



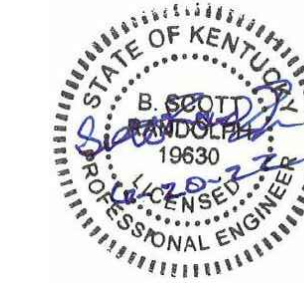
CONSTRUCTION PLANS FOR:
FiveStar
 NEW BUILDING CONSTRUCTION
 5 JOLLY WAY
 CADIZ, KY

CERTIFICATE OF OWNERSHIP
 I (WE) DO HEREBY CERTIFY THAT I AM (WE ARE) THE ONLY OWNER(S) OF THE
 PROPERTY SHOWN HEREON, AND DO ADOPT THIS AS MY (OUR) FINAL
 DEVELOPMENT PLAN FOR THE PROPERTY.

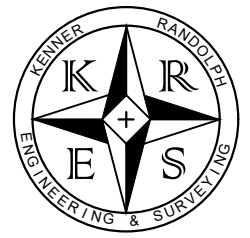
DATE _____

OWNER _____

OWNER _____



CIVIL ENGINEER:
KENNER RANDOLPH
 ENGINEERING & SURVEYING
 199 NORTH OWEN STREET
 RUSSELLVILLE, KY 42276
 270-717-1167



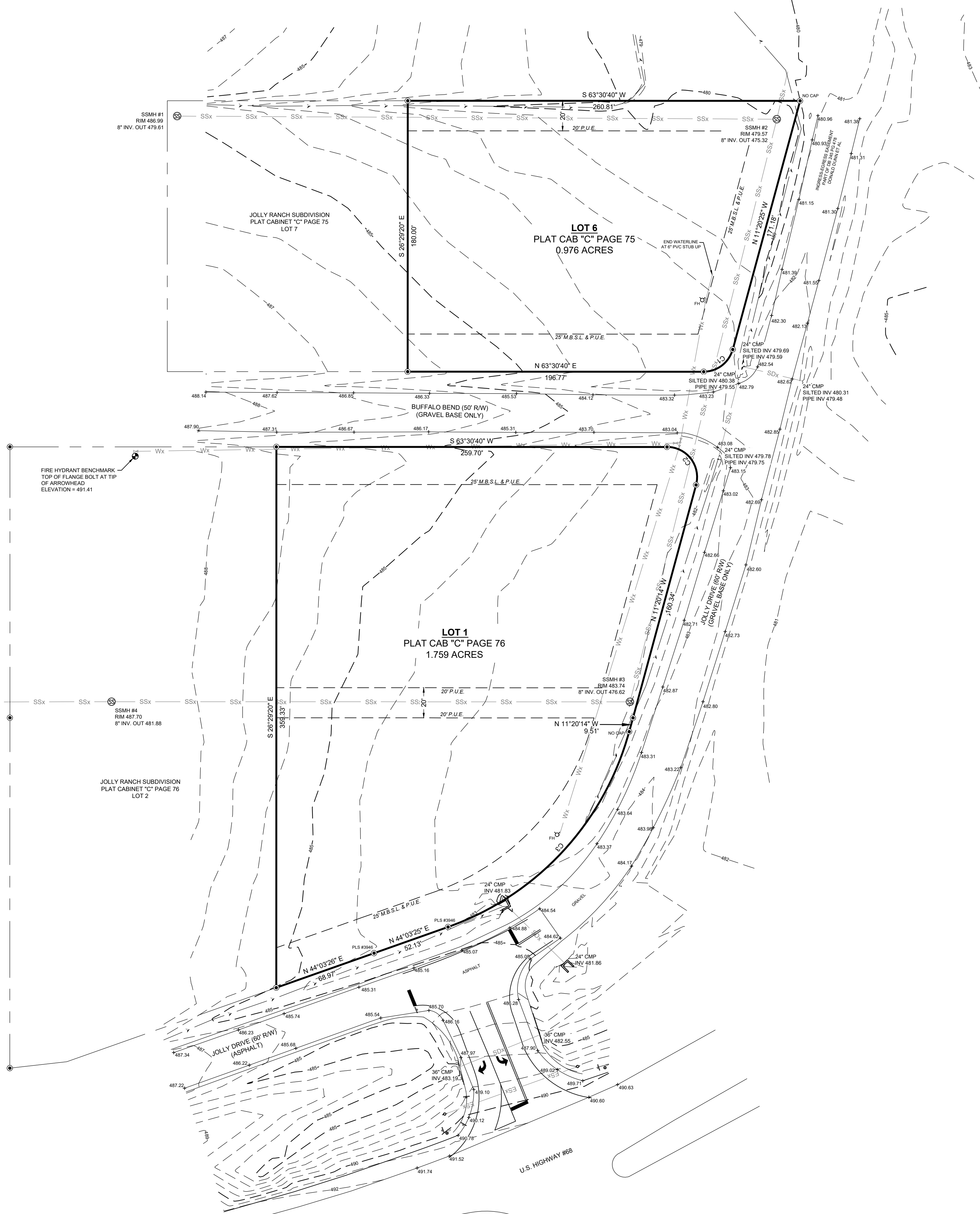
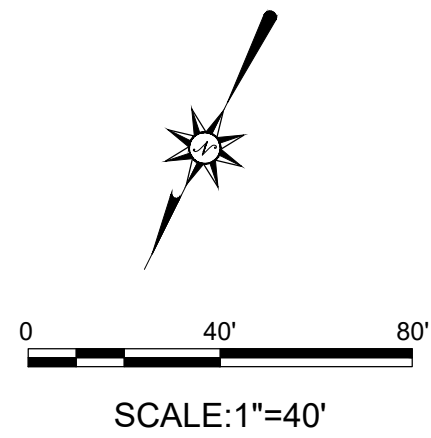
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C3.1	DETAILS



VICINITY MAP CADIZ, KY

TOPOGRAPHIC SURVEY
FIVESTAR - CADIZ, KY



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	20.00'	28.13'	24.31'	N 28°05'28" E	74°51'47"
C2	20.00'	38.17'	31.76'	N 83°56'12" W	105°08'16"
C3	190.49'	184.17'	177.08'	N 16°21'37" E	55°23'41"

SURVEYOR'S NOTES

1. IN PERFORMING THIS SURVEY, NO GUARANTEE IS MADE AS TO THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLICLY OWNED.
2. NO EXTENSIVE INVESTIGATION HAS BEEN PERFORMED TO SEARCH FOR RECORDS OR DOCUMENTATION OF EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A PROFESSIONAL TITLE SEARCH MAY DISCLOSE.
3. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND SEAL ARE NOT VALID. THIS PLAN REPRESENTS A TOPOGRAPHIC SURVEY AND IS IN COMPLIANCE WITH 201 KAR 18:150.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS PERFORMED UNDER MY DIRECTION BY MEANS OF RTK GPS MEASUREMENTS USING TRIMBLE R10 AND TRIMBLE R12 DUAL FREQUENCY GPS RECEIVERS WHEN ACCEPTABLE AND CONVENTIONAL MEANS (RANDOM TRAVERSE), FROM GPS CONTROL POINTS, WHEN NECESSARY. GPS MEASUREMENTS HAD A STATICAL ERROR THAT DID NOT EXCEED 0.05' +100 PPM PER DISTANCE ACCURACY AND RELATIVE POSITIONAL ACCURACY. WHERE CONVENTIONAL METHODS WERE USED, THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE WAS A MINIMUM OF 1:38,800 AND WAS NOT ADJUSTED. THE SURVEY SHOWN HEREON IS AN "URBAN" SURVEY AND THE ACCURACY AND PRECISION OF SAID SURVEY MEETS OR EXCEEDS ALL THE SPECIFICATIONS OF THE CLASSIFICATION FOR THE COMMONWEALTH OF KENTUCKY.

Chris R. Kenner 4/12/22
CHRIS R. KENNER, PLS #4120 DATE

REFERENCE MERIDIAN

THE BEARINGS SHOWN HEREON ARE REFERENCED TO GRID NORTH OF THE NAD83 KENTUCKY SOUTH STATE PLANE COORDINATE SYSTEM. DISTANCES SHOWN ARE GRID DISTANCES. ELEVATIONS ARE BASED UPON NAVD88 GEOID 18US. ALL MEASUREMENTS DERIVED FROM AN INITIAL GPS OBSERVATION USING A VRS NETWORK OF KY CORS STATIONS.

FLOOD PLAIN INFO

THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A FEMA SPECIAL FLOOD HAZARD AREA ACCORDING TO FIRM #21221C0235D WITH AN EFFECTIVE DATE OF 4/19/2019

LEGEND

- 1/2" REBAR & CAP PLS #3277 U.N.O.
- BOUNDARY LINE PER RECORDED PLAT
- - - APPROXIMATE ADJOINER OR R/W LINES
- - - EASEMENT & SETBACK LINES
- == EXISTING ROADWAY AS LABELED
- Wx — EXISTING WATERLINE
- SDx — EXISTING STORM PIPE
- SSx — EXISTING SANITARY SEWER
- Ex — EXISTING PRIMARY OVERHEAD ELECTRIC
- ESx — EXISTING SECONDARY OVERHEAD ELECTRIC
- USGx — EXISTING UNDERGROUND COMMUNICATIONS
- CENTERLINE DITCH
- ⊗ EXISTING WATERLINE VALVE
- ⊕ FIRE HYDRANT
- ⊙ POWER POLE
- + 485.00 EXISTING SPOT ELEVATION
- - - 485 - - - EXISTING CONTOUR
- ⊕ ROAD SIGN

CONTACTS

- WATER, SEWER, & STREETS**
CITY OF CADIZ
- WATER PLANT**
PERRY ALEXANDER
141 INTERNATIONAL DRIVE
CADIZ, KY 42211
270-522-8144
- SEWER PLANT**
MATT JOINER
181 FRANKLIN ST
CADIZ, KY 42211
270-522-6138
- STREET DEPARTMENT**
PAUL KNIGHT
55 MUNN BLVD.
CADIZ, KY 42211
270-522-8305
- COMMUNICATIONS**
MEDIACOM
90 NORTH MAIN ST
BENTON, KY 42025
- AT&T**
866-264-1633
- GAS**
ATMOS ENERGY
888-286-6700
- ELECTRIC**
PENNYRILE RURAL ELECTRIC
2441 EAST MAIN ST
CADIZ, KY 42211
270-522-8678
- FIRE DEPARTMENT**
THOMAS FUTRELL, FIRE CHIEF
41 MAIN ST
CADIZ, KY 42211
270-522-8244

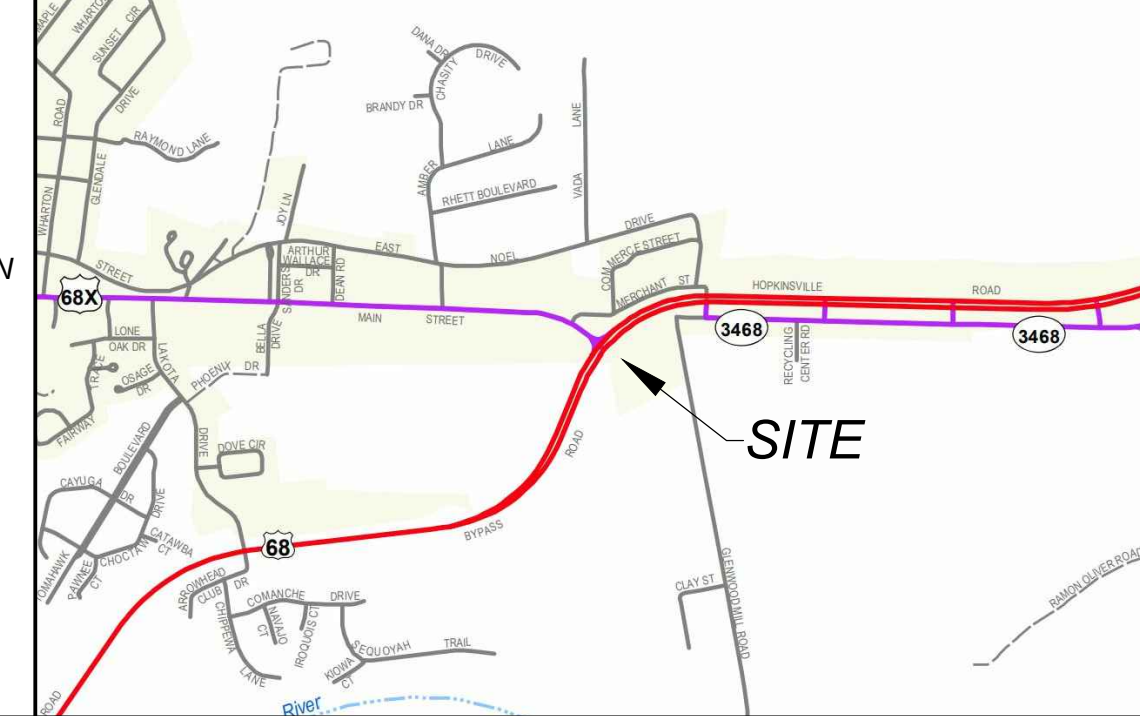
LOT INFO

SCOTT & ELLEN JOLLY
DEED BOOK 282 PAGE 150
JOLLY RANCH SUBDIVISION
PLAT CABINET "C" PAGE 76 LOT 1
REVISION TO JOLLY RANCH SUBDIVISION
PLAT CABINET "C" PAGE 75 LOT 6
(CONTAINING IN TOTAL BY PLAT)
119,137 SQ. FT OR 2.735 ACRES

