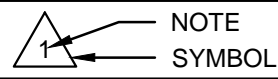


# NEW CONSTRUCTION MONIN WAREHOUSE

1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

| CONSTRUCTION DRAWINGS |   |  |
|-----------------------|---|--|
| ISSUE DATE:           | 09-02-2022  |  |
| REVISIONS:            |  NOTE SYMBOL |  |
|                       |   |  |
|                       |   |  |
|                       |   |  |
|                       |   |  |

## ARCHITECT:

KEYES ARCHITECTS AND ASSOCIATES  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213  
PH: (502) 636-5113  
CONTACT: DOUG STURGEON  
EMAIL: DSTURGEON@KEYESARCHITECTS.COM  
ARCHITECT: CHARLES J. KEYES III

## OWNER

BARDSTOWN WAREHOUSING, INC.  
1065 BLOOMFIELD ROAD  
BARDSTOWN, KENTUCKY 40004  
PH: (502) 348-3503  
CONTACT: CHRIS MONIN

## GENERAL CONTRACTOR

BCD, INC.  
1962 FILIATREAU LANE  
BARDSTOWN, KENTUCKY 40004  
PH: (502) 348-2305  
CONTACT: JASON HARROD  
EMAIL: JHARROD@BARDSTOWN.COM



### PROJECT INFORMATION

APPLICABLE BUILDING CODES  
BUILDING CODE: KBC 2018  
ACCESSIBILITY CODE: 2010  
ADA/ANSI 117.1  
ENERGY CODE: IECC 2012

USE AND OCCUPANCY: S2 - STORAGE  
CONSTRUCTION TYPE: II-B

BUILDING INFORMATION  
BUILDING AREA: 203,000 s.f.

FIRE SUPPRESSION: FULLY SPRINKLERED PER NFPA 13  
GENERAL WAREHOUSE USE

### OCCUPANCY ALLOWANCE

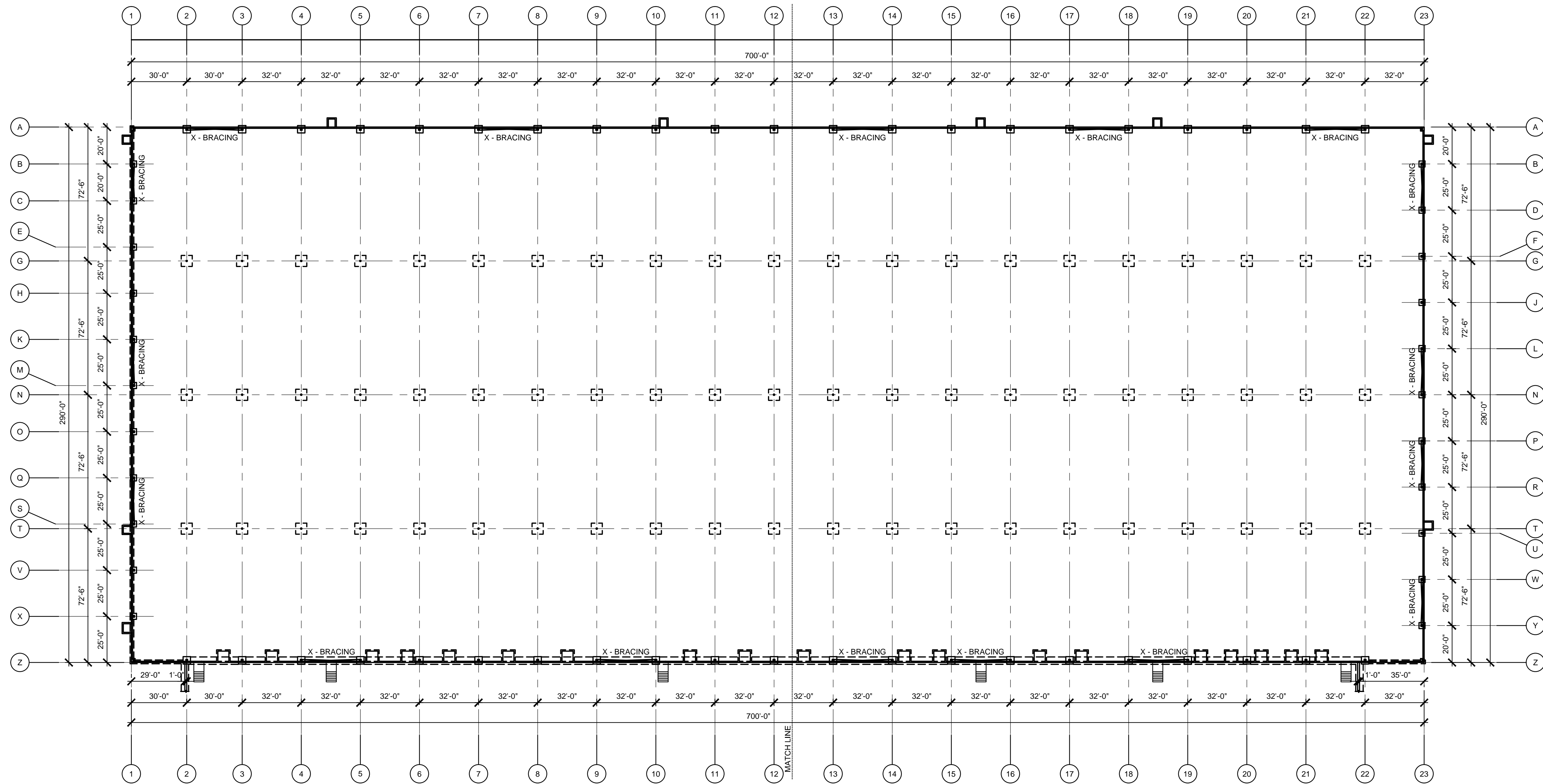
| FUNCTION OF SPACE          | ALLOWANCE   | AREA    | OCCUPANCY |
|----------------------------|-------------|---------|-----------|
| WAREHOUSE                  | 500 (GROSS) | 203,000 | 406       |
| TOTAL OCCUPANCY ALLOWANCE: |             |         | 406       |

