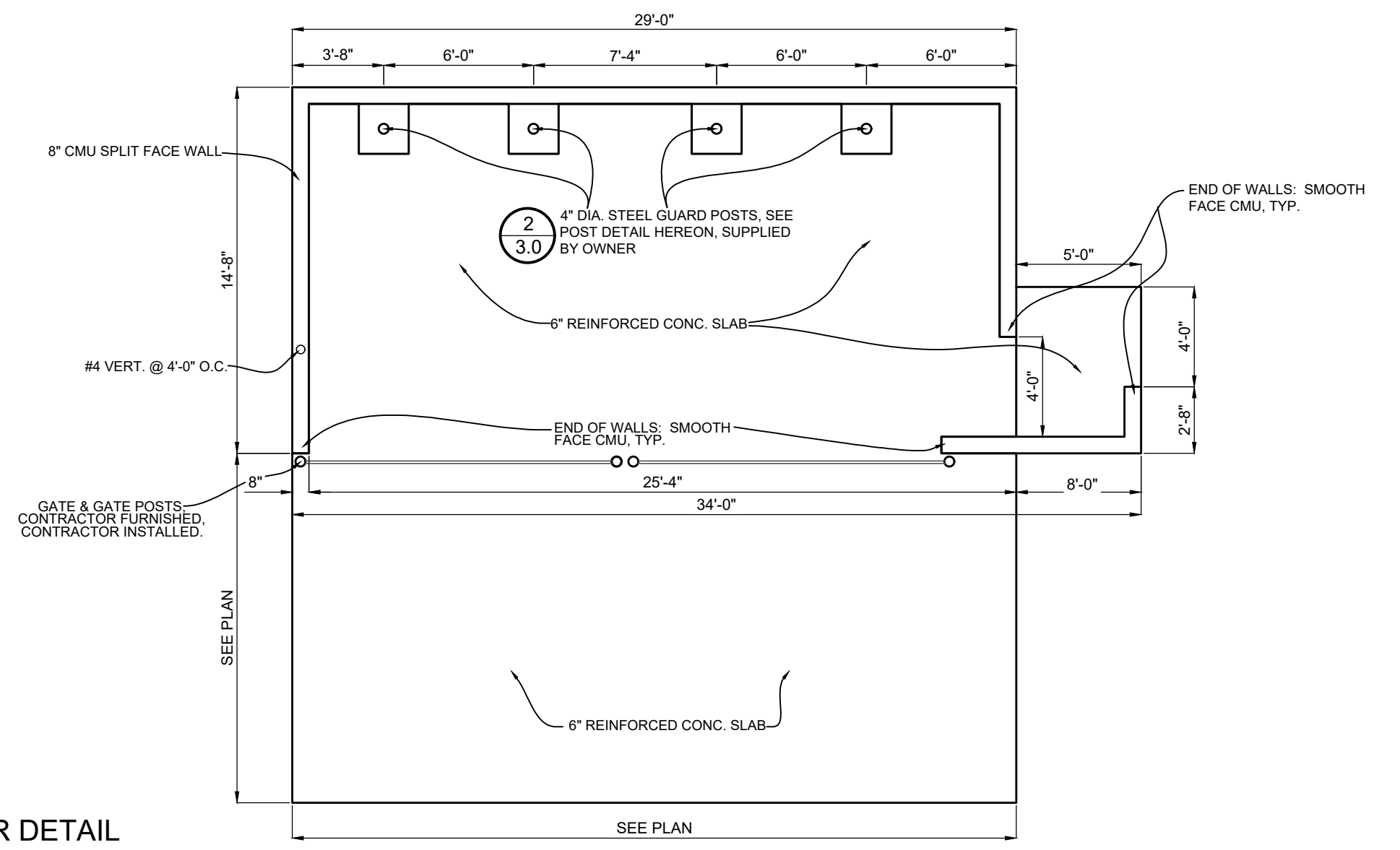
11 PAVEMENT DETAIL  
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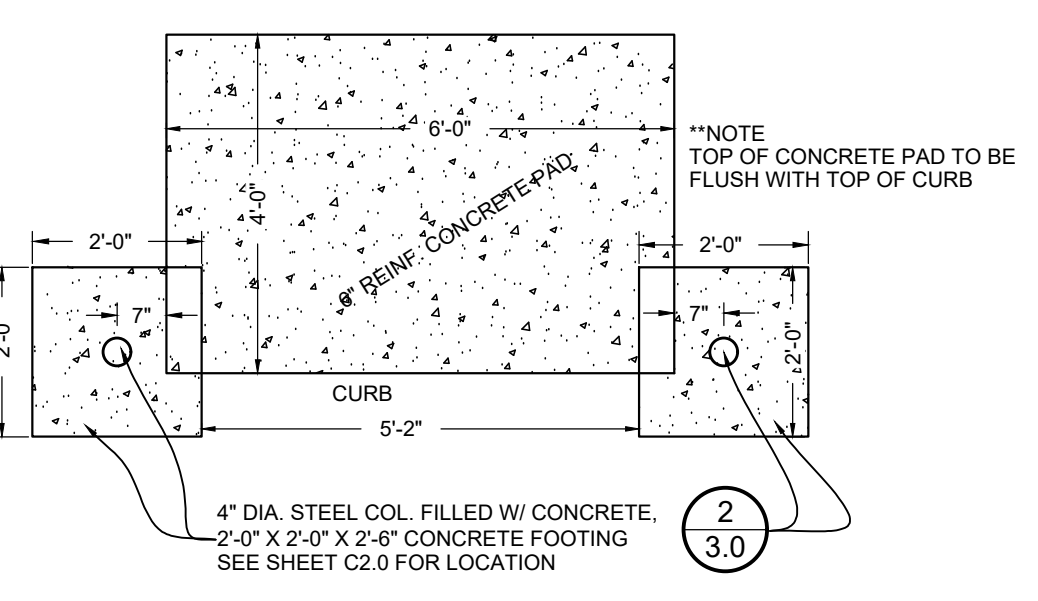
6 LP CAGE DETAIL  
3.0 N.T.S.