ZONE B2

SETBACKS
FRONT - 25'
SIDE - N/A
REAR - N/A

VICINITY MAP CADIZ, KY



KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1167

SURVEYOR: CRK	CRK	CRK	CRK
	CRK	CRK	CRK
CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARSTOWN, KY 40004	CRK	CRK	CRK
	CRK	CRK	CRK
PROPERTY OWNER ADDRESS: SCOTT & ELLEN JOLLY 4429 HOPKINSVILLE RD CADIZ, KY 42211	CRK	CRK	CRK
	CRK	CRK	CRK

TOPOGRAPHIC SURVEY
FIVESTAR
JOLLY DR & BUFFALO BEND
CADIZ, KY 42211

SHEET
IDENTIFICATION
C1.0



GENERAL NOTES:

1. THE EXISTING UTILITIES SHOWN WERE FIELD SURVEYED FROM MARKINGS PROVIDED BY UTILITY COMPANIES AND ARE APPROXIMATE LOCATIONS. OTHER UTILITIES MAY EXIST ON THIS SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 AND LOCATING ALL UTILITIES BEFORE ANY EXCAVATION BEGINS.
2. MORE THAN 1 ACRE OF LAND SHOULD BE DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL SUBMIT AN NOI WITH THE STATE OF KENTUCKY PRIOR TO BEGINNING ANY GRADING WORK.
3. NO GRADING, STRIPPING, EXCAVATION, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNLESS AND UNTIL ALLEN COUNTY HAS APPROVED THE DEVELOPER'S SOIL EROSION CONTROL PROCEDURES AND EROSION CONTROL PLAN.
4. NO BUILDING PERMITS SHALL BE ISSUED UNTIL A FINAL DEVELOPMENT PLAN IS APPROVED BY THE PLANNING COMMISSION AND ALL CONDITIONS HAVE BEEN MET.
5. ALL CURB RADII ARE 5' TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

SITE DATA

1. CURRENT ZONING FOR THE LOT: B-2.
2. TOTAL LOT AREA IS 2.735 ACRES OR 119,137 SFT.
3. TOTAL DISTURBED AREA INCLUDING UTILITIES IS 140,089 SFT.
4. FRONT YARD BUILDING SETBACK IS 25'.
5. SIDE YARD BUILDING SETBACK IS 0'.
6. REAR YARD BUILDING SETBACK IS 0'.

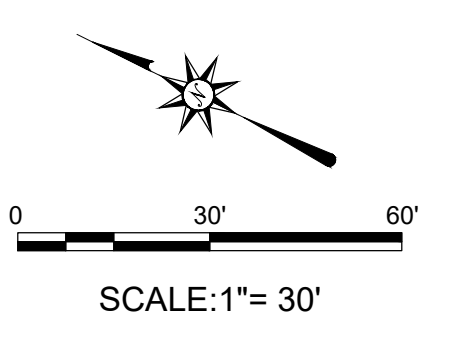
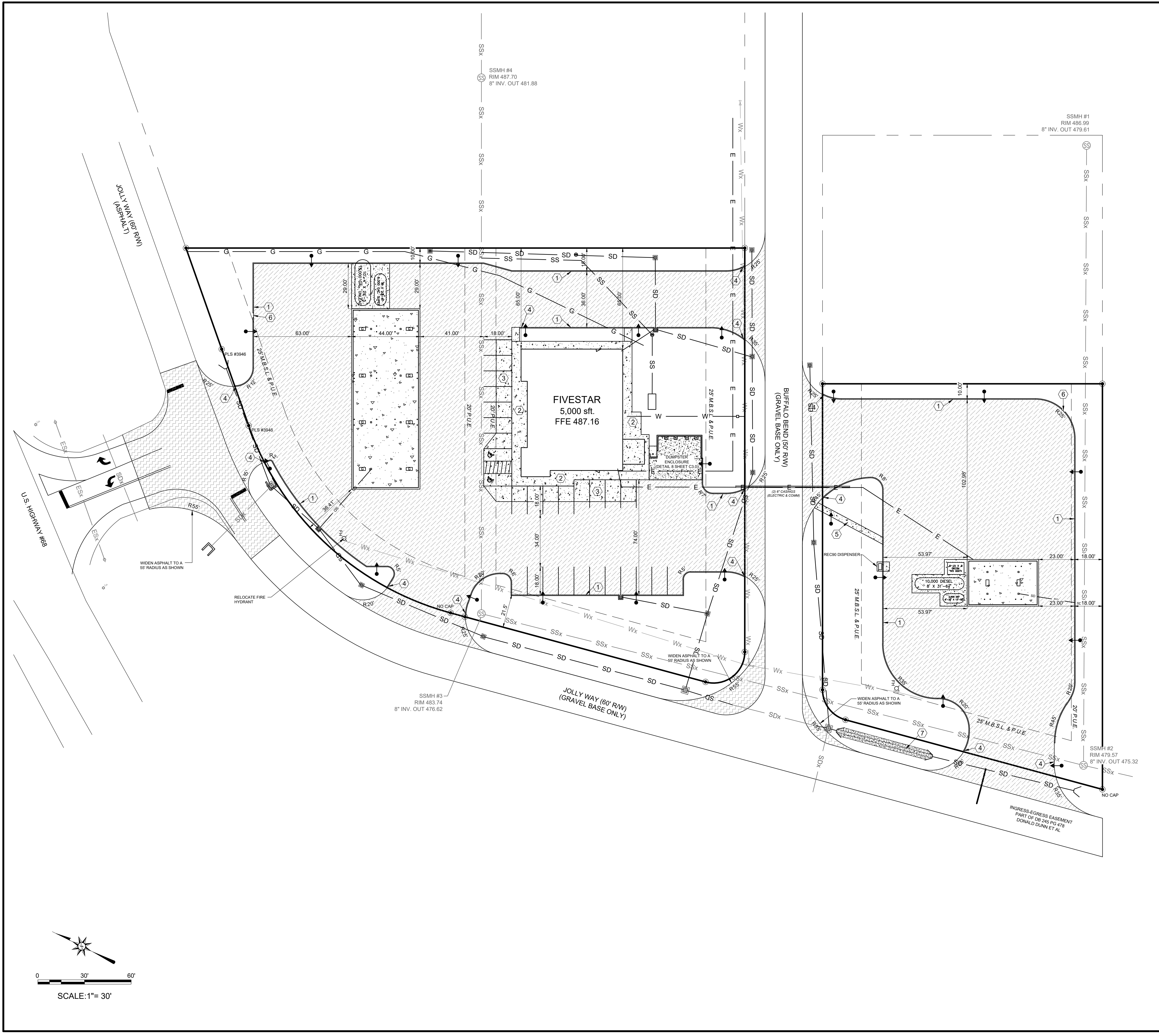
PARKING SPACE TABLE		
BUILDING SIZE	SPACES REQUIRED	SPACES PROVIDED
5,000 SFT.	17	28 INCLUDING 2 ADA SPACES.

KEYNOTES

1. 12" CURB AND GUTTER (SEE DETAIL 10 SHEET C3.0).
2. ALL CURB RADII SHALL BE 5' TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
3. TURNDOWN SIDEWALK (SEE DETAIL 9 SHEET C3.0).
4. BLACK CONCRETE SLAB.
5. TAPER CURB HEIGHT TO 0" OVER 3' DISTANCE.
6. 4' WIDE SIDEWALK.
7. 3' WIDE CURB CUT.
8. 6' WIDE CONCRETE SWALE. SEE DETAIL 6 SHEET C3.1.

LEGEND

---	BOUNDARY LINE
---	APPROXIMATE ADJOINER OR R-O-W LINES
---	EXISTING SETBACK LINES OR EASEMENTS
---	EXISTING ROADWAY AS LABELED
X	EXISTING FENCE
Wx	EXISTING WATERLINE
SSx	EXISTING SANITARY SEWER LINE
Ex	EXISTING SANITARY SEWER MANHOLE
Ex	EXISTING PRIMARY OVERHEAD ELECTRIC
ESx	EXISTING POWER POLE
Gx	EXISTING SECONDARY OVERHEAD ELECTRIC
Gx	EXISTING GAS LINE
SDx	EXISTING STORM SEWER
SDx	EXISTING DITCH CENTERLINE
SDx	EXISTING STORM INLET
SS	PROPOSED SANITARY SEWER LINE
SD	PROPOSED STORM SEWER LINE
G	PROPOSED GAS LINE
E	PROPOSED OVERHEAD ELECTRIC
W	PROPOSED WATERLINE
W	PROPOSED SANITARY SEWER CLEANOUT
⊠	PROPOSED STORM INLET
⊠	PROPOSED LIGHT POLE
⊠	PROPOSED POWER POLE
▨	PROPOSED CONCRETE PAVEMENT
▨	PROPOSED STANDARD ASPHALT PAVEMENT
▨	PROPOSED ASPHALT OVERLAY OR WIDENING



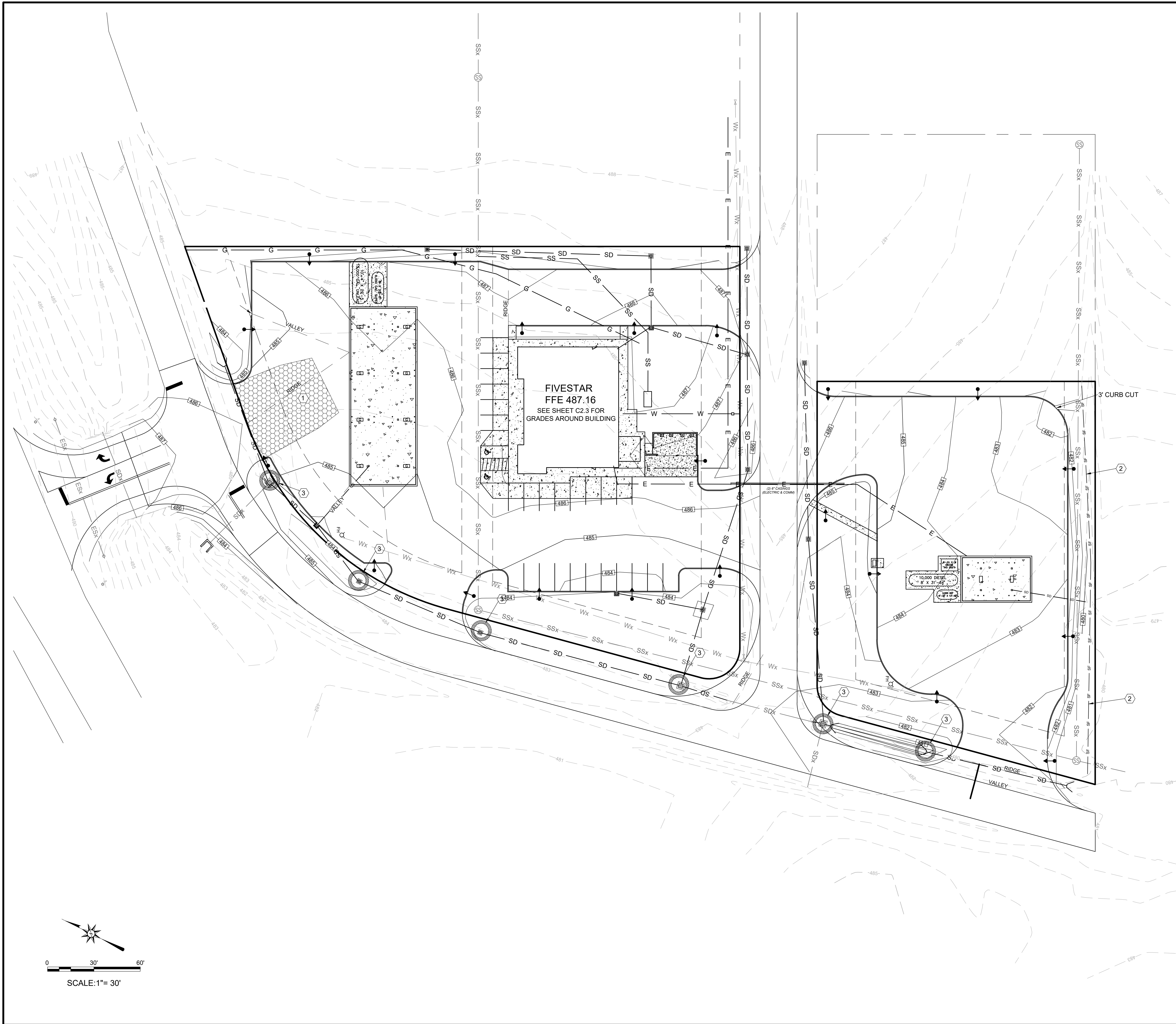
MARK	REVISION	DATE
△	REVISE GRADES & DRAINAGE	6-30-22