## Sheet List Table

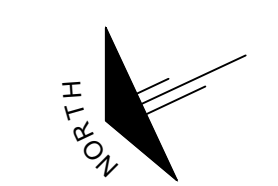
| Sheet Number               | Sheet Title                      |
|----------------------------|----------------------------------|
| T1.01                      | Title Sheet                      |
| Foundation Plans & Details |                                  |
| F1.01                      | Foundation Plan                  |
| F1.02                      | Enlarged Partial Foundation Plan |
| F1.03                      | Enlarged Partial Foundation Plan |
| F2.01                      | Foundation Details               |
| F2.02                      | Foundation Details               |
| Life Safety Plans          |                                  |
| LS1.01                     | Life Safety Plan                 |
| Floor Plans                |                                  |
| A1.01                      | Floor Plan                       |
| A1.02                      | Enlarged Floor Plan              |
| A1.03                      | Enlarged Floor Plan              |
| A1.04                      | Enlarged Partial Floor Plans     |
| Exterior Elevations        |                                  |
| A2.01                      | Overall Exterior Elevations      |
| A2.02                      | Enlarged Exterior Elevations     |
| Schedules and Standards    |                                  |
| A3.01                      | Commercial ADA-Ansi Guidelines   |
| A3.02                      | Accessibility Site Details       |
| A3.03                      | Schedules                        |
| Details & Sections         |                                  |
| A5.01                      | Building Section                 |
| A5.02                      | Wall Sections & Details          |
| A5.03                      | Wall Sections & Details          |
| A5.04                      | Sections & Details               |
| A6.01                      | Door Details                     |
| A6.02                      | Window Details                   |
| Specifications             |                                  |
| SP1.01                     | Specifications                   |
| SP1.02                     | Specifications                   |