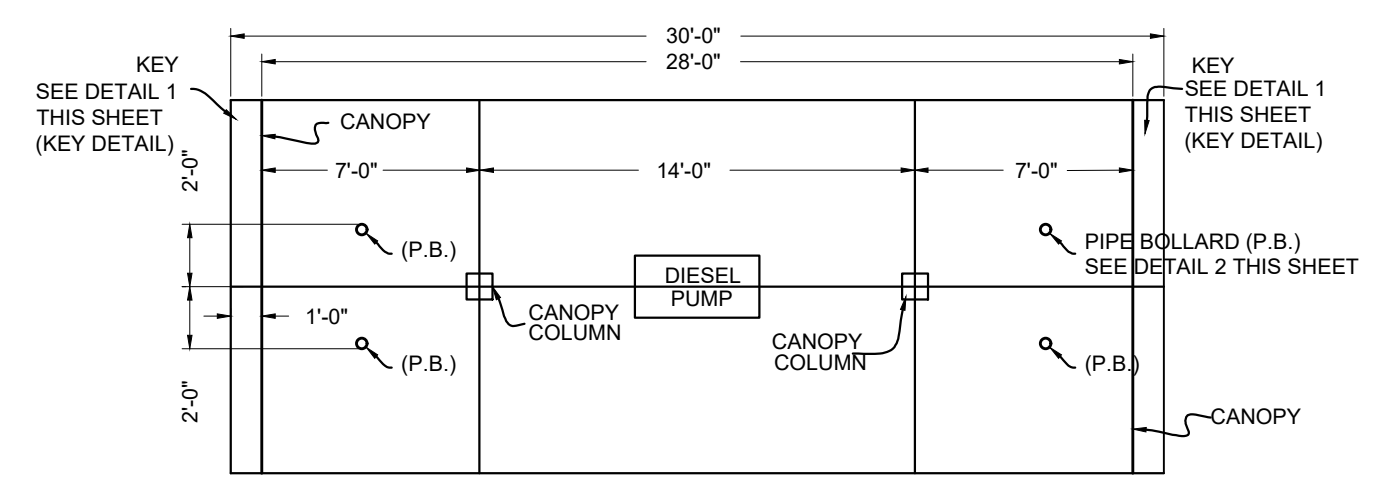
7 LIGHT POLE BASE DETAIL  
3.0 N.T.S.



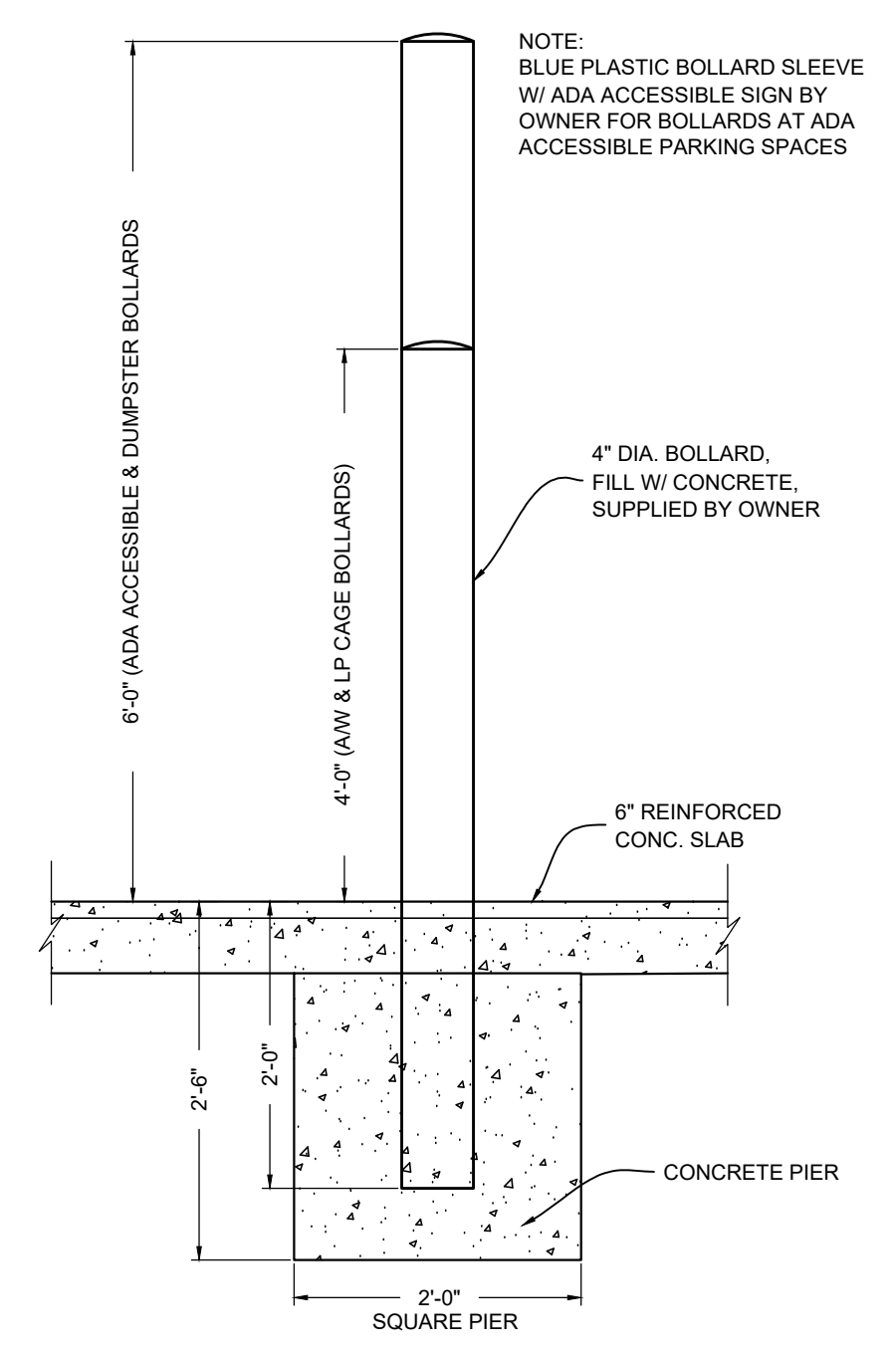
8 DUMPSTER DETAIL  
3.0 N.T.S.