**KENNER RANDOLPH
ENGINEERING & SURVEYING**
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1167

CLIENT ADDRESS: NEWCOMB OIL 961 WITHROW COURT BARSTOWN, KY 40004	ENGINEER: BSR	CHKD BY: CRK	FINAL SURVEY DATE: 3/29/22	CRD FILE: 2202201E
	DIVN BY: BSR		PLOT DATE: 6-30-2022	FILE NAME: 2202201E
			SIZE: 24x36	

SITE PLAN
FIVESTAR
5 JOLLY WAY
CADIZ, KY 42211

SHEET IDENTIFICATION
C2.0



EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF THE APPROPRIATE PERSONEL NEEDED TO CREATE AND MAINTAIN A BEST MANAGEMENT PRACTICES PLAN IN ACCORDANCE WITH KPDES STORMWATER GENERAL PERMIT KYR10 AND "KENTUCKY EROSION PREVENTION AND SEDIMENT CONTROL FIELD GUIDE."
2. EROSION CONTROL MEASURES NOTED AND SHOWN ARE THE MINIMUMS DEEMED NECESSARY TO PROTECT THE PUBLIC AND OFF-SITE PROPERTIES, AND DO NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR COMPLIANCE WITH ANY AND ALL U.S. EPA AND KENTUCKY DIVISION OF WATER REQUIREMENTS. ANY ADDITIONAL ITEMS REQUIRED BY THESE AND/OR LOCAL GOVERNING AUTHORITIES SHALL BE PROVIDED AT NO COST TO THE OWNER.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL PRACTICES, PERMIT DOCUMENTS, AND INSPECTION RECORDS REQUIRED TO COMPLY WITH THE NOI AND THE CONDITIONS OF THE GENERAL KPDES PERMIT, AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
4. ANY REQUIRED ALTERATIONS OR REVISIONS TO THE EROSION CONTROL PLANS BASED UPON RESULTS OF PERIODIC INSPECTIONS, CONTRACTOR ACTIONS, AND/OR OWNER/AGENCY DIRECTIONS SHALL BE IMPLEMENTED WITHIN 7 DAYS OF DISCOVERY, AND WRITTEN DOCUMENTATION OF SUCH ALTERATIONS/REVISIONS SHALL BE KEPT ON FILE BY THE CONTRACTOR.
5. ALL AREAS DISTURBED BY GRADING THAT ARE NOT STABILIZED WITH OTHER METHODS FOR A PERIOD OF 14 DAYS SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED.
6. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
7. REMOVE ALL EROSION CONTROL DEVICES UPON THE ESTABLISHMENT OF PERMANENT GROUND COVER.
8. PROVIDE TEMPORARY SEEDING AS NEEDED IN ACCORDANCE WITH "KENTUCKY EROSION PREVENTION AND SEDIMENT CONTROL FIELD GUIDE."
9. ALL PAINT, SOLVENT, PETROLEUM PRODUCTS (FUEL, LUBE OILS, GREASE AND CUTTING OILS) AND PETROLEUM WASTE PRODUCTS SHALL BE STORED IN CONTAINERS (SUCH AS DRUMS, CANS, OR CARTONS) SO THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION CONTROL, AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENTS SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND ALSO PREVENT CONTAMINATION OF GROUNDWATER.
10. DO NOT STORE CHEMICALS, DRUMS, AND BAGGED MATERIAL DIRECTLY ON THE GROUND. USE SECONDARY CONTAINMENT OR USE WOODEN PALLETS. PROVIDE SPILL CONTAINMENT DIKES AROUND CHEMICAL AND FUEL STORAGE TANKS. LINE WITH PLASTIC FILM TO PREVENT SOIL CONTAMINATION. STORE HAZARDOUS WASTES IN AN APPROPRIATE TYPE OF CONTAINER AND PROPERLY LABELED PER EPA, OSHA AND DOT REQUIREMENTS.
11. ONSITE TRASH SHOULD BE COLLECTED AND DISPOSED OF ON A REGULAR BASIS. SANITARY SYSTEMS SHOULD BE REGULARLY SERVICED. REPAIR TRASH CONTAINERS AND DUMPSTERS ON AN AS NEEDED BASIS. WHERE POSSIBLE PROVIDE COVER FOR WASTE CONTAINERS TO PREVENT THE ENTRY OF RAINWATER AND LOSS OF CONTENTS BY WIND. MAINTAIN A CONTINGENCY PLAN IN THE CASE THAT HAZARDOUS OR TOXIC MATERIALS ARE DISCOVERED.
12. MAINTAIN WASTE FLUID CONTAINERS IN LEAK PROOF CONDITION. VEHICLES AND EQUIPMENT SHOULD BE INSPECTED ON EACH DAY OF USE. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE PROBLEM VEHICLE(S) OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE.

SEQUENCE OF SWPPP CONSTRUCTION:

1. BEFORE ANY LAND DISTURBANCE OCCURS, A NOTICE-OF-INTENT (NOI) SHALL BE FILED WITH THE STATE OF KENTUCKY DIVISION OF WATER.
2. BEFORE ANY LAND DISTURBANCE OCCURS, SILT FENCING SHALL BE INSTALLED AS SHOWN, THE CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED, AND INLET PROTECTION SHALL BE INSTALLED AROUND THE EXISTING HEADWALL NEAR A2.
3. ONCE ALL TEMPORARY EROSION CONTROL ITEMS ARE REMOVED AND PERMANENT GROUND COVER IS ESTABLISHED, A NOTICE-OF-TERMINATION SHALL BE SUBMITTED TO THE KENTUCKY DIVISION OF WATER.

DISTURBED AREA = 140,089 SFT

KEY NOTES:

1. CONSTRUCTION ENTRANCE. SEE DETAIL 1 SHEET C3.1.
2. PROPOSED SILT FENCE. SEE DETAIL 2 SHEET C3.1.
3. INLET PROTECTION. SEE DETAIL 3 SHEET C3.1.

SEE EROSION CONTROL NOTES THIS SHEET.

LEGEND

	EXISTING BOUNDARY LINE
	EXISTING ADJOINER LINES
	EXISTING DITCH
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PROPOSED SILT FENCE



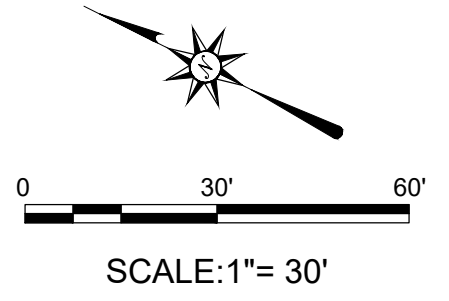
MARK	DESCRIPTION	DATE
△	REVISE GRADES & DRAINAGE	6-30-22

KENNER RANDOLPH
ENGINEERING & SURVEYING
 199 NORTH OWEN STREET
 RUSSELLVILLE, KY 42276
 270-717-1167

ENGINEER: ESR	CLIENT ADDRESS: NEWCOMB OIL 961 WITHROW COURT BARSTOWN, KY 40004
DIVN BY: ESR	ENGINEER'S DIVISION: CRK
FINAL SURVEY DATE: 3/29/22	CLIENT ADDRESS: NEWCOMB OIL 961 WITHROW COURT BARSTOWN, KY 40004
PLOT DATE: 6-30-2022	CLIENT ADDRESS: NEWCOMB OIL 961 WITHROW COURT BARSTOWN, KY 40004
FILE NAME: 242836	CLIENT ADDRESS: NEWCOMB OIL 961 WITHROW COURT BARSTOWN, KY 40004

EROSION CONTROL PLAN
 FIVESTAR
 5 JOLLY WAY
 CADIZ, KY 42211

SHEET
 IDENTIFICATION
C2.1





GENERAL NOTES:

- THE EXISTING UTILITIES SHOWN WERE FIELD SURVEYED FROM MARKINGS PROVIDED BY UTILITY COMPANIES AND ARE APPROXIMATE LOCATIONS. OTHER UTILITIES MAY EXIST ON THIS SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 AND LOCATING ALL UTILITIES BEFORE ANY EXCAVATION BEGINS.
- MORE THAN 1 ACRE OF LAND SHOULD BE DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL SUBMIT AN NOI WITH THE STATE OF KENTUCKY PRIOR TO BEGINNING ANY GRADING WORK. DISTURBED AREA INCLUDING UTILITIES IS 3.22 ACRES OR 140,089 SFT.
- NO GRADING, STRIPPING, EXCAVATION, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNLESS AND UNTIL ALLEN COUNTY HAS APPROVED THE DEVELOPER'S SOIL EROSION CONTROL PROCEDURES AND EROSION CONTROL PLAN.
- NO BUILDING PERMITS SHALL BE ISSUED UNTIL A FINAL DEVELOPMENT PLAN IS APPROVED BY THE PLANNING COMMISSION AND ALL CONDITIONS HAVE BEEN MET.
- ALL DISTURBED AREAS THAT ARE NOT PAVED, LANDSCAPED, OR OTHERWISE PROVIDED WITH PERMANENT GROUND COVER SHALL BE SEEDED AND MULCHED OR SODDED AS SOON AS PRACTICAL TO PREVENT SOIL EROSION. PARTS OF JOLLY DRIVE AND BUFFALO BEND WERE STILL GRAVEL AT THE TIME OF THE SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS AT THE TIE-INS TO EXISTING ROADS.