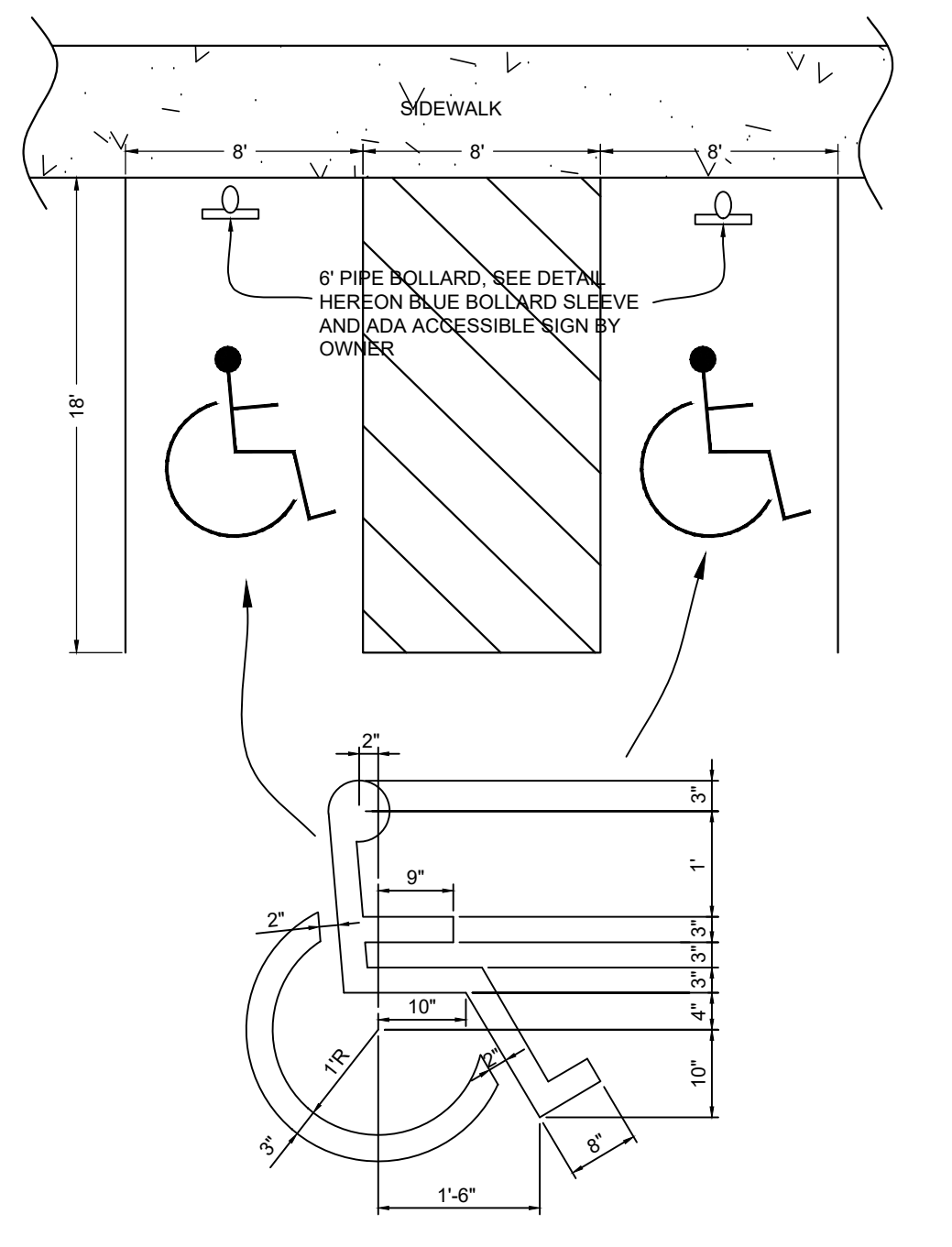
4 AIR & WATER CONC. PAD  
3.0 N.T.S.



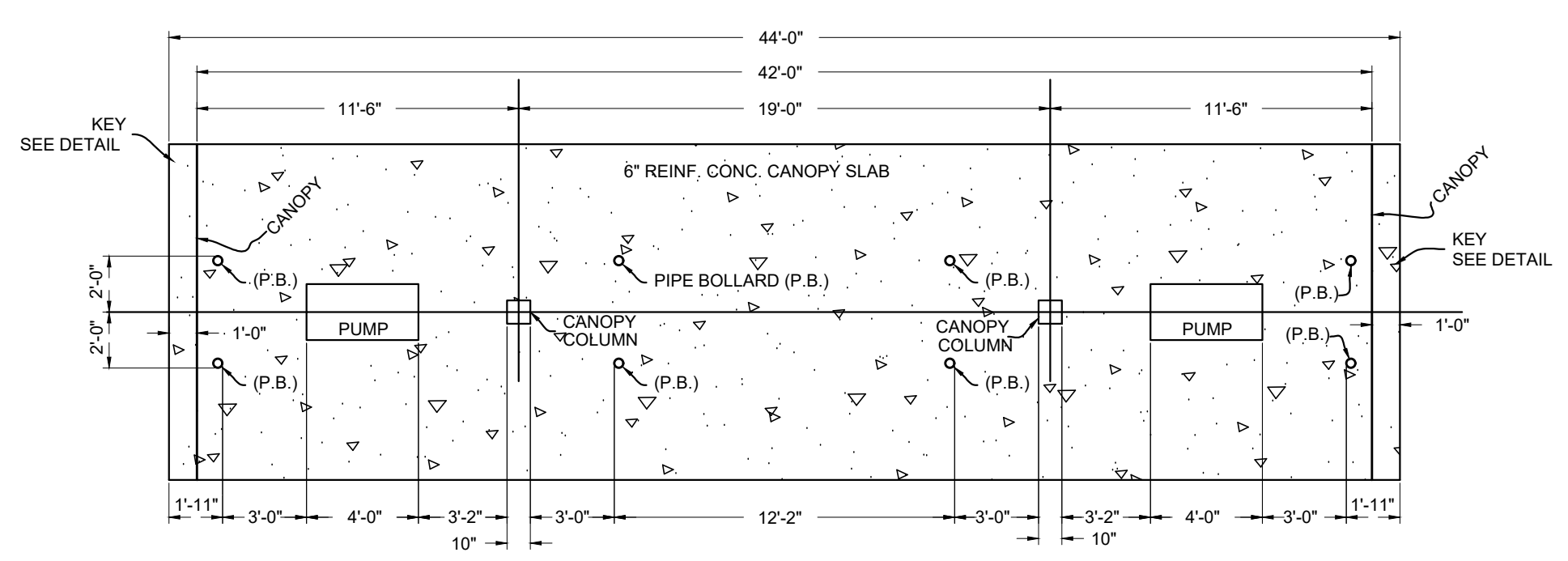
5 DIESEL PUMP ISLAND PLAN SECTION  
3.0 N.T.S.



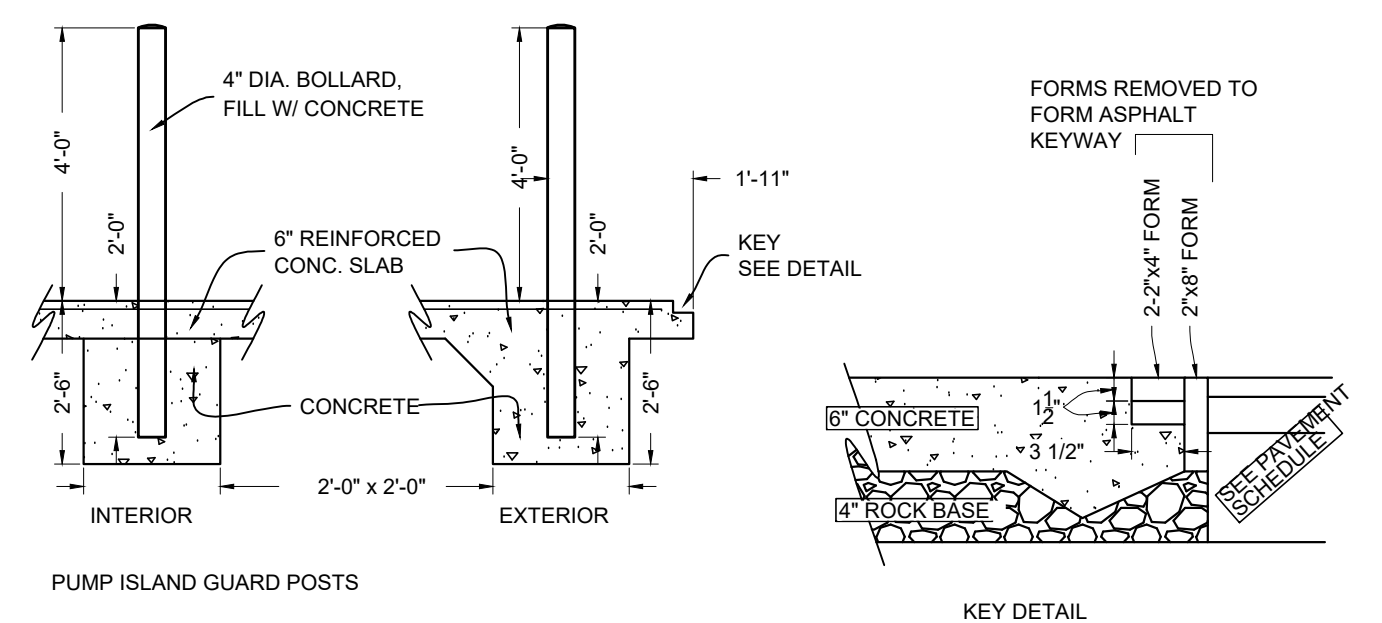
2 PIPE BOLLARD DETAIL  
3.0 N.T.S.