MARK	REVISION	DATE
△	REVISE GRADES & DRAINAGE	6-30-22

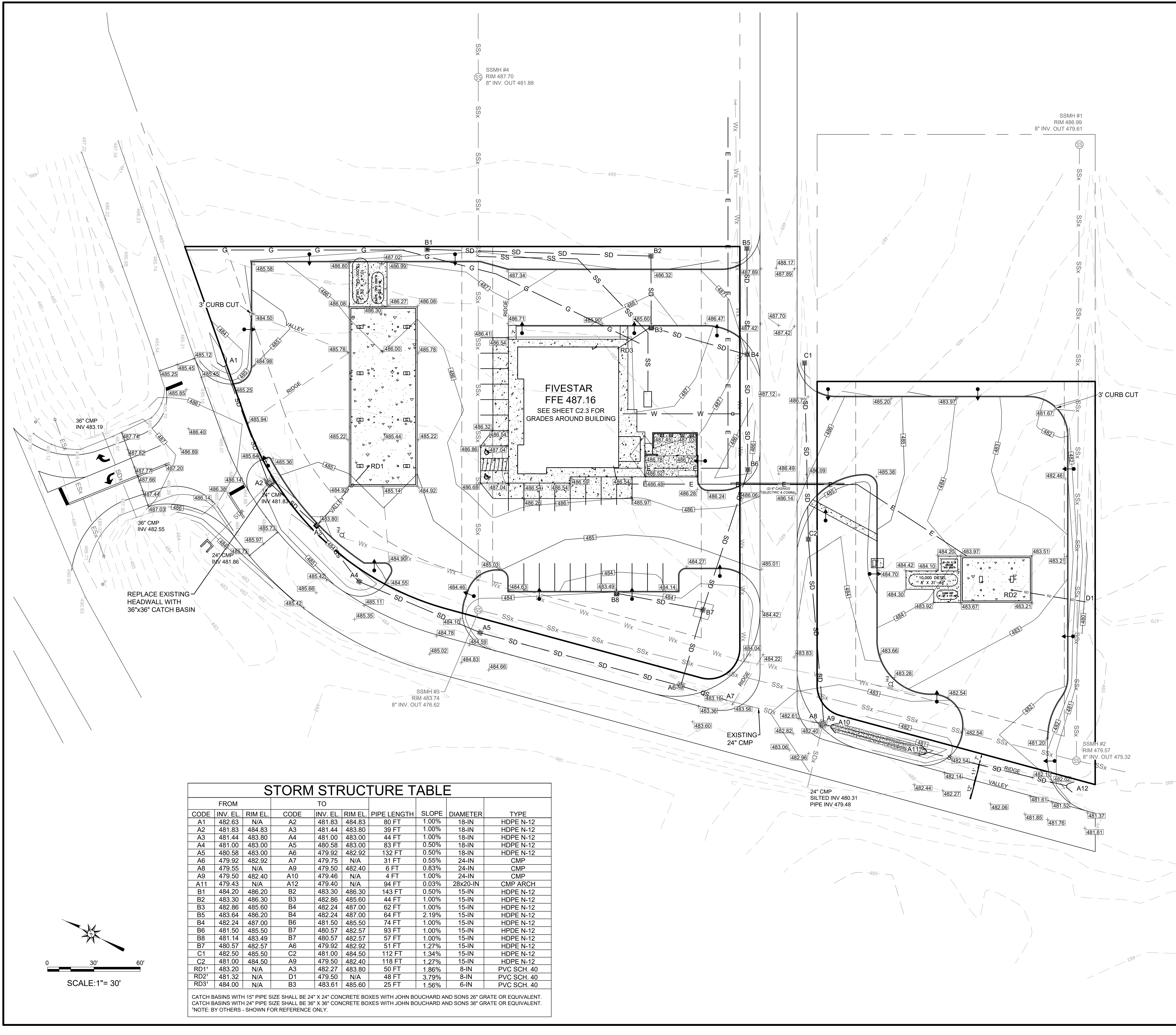
**KENNER RANDOLPH
ENGINEERING & SURVEYING**
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1167

ENGINEER:	CKD BY:	FINAL SURVEY DATE:	CRD FILE:
BSR	CRK	3/29/22	2202201E
DRAWN BY:	DATE:	SIZE:	FILE NAME:
BSR	3/29/22	A366	2202201E

CLIENT ADDRESS:
NEWCOMB OIL
861 WITHROW COURT
BARSTOWN, KY 40004

GRADING PLAN
FIVESTAR
5 JOLLY WAY
CADIZ, KY 42211

SHEET
IDENTIFICATION
C2.2



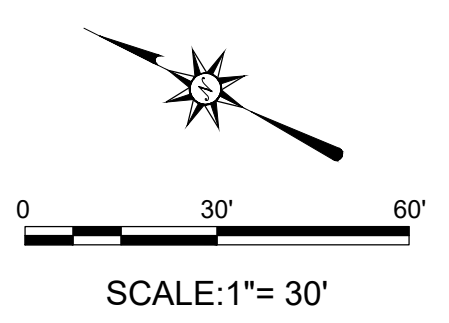
STORM STRUCTURE TABLE

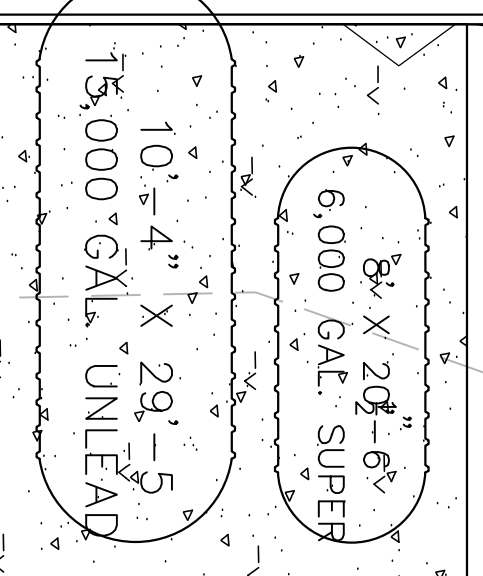
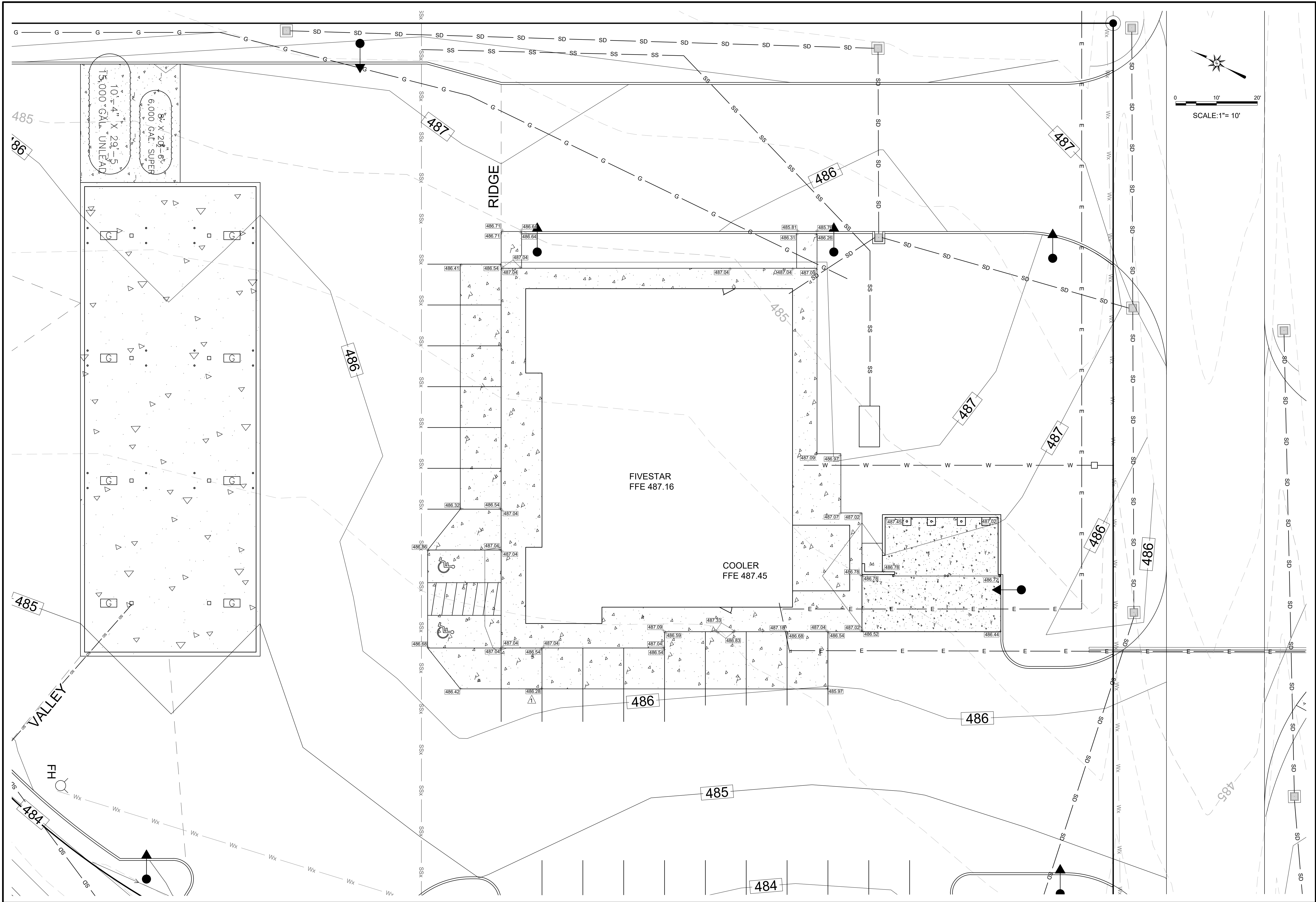
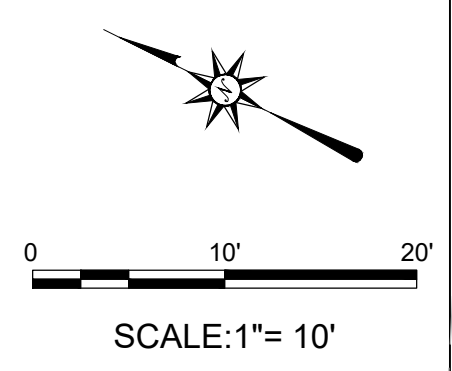
FROM		TO		PIPE LENGTH	SLOPE	DIAMETER	TYPE
CODE	INV. EL.	CODE	INV. EL.				
A1	482.63	N/A	A2	481.83	80 FT	1.00%	18-IN HDPE N-12
A2	481.83	484.83	A3	481.44	39 FT	1.00%	18-IN HDPE N-12
A3	481.44	483.80	A4	481.00	44 FT	1.00%	18-IN HDPE N-12
A4	481.00	483.00	A5	480.58	83 FT	0.50%	18-IN HDPE N-12
A5	480.58	483.00	A6	479.92	132 FT	0.50%	18-IN HDPE N-12
A6	479.92	482.92	A7	479.75	31 FT	0.55%	24-IN CMP
A8	479.55	N/A	A9	479.50	6 FT	0.83%	24-IN CMP
A9	479.50	482.40	A10	479.46	4 FT	1.00%	24-IN CMP
A11	479.43	N/A	A12	479.40	94 FT	0.03%	26x20-IN CMP ARCH
B1	484.20	486.20	B2	483.30	143 FT	0.50%	15-IN HDPE N-12
B2	483.30	486.30	B3	482.86	44 FT	1.00%	15-IN HDPE N-12
B3	482.86	485.60	B4	482.24	62 FT	1.00%	15-IN HDPE N-12
B5	483.64	486.20	B4	482.24	64 FT	2.19%	15-IN HDPE N-12
B4	482.24	487.00	B6	481.50	74 FT	1.00%	15-IN HDPE N-12
B6	481.50	485.50	B7	480.57	93 FT	1.00%	15-IN HDPE N-12
B8	481.14	483.49	B7	480.57	57 FT	1.00%	15-IN HDPE N-12
B7	480.57	482.57	A6	479.92	51 FT	1.27%	15-IN HDPE N-12
C1	482.50	485.50	C2	481.00	112 FT	1.34%	15-IN HDPE N-12
C2	481.00	484.50	A9	479.50	118 FT	1.27%	15-IN HDPE N-12
RD1'	483.20	N/A	A3	482.27	50 FT	1.86%	8-IN PVC SCH. 40
RD2'	481.32	N/A	D1	479.50	48 FT	3.79%	8-IN PVC SCH. 40
RD3'	484.00	N/A	B3	483.61	25 FT	1.56%	6-IN PVC SCH. 40

CATCH BASINS WITH 15" PIPE SIZE SHALL BE 24" X 24" CONCRETE BOXES WITH JOHN BOUCHARD AND SONS 28" GRATE OR EQUIVALENT.
CATCH BASINS WITH 24" PIPE SIZE SHALL BE 36" X 36" CONCRETE BOXES WITH JOHN BOUCHARD AND SONS 38" GRATE OR EQUIVALENT.
NOTE: BY OTHERS - SHOWN FOR REFERENCE ONLY.