3 ADA ACCESSIBLE SPACE DETAIL  
3.0 N.T.S.



1 PUMP ISLAND PLAN SECTION  
3.0 N.T.S.



PUMP ISLAND GUARD POSTS  
KEY DETAIL

MARK	DESCRIPTION	DATE

**KENNER RANDOLPH  
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270-717-1167

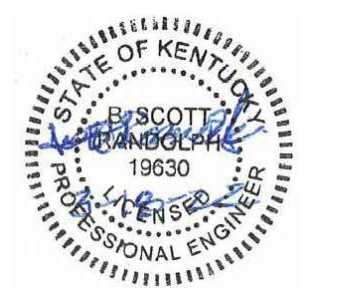
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DWN BY: CRK	FILE NAME: 2107201E	
CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARDSTOWN, KY 40004	PLOT DATE: 3-18-2022	SIZE: 24x36

**DETAILS**  
FIVESTAR  
SW INTERSECTION VETERANS  
MEMORIAL HWY & COMMERCE DR.

SHEET  
IDENTIFICATION  
**C3.0**

SCOTTSDALE - 9000

SCOTTSDALE - 9000



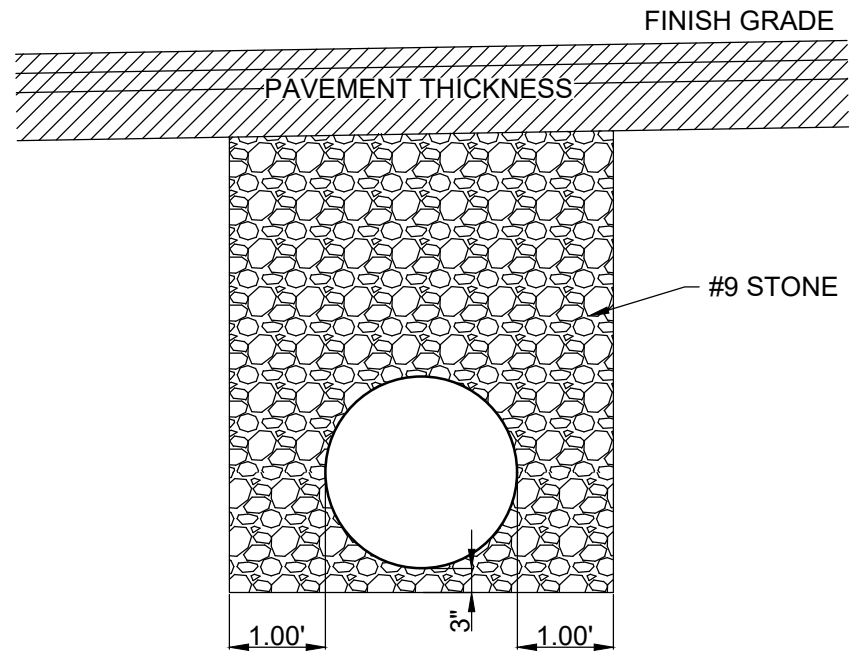
MARK	DESCRIPTION	DATE

**KENNER RANDOLPH**  
**ENGINEERING & SURVEYING**  
 199 NORTH OWEN STREET  
 RUSSELLVILLE, KY 42276  
 270-717-1167

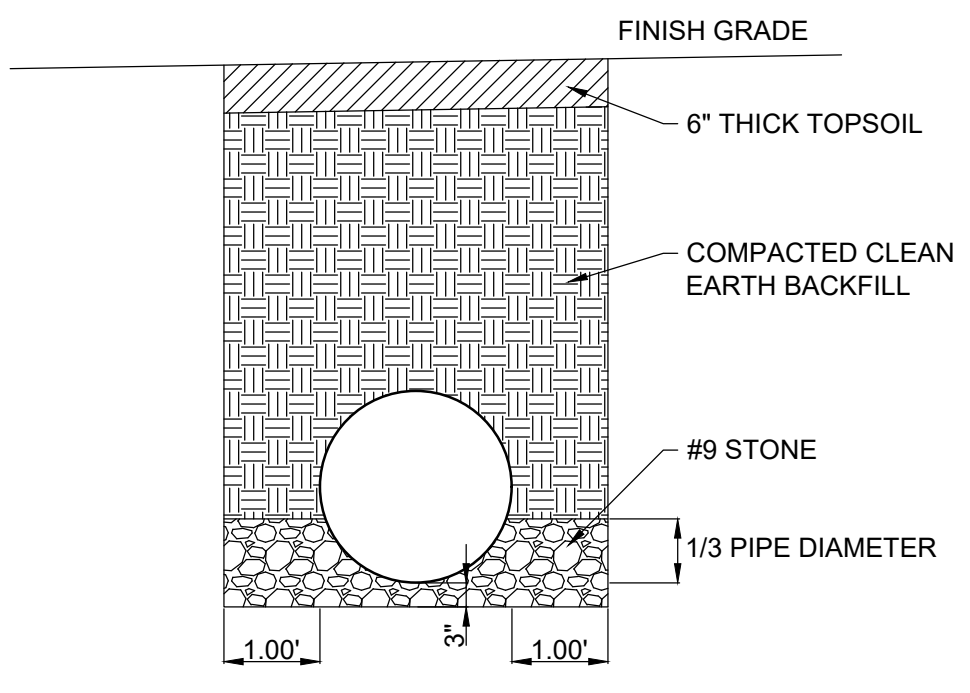
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DWN BY: ESR	FILE NAME: 2426B	PLOT DATE: 3-18-2022
CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARDSTOWN, KY 40004		