LEGEND

- BOUNDARY LINE THIS SURVEY
- APPROXIMATE ADJOINER OR R-O-W LINES
- EXISTING SETBACK LINES OR EASEMENTS
- EXISTING ROADWAY AS LABELED
- Wx Wx EXISTING WATERLINE
- SSx SSx EXISTING SANITARY SEWER LINE
- Ex Ex EXISTING SANITARY SEWER MANHOLE
- ESx ESx EXISTING PRIMARY OVERHEAD ELECTRIC
- Gx Gx EXISTING POWER POLE
- SDx SDx EXISTING SECONDARY OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING STORM SEWER
- EXISTING DITCH CENTERLINE
- EXISTING STORM INLET
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR LINE
- [Symbol] PROPOSED STORM INLET
- [Symbol] PROPOSED LIGHT POLE
- [Symbol] PROPOSED POWER POLE
- [Symbol] PROPOSED CONTOUR LINE
- [Symbol] PROPOSED SPOT ELEVATION
- SS SS PROPOSED SANITARY SEWER LINE
- SD SD PROPOSED STORM SEWER LINE
- G G PROPOSED GAS LINE
- E E PROPOSED OVERHEAD ELECTRIC
- W W PROPOSED WATERLINE





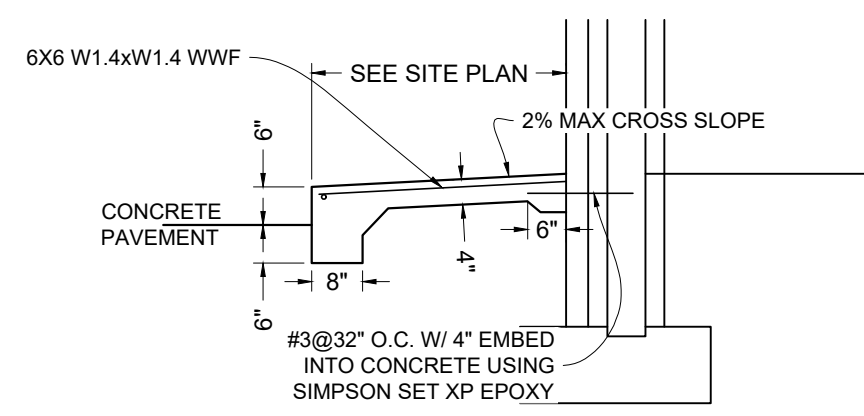
MARK	REVISIONS & DRAINAGE	DATE
△		6-30-22

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270-717-1167

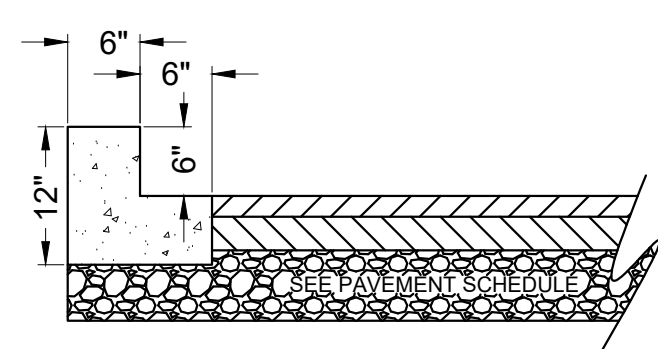
CLIENT ADDRESS: NEWCOMB OIL 861 WITHROW COURT BARSTOWN, KY 40004	ENGINEER: BSR	DWN BY: BSR	CKD BY: CRK
	FINAL SURVEY DATE: 3/29/22	FINAL SURVEY DATE: 3/29/22	CRD FILE: 2202201E
	PLOT DATE: 6-30-2022	SIZE: 24x36	FILE NAME: 2202201E

ENLARGED GRADING PLAN
FIVESTAR
5 JOLLY WAY
CADIZ, KY 42211

SHEET
IDENTIFICATION
C2.3



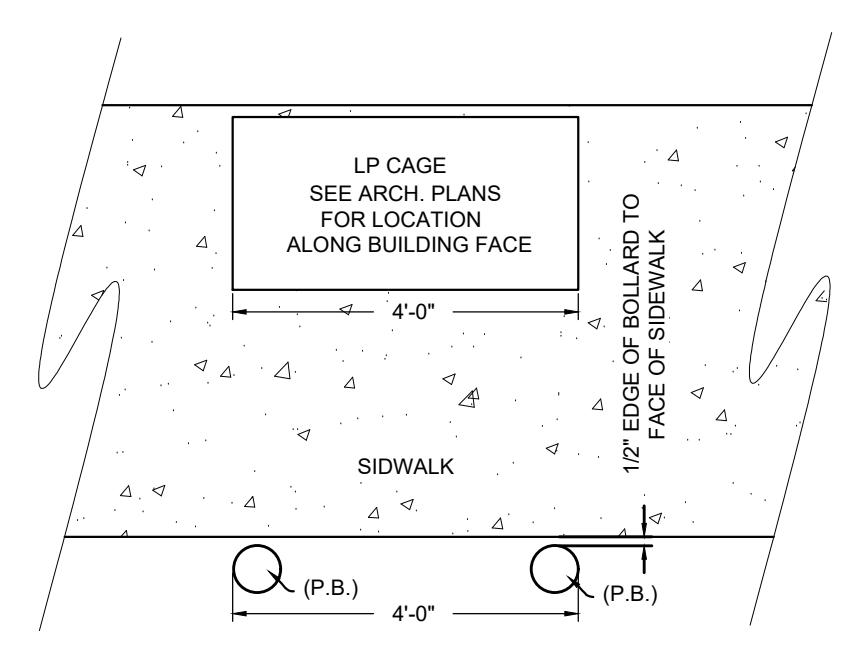
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3.0 TURNDOWN SIDEWALK DETAIL
N.T.S.



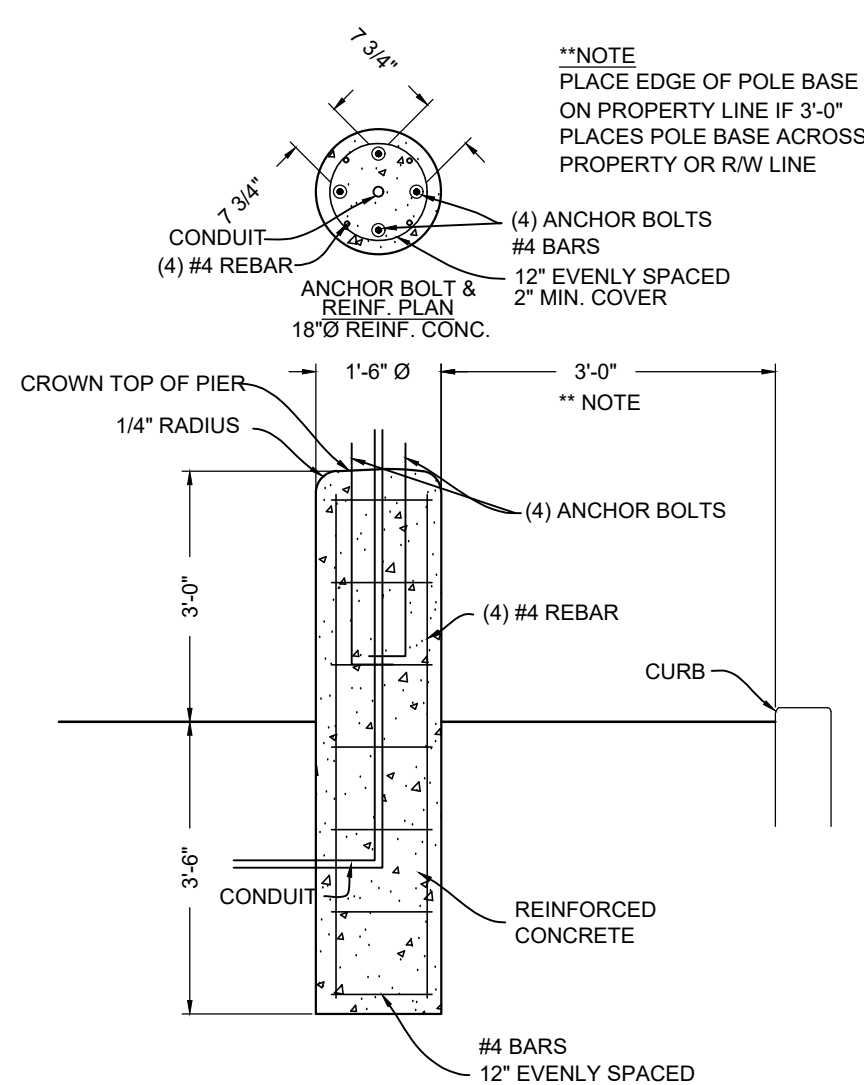
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3.0 CURB DETAIL
N.T.S.



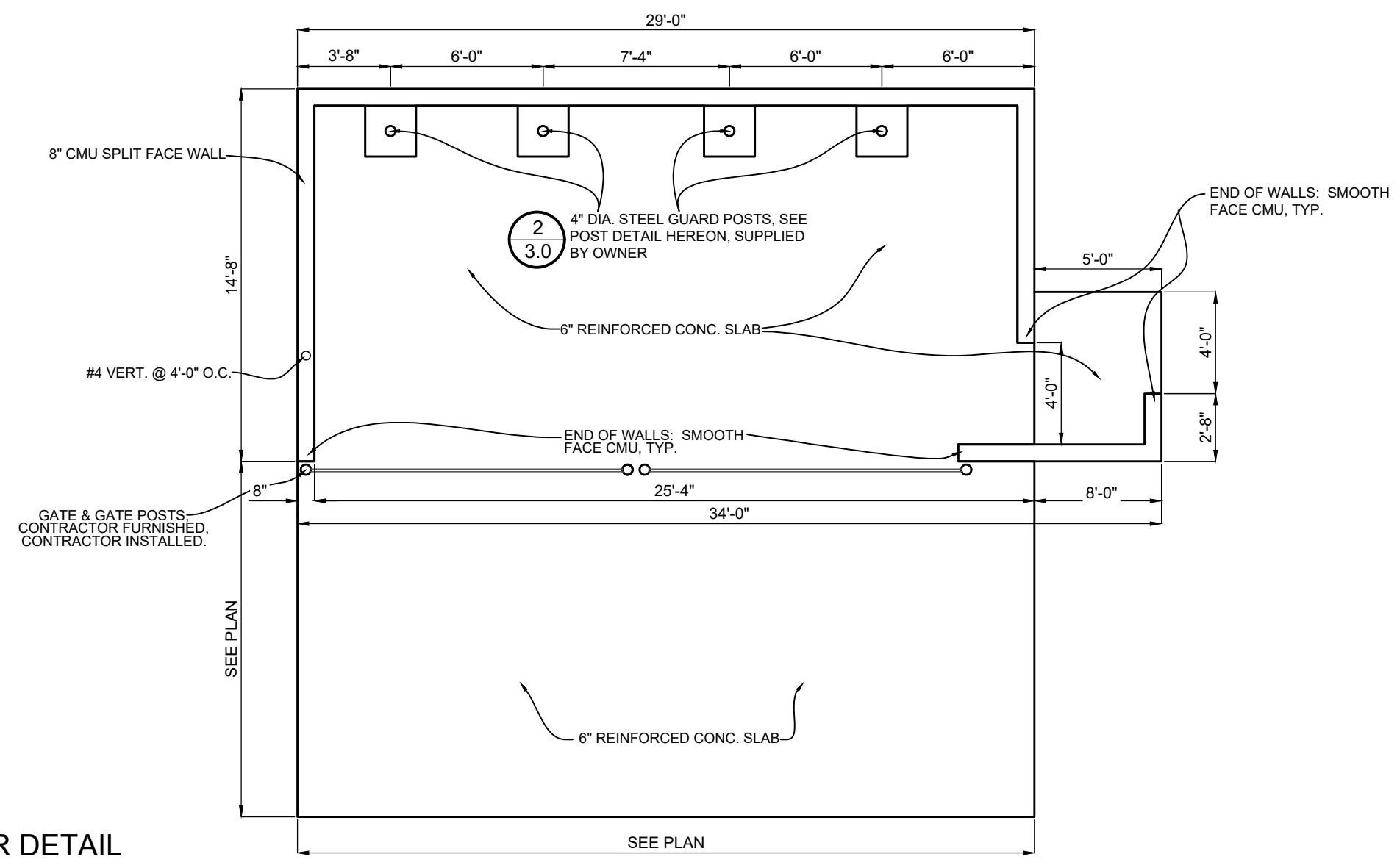
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3.0 PAVEMENT DETAIL
N.T.S.