**DETAILS**  
 FIVESTAR  
 SW INTERSECTION VETERANS  
 MEMORIAL HWY & COMMERCE DR.

SHEET IDENTIFICATION  
**C3.1**



PAVED AREAS

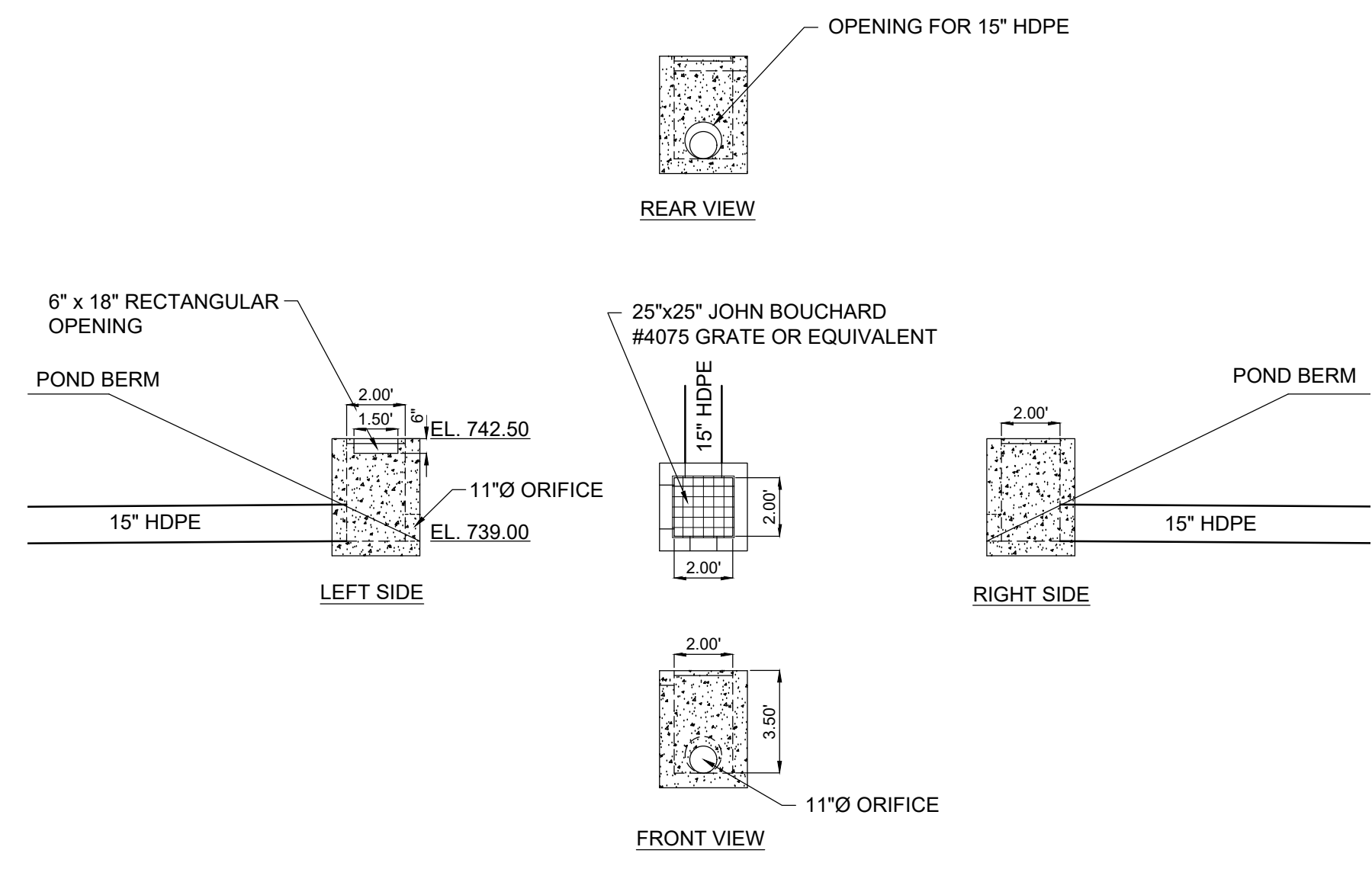


GRASSED AREAS

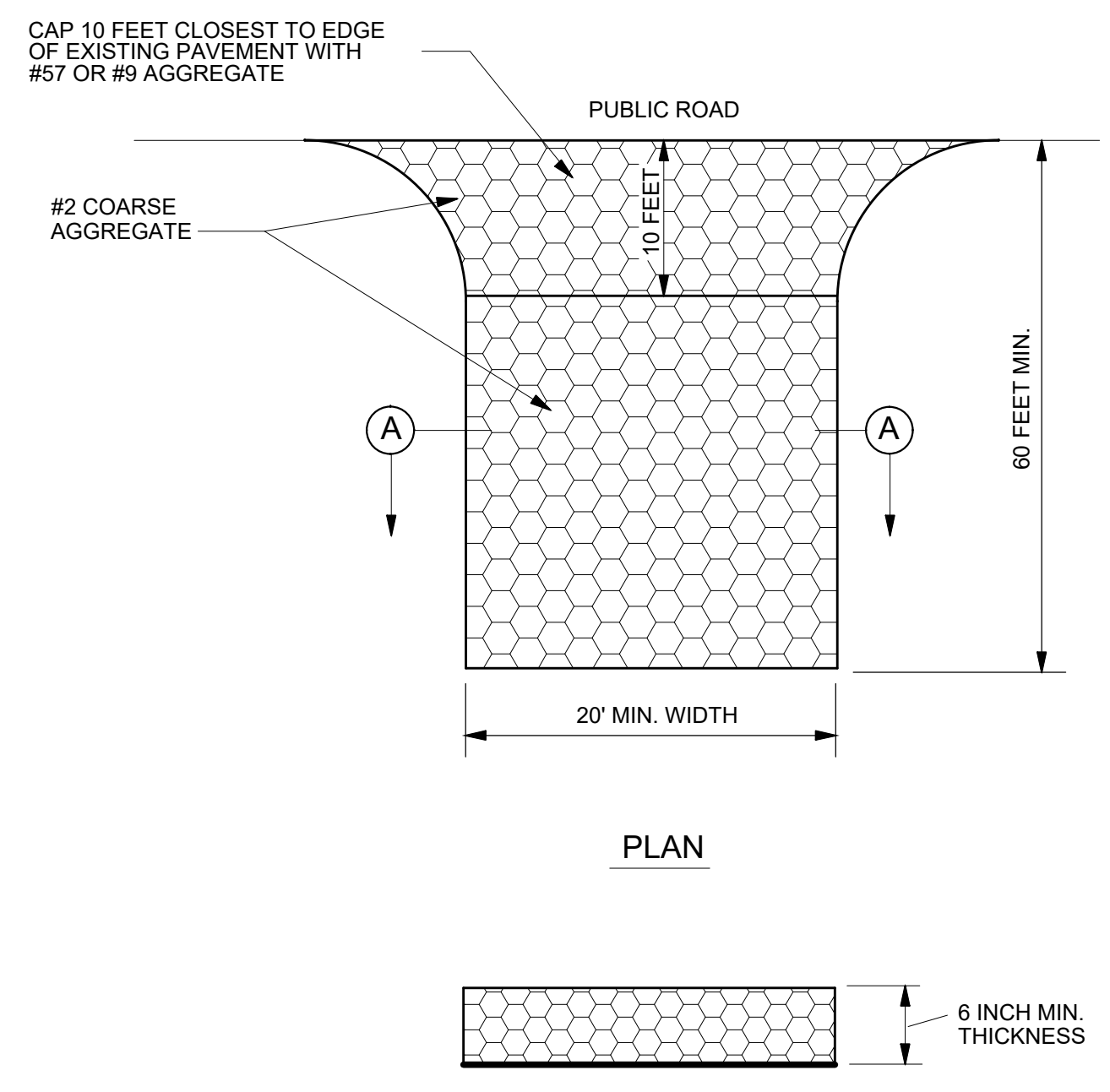
5 PIPE BEDDING DETAIL  
 SCALE: NTS

NOT USED

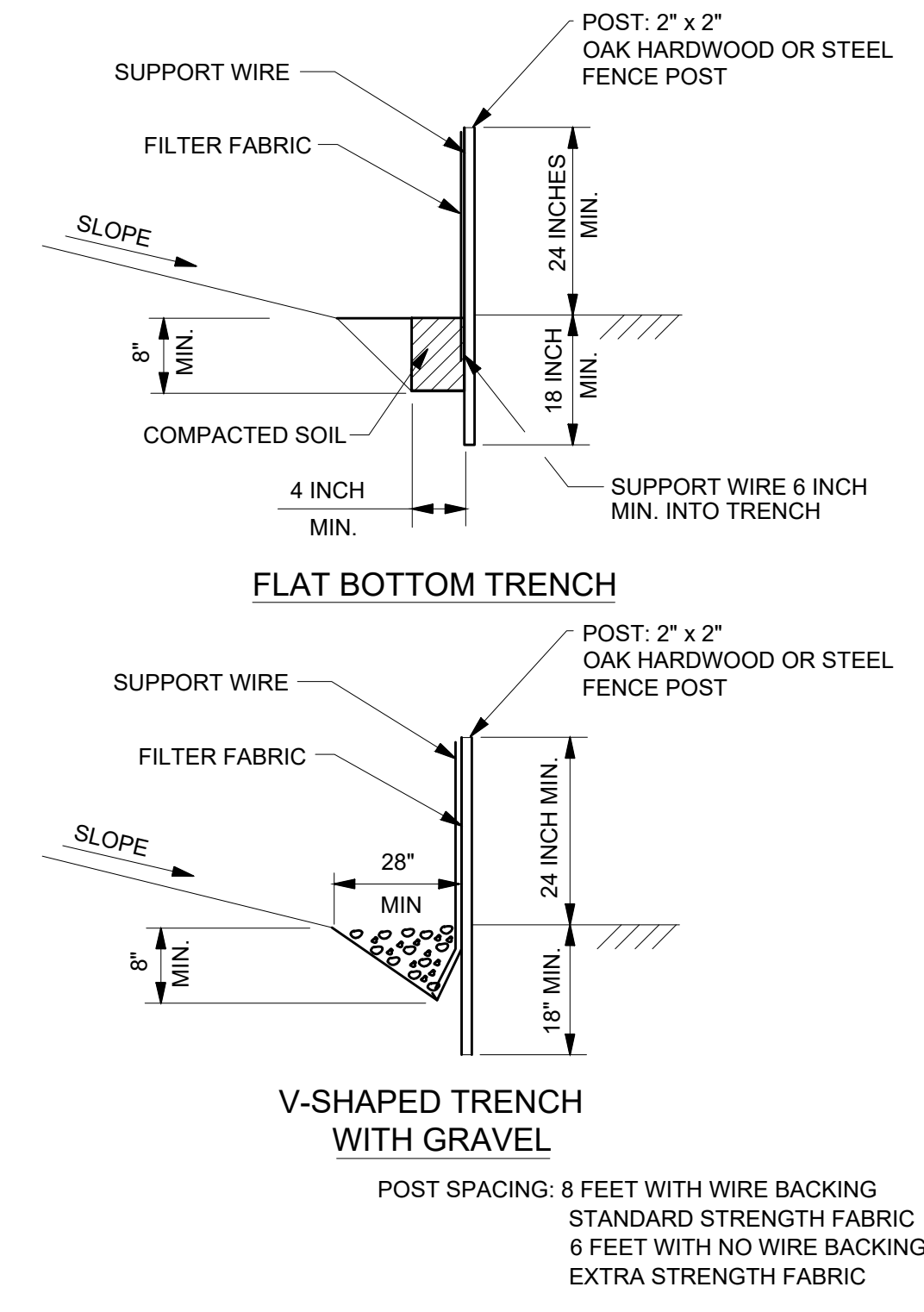
6 NTS



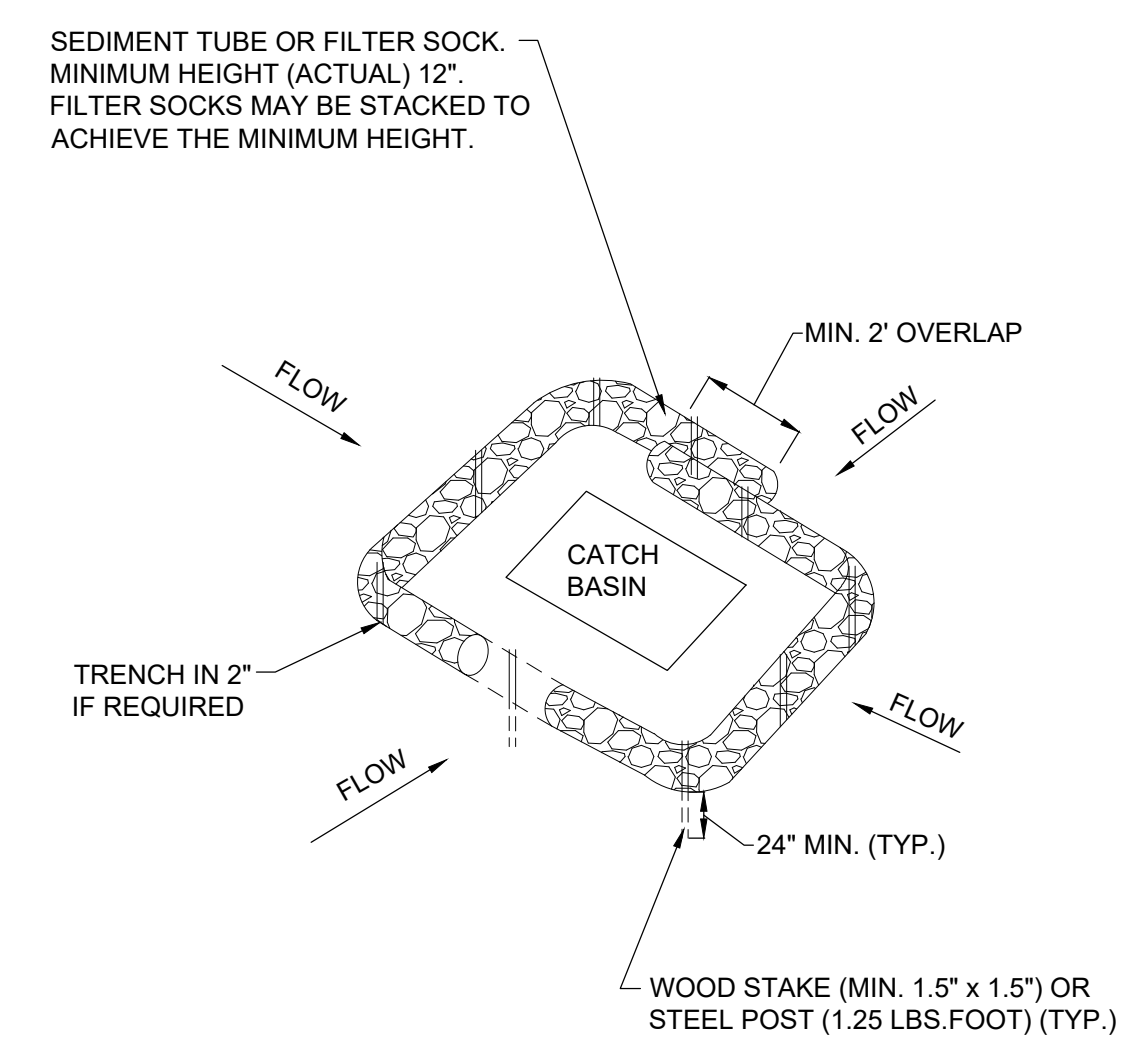
7 OUTLET CONTROL STRUCTURE DETAIL  
 NTS



1 TEMPORARY GRAVEL  
 CONSTRUCTION ENTRANCE/EXIT PAD  
 NTS



2 SILT FENCE  
 NTS



3 INLET PROTECTION  
 NTS

NOT USED

4 NTS