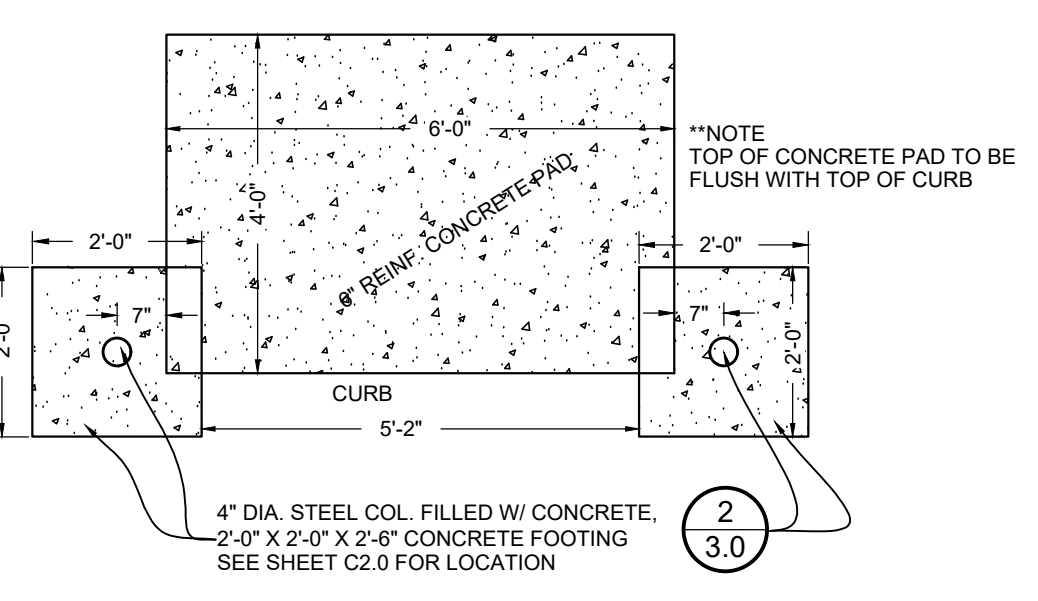
6
3.0 LP CAGE DETAIL
N.T.S.



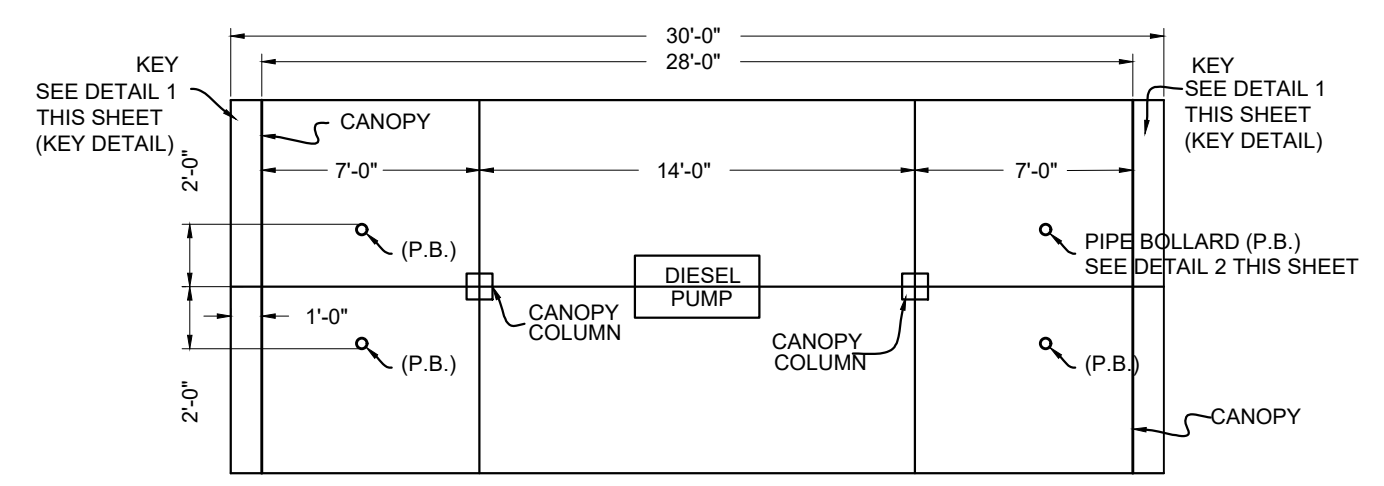
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3.0 LIGHT POLE BASE DETAIL
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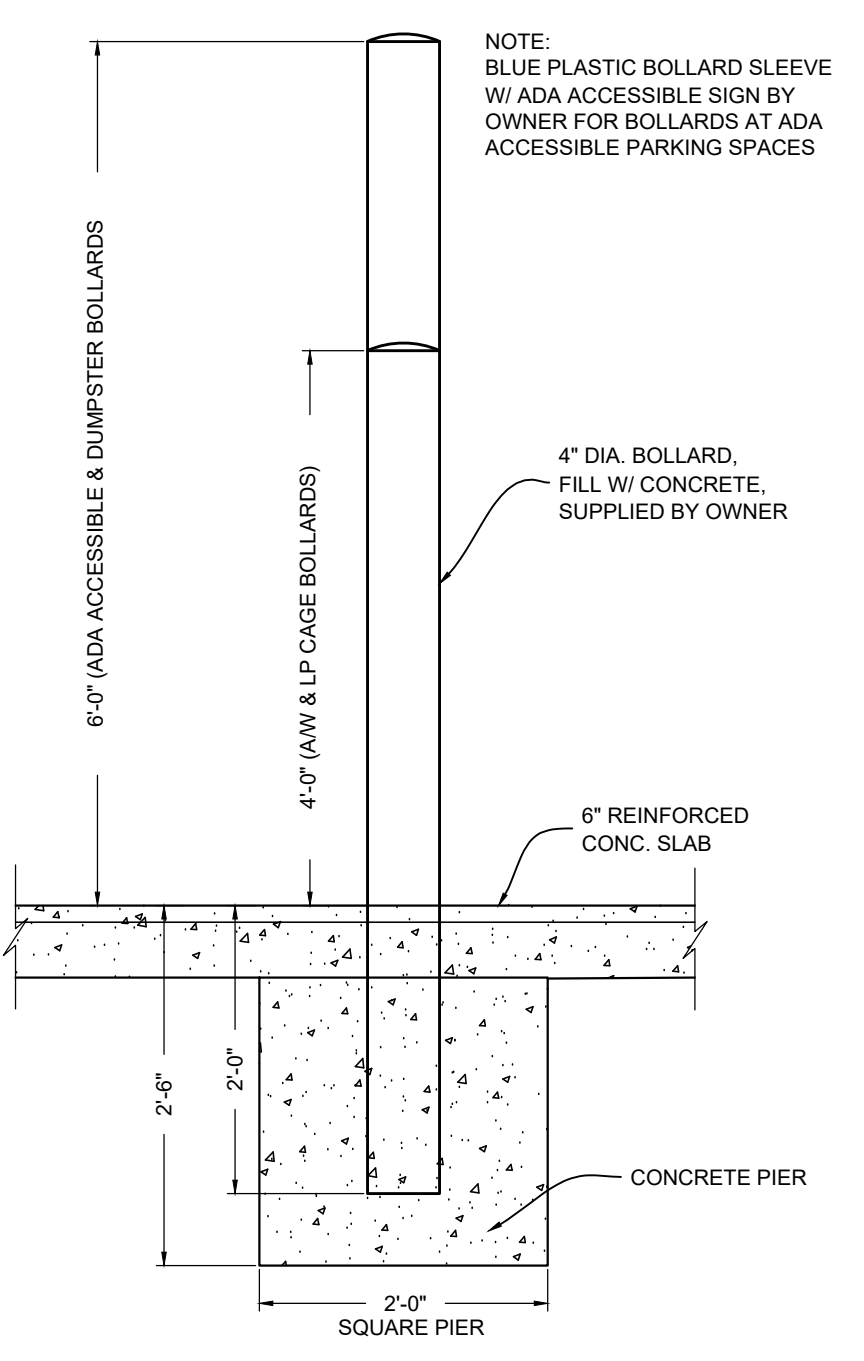
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3.0 DUMPSTER DETAIL
N.T.S.



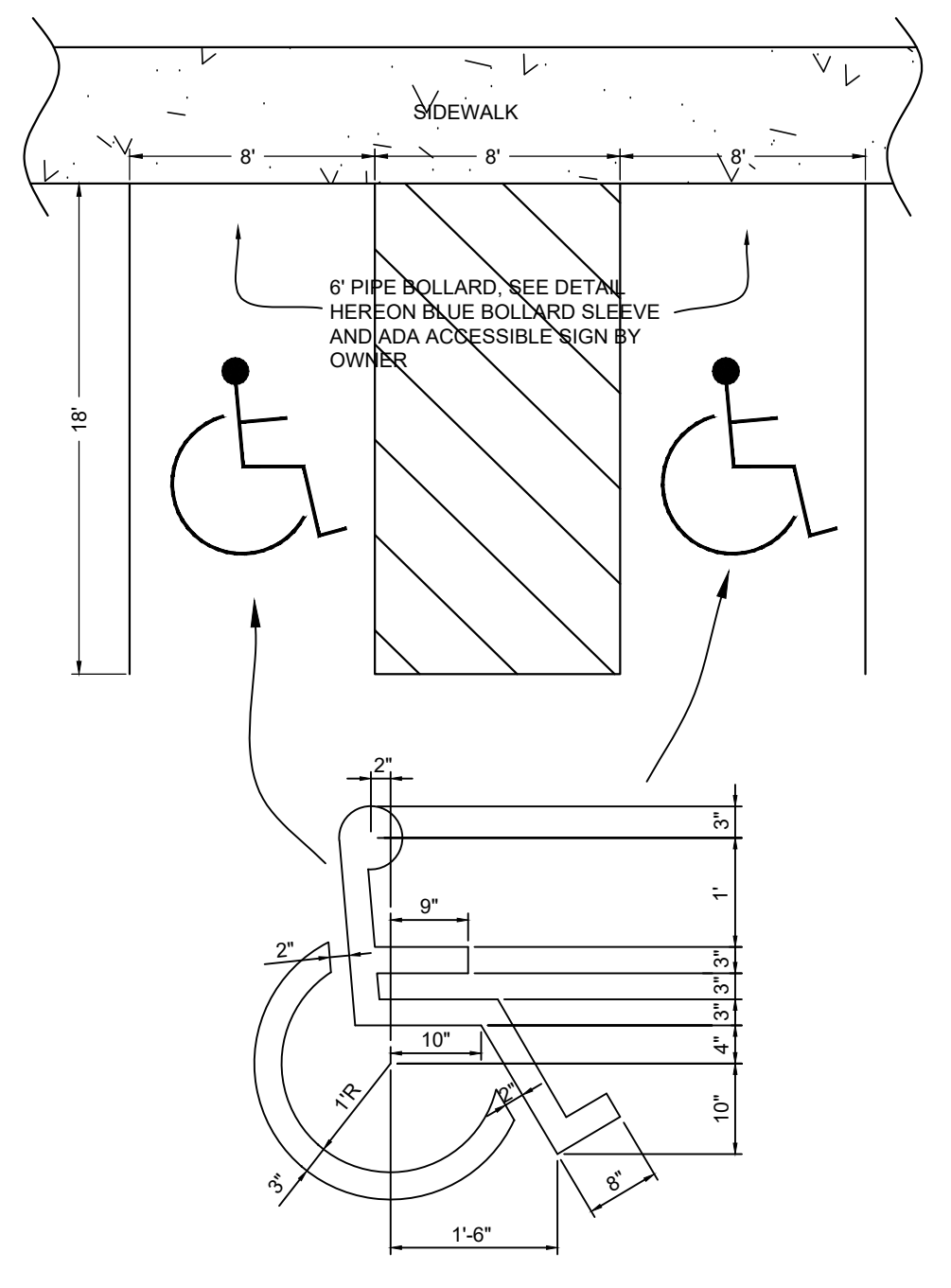
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3.0 AIR & WATER CONC. PAD
N.T.S.



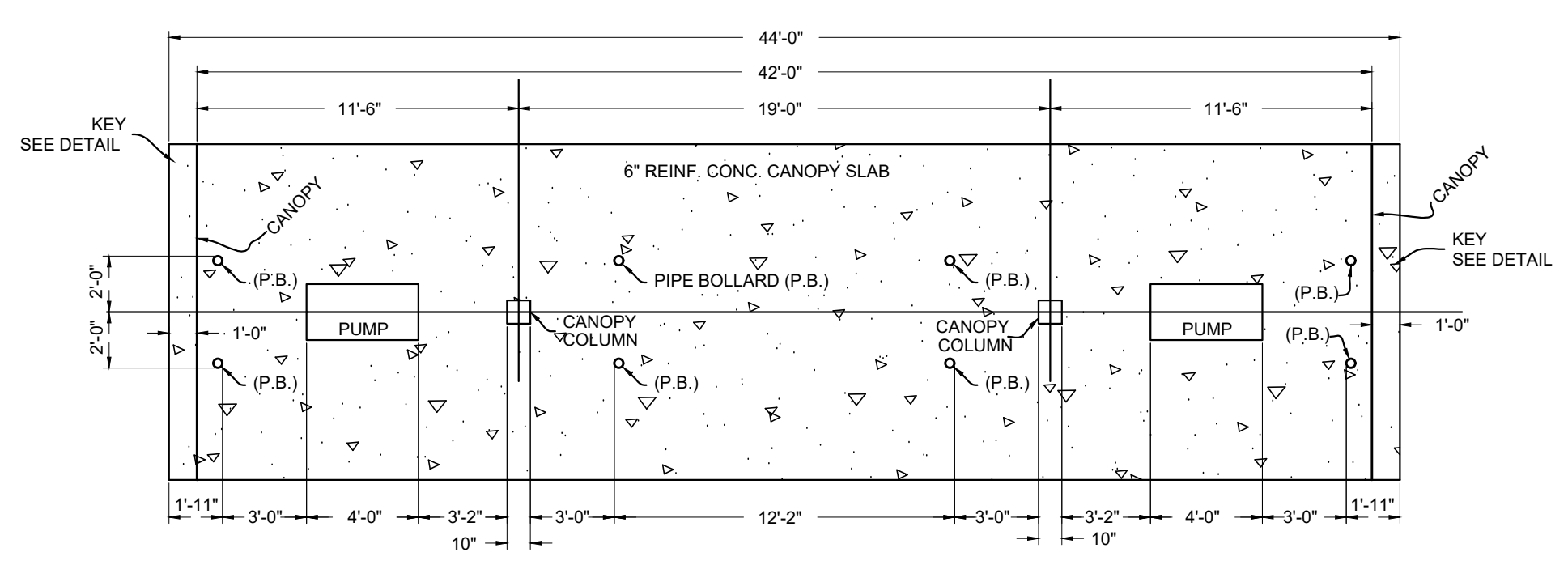
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3.0 DIESEL PUMP ISLAND PLAN SECTION
N.T.S.



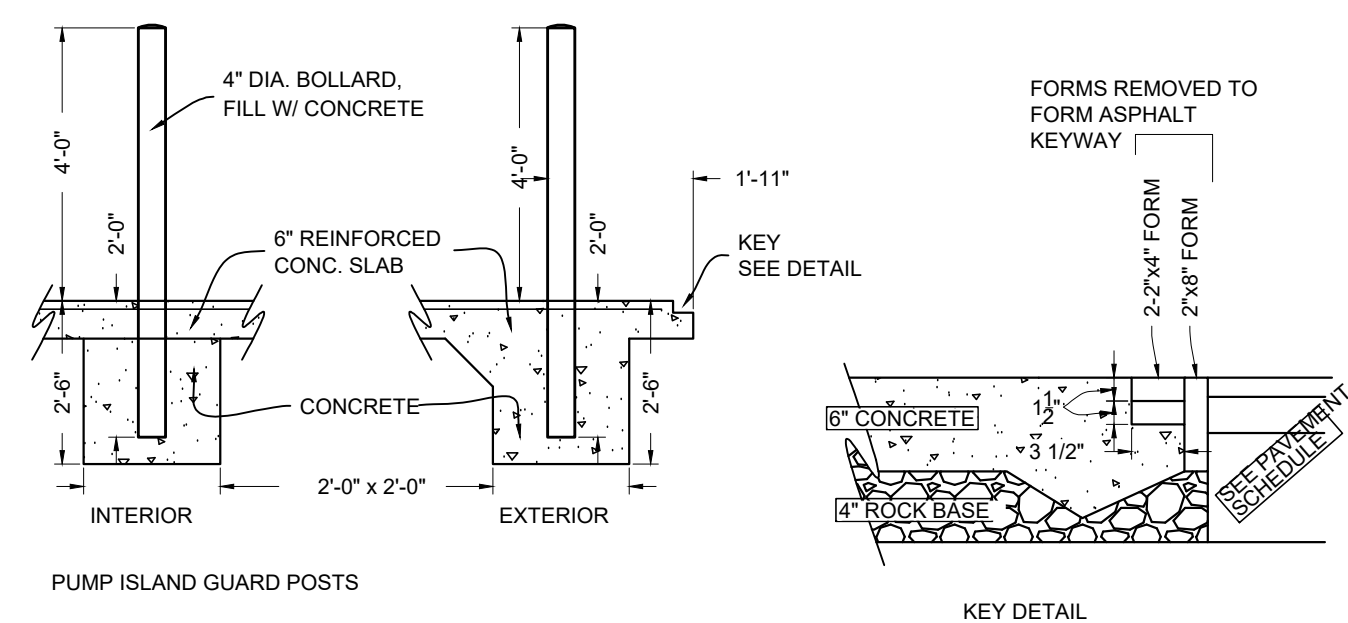
2
3.0 PIPE BOLLARD DETAIL
N.T.S.



3
3.0 ADA ACCESSIBLE SPACE DETAIL
N.T.S.



1
3.0 PUMP ISLAND PLAN SECTION
N.T.S.



PUMP ISLAND GUARD POSTS
KEY DETAIL

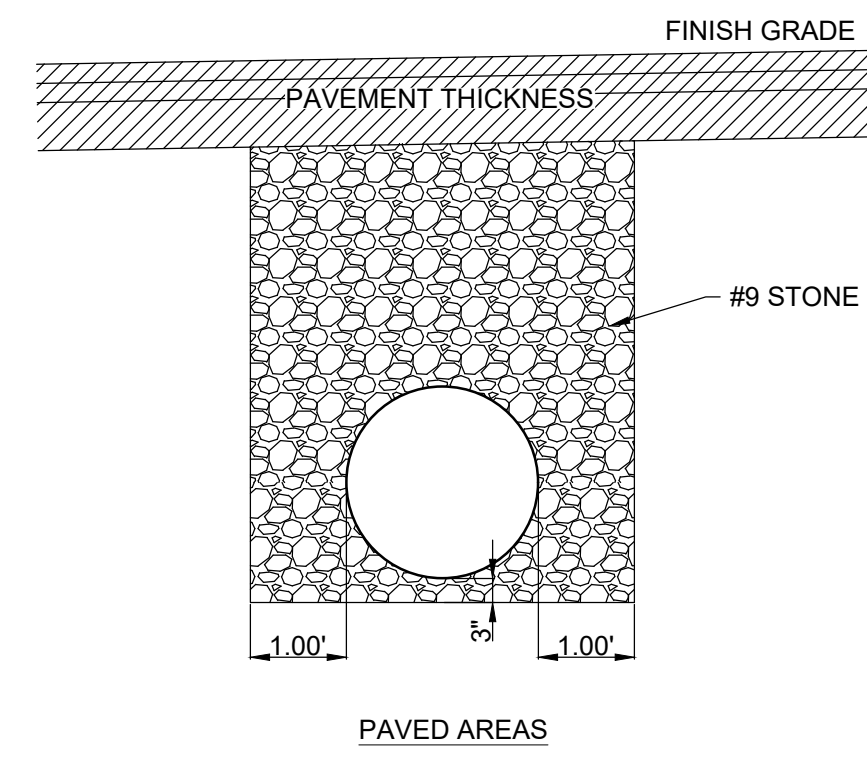
MARK	DESCRIPTION	DATE

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270-717-1167

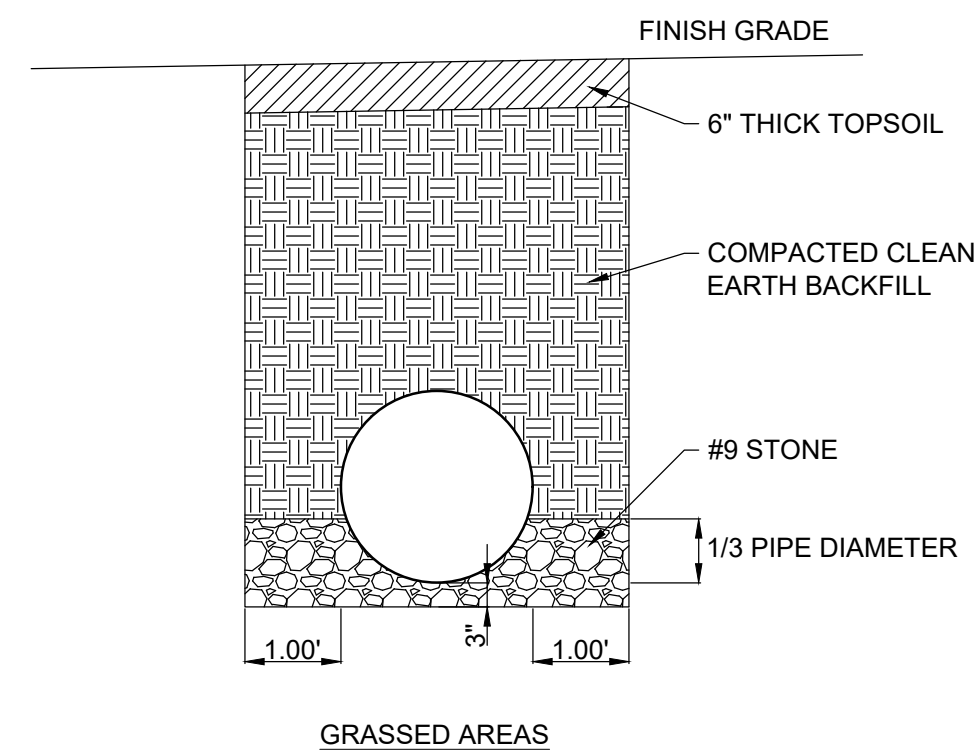
ENGINEER: ESK
CLIENT ADDRESS: NEWCOMB OIL
951 WITHROW COURT
BARDSTOWN, KY 40004
DWN BY: CRK
CDD BY: CRK
PLOT DATE: 6-20-2022
SIZE: 24x36
CRD FILE: 2202201E
FILE NAME: 2202201E

DETAILS
FIVESTAR
5 JOLLY WAY
CADIZ, KY 42211

SHEET IDENTIFICATION
C3.0

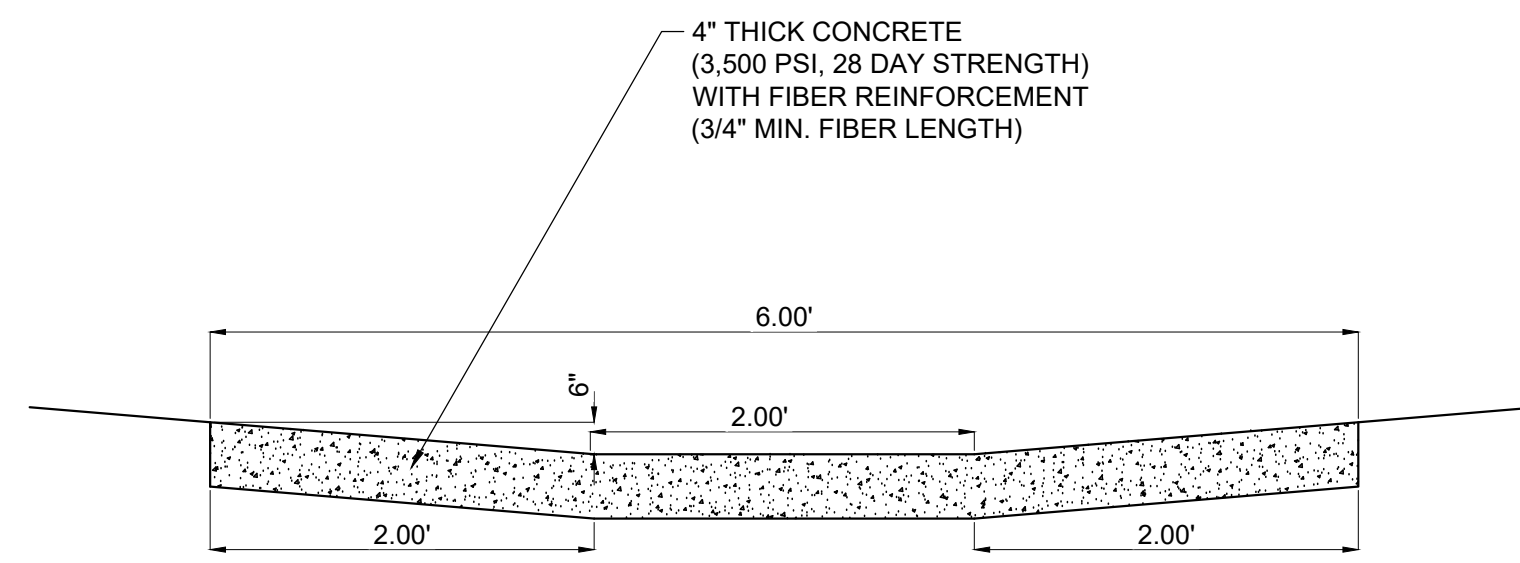


PAVED AREAS

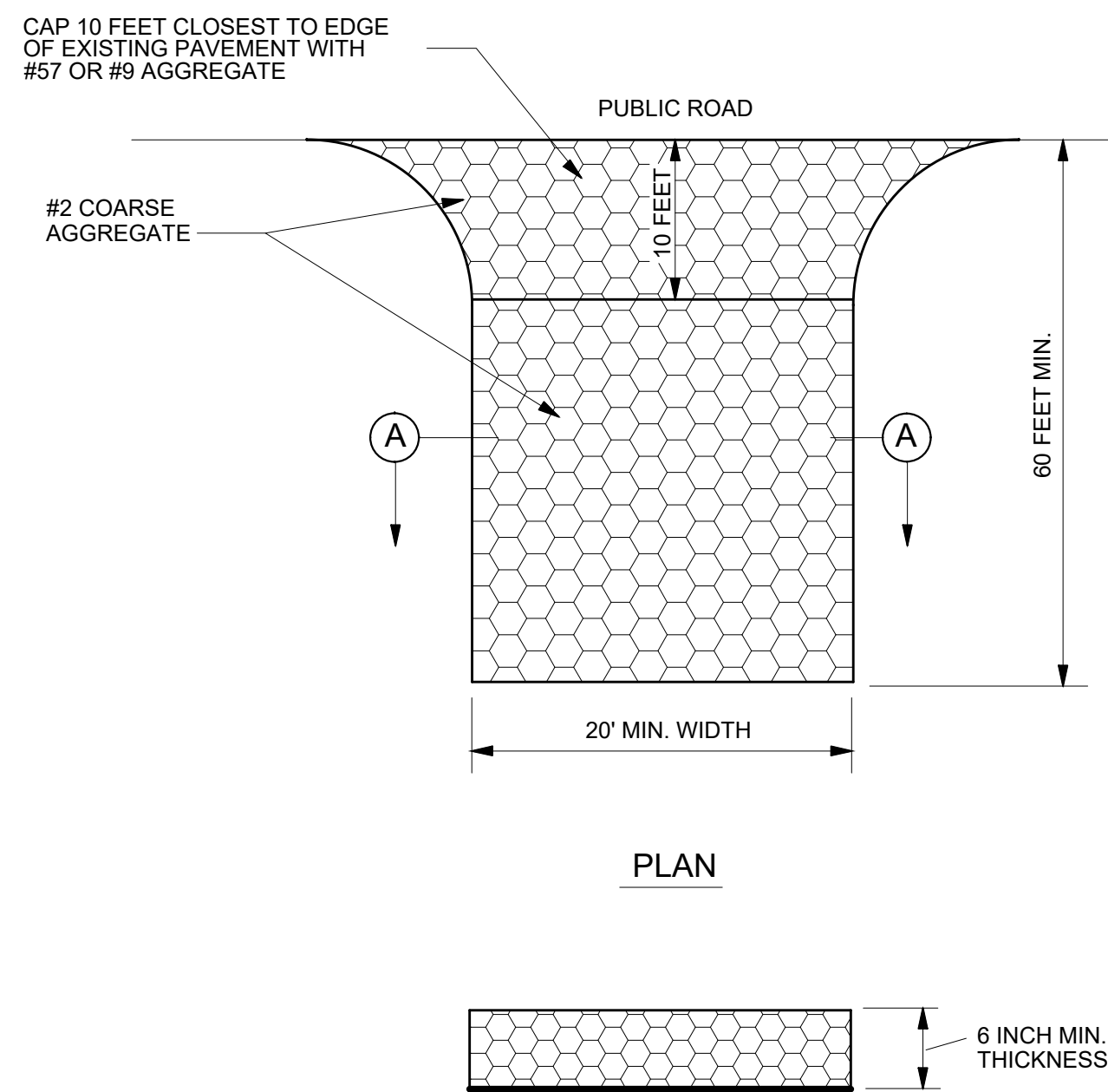


GRASSED AREAS

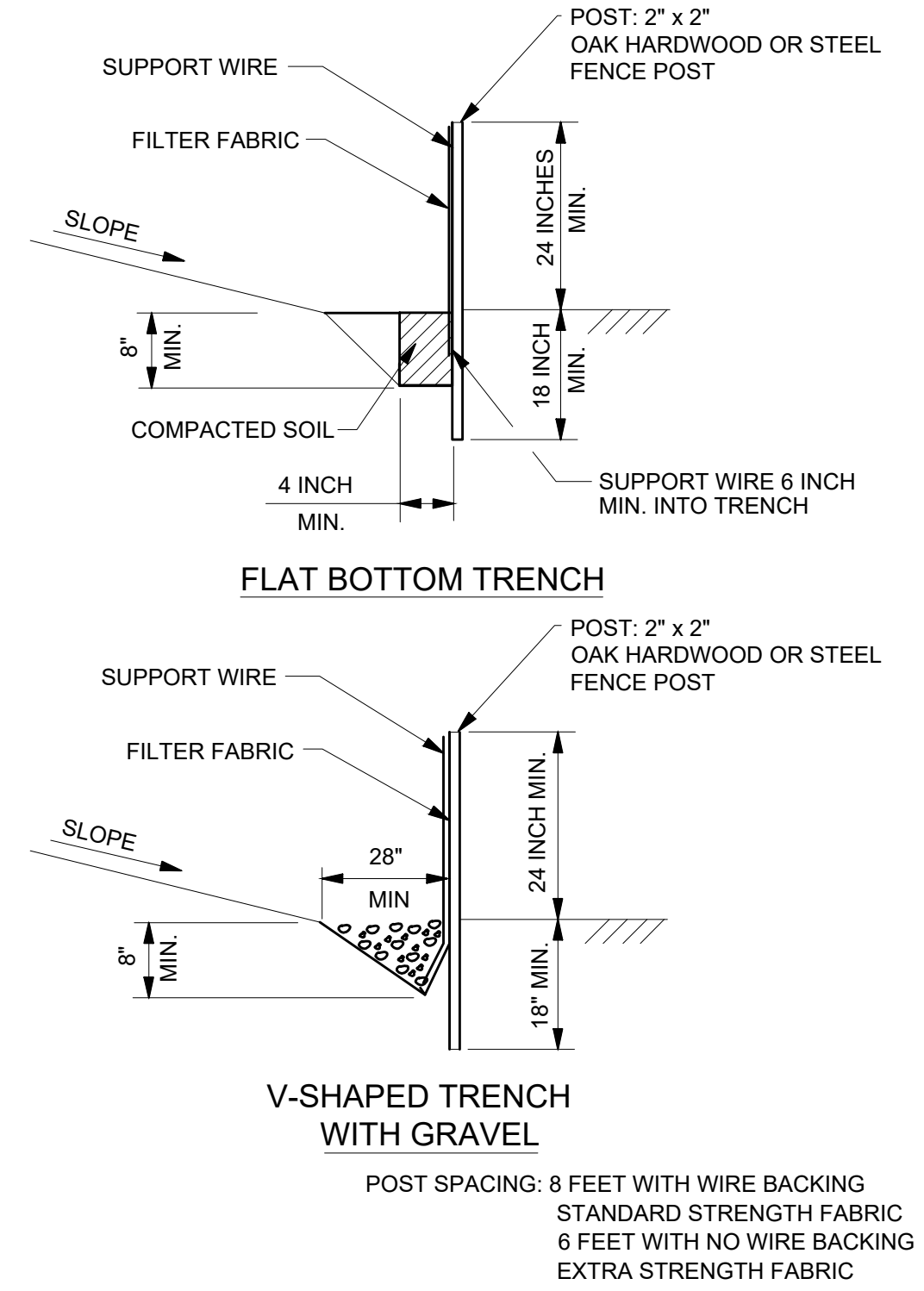
5 PIPE BEDDING DETAIL
SCALE: NTS



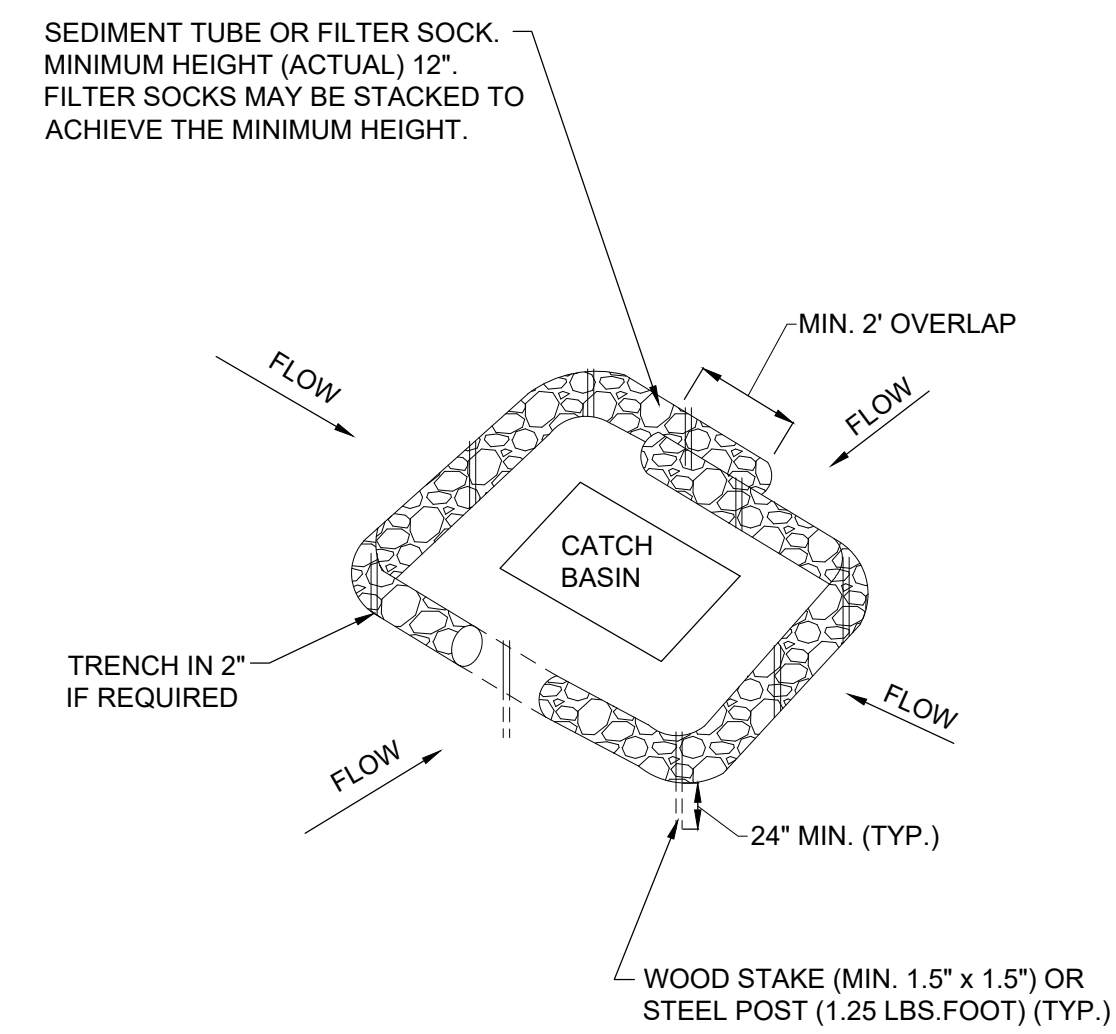
6 6' WIDE CONCRETE SWALE
NTS



1 TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE/EXIT PAD
NTS



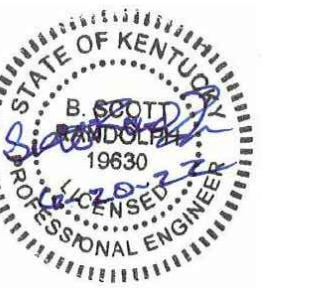
2 SILT FENCE
NTS



3 INLET PROTECTION
NTS

NOT USED

4 NTS



MARK	DESCRIPTION	DATE
△	REVISE GRADES & DRAINAGE	6-30-22

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ENGINEER: BSR	CKD BY: CRK	CRD FILE: 22022516
CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARDSTOWN, KY 40004	FILE NAME: 22022516	
	PLOT DATE: 6-30-2022	
	SIZE: 24x36	

DETAILS
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CADIZ, KY 42211

SHEET
IDENTIFICATION
C3.1