**FOUNDATION NOTES**

- 1) CONCRETE CONTRACTOR MUST VERIFY LOCATION, SIZES AND PLACEMENT OF ANCHOR BOLTS USING BUILDING MANUFACTURER'S DATA. CONTRACTOR MUST VERIFY IN FIELD.
- 2) ALL CONCRETE TO BE 4,000 P.S.I.
- 3) CONTRACTOR TO PROVIDE REINFORCED CONCRETE WORK REQUIRED FOR BRACED BAYS. VERIFY REQUIREMENTS WITH BUILDING MANUFACTURER.
- 4) CONTRACTOR TO SUPPLY ARCHITECT WITH BUILDING MANUFACTURER'S STAMPED ENGINEERING DRAWINGS AND BASE REACTIONS BEFORE BEGINNING CONSTRUCTION SO THAT ARCHITECT MAY VERIFY FOUNDATION DESIGN.
- 5) ALL FOOTINGS AND PIERS ARE TO BE CENTERED ON THE BUILDING COLUMNS UNLESS OTHERWISE NOTED.
- 6) COLUMN PIERS ARE TO BE PLACED INTEGRAL WITH THE GRADE BEAM OR FOUNDATION WALLS WITH REINFORCING TO BE CONTINUOUS THROUGH PIERS.
- 7) COLUMN PIERS MUST BE MIN. 12" ANY DIRECTION PLUS 1" PAST MANUF. BASE PLATES. GROUT SOLID BETWEEN PIER AND BASE PLATE. CONTRACTOR MUST COORDINATE WITH BUILDING MANUFACTURER AND VERIFY IN FIELD.
- 8) BUILDING FOUNDATIONS ARE DESIGNED FOR 1,500 P.S.F. SOIL BEARING CAPACITY. VERIFY BEFORE CONSTRUCTION.
- 9) ALL ANCHOR BOLTS TO BE SET BY TEMPLATE MATCHING BUILDING MANUFACTURER'S LAYOUTS.
- 10) NO FIELD ALTERING OF BASE PLATES IS ALLOWED.
- 11) JUNCTURE OF FLOOR SLAB WITH ALL PIERS AND GRADE TO BE 1/2" WIDE EXPANSION JOINT MATERIAL.
- 12) CONTRACTOR TO SET OVERHEAD DOOR JAMB ANCHORS INTO FLOOR SLAB AS REQUIRED BY BUILDING MANUFACTURER.
- 13) FLOOR SLAB TO BE POURED THRU AT ALL DOORWAYS. SLOPE 2% TO OUTSIDE.
- 14) BUILDING ANCHOR BOLTS TO BE DIAMETER DESIGNED BY BUILDING MANUFACTURER. LENGTHS TO BE 3" PROJECTION, 15" IMBEDDED W/ 3" HOOK UNLESS OTHERWISE DESIGNED BY MANUFACTURER OR HERE IN.
- 15) FOOTING TO REST ON UNDISTURBED SOIL OR ENGINEERED FILL AS PRESCRIBED BY GEOTECHNICAL ENGINEER.



**01 OVERALL FOUNDATION PLAN**  
SCALE: 1/32" = 1'-0"



**NOTE:** GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER

**NOTE:** ELECTRICAL, HVAC AND PLUMBING TO BE RELOCATED (WHERE APPLICABLE) PER FEDERAL, STATE AND LOCAL CODES. GENERAL CONTRACTOR TO COORDINATE.

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CONSTRUCTION DRAWINGS



**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

PROJECT: MONIN WAREHOUSE - FILE: F1.02 Enlarged Partial Foundation Plan.dwg - DATE: Sep 02, 2022 4:33PM - BY: DOUG STURGEON

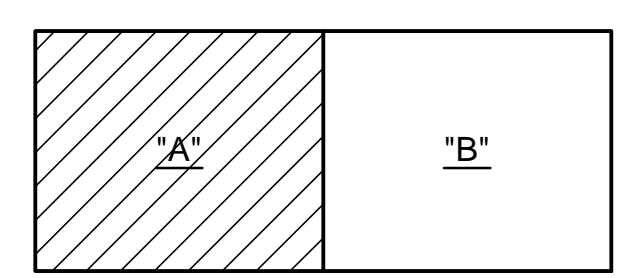
PROJECT NO:  
22-4350  
DRAWN BY:  
DES/  
DATE:  
09-02-2022

| FOOTING SCHEDULE |                       |                             |           |          |         |
|------------------|-----------------------|-----------------------------|-----------|----------|---------|
| TYPE             | SIZE                  | REINFORCING                 | MIN. PIER | DETAILS  | REMARKS |
| A                | 2'-0" x 2'-0" x 1'-3" | (3) #5 BARS E.W. BTM.       | 16" x 21" | 01/F2.01 | 4       |
| B                | 3'-3" x 3'-3" x 1'-3" | (4) #5 BARS E.W. BTM.       | 12" x 21" | 01/F2.02 | 4       |
| C                | 4'-0" x 4'-0" x 1'-3" | (5) #5 BARS E.W. BTM.       | 12" x 21" | 01/F2.01 | 1, 4    |
| D                | 6'-0" x 6'-0" x 1'-6" | (9) #5 BARS E.W. BTM. & TOP | -         | 06/F2.01 | 2, 3    |
| E                | 4'-0" x 4'-0" x 1'-3" | (5) #5 BARS E.W. BTM.       | 12" x 21" | 05/F2.02 | 1       |
| F                | 3'-0" x 3'-0" x 1'-3" | (4) #5 BARS E.W. BTM.       | 12" x 21" | 01/F2.01 |         |
| G                | 3'-4" x 3'-4" x 1'-3" | (4) #5 BARS E.W. BTM.       | 12" x 21" | 01/F2.01 |         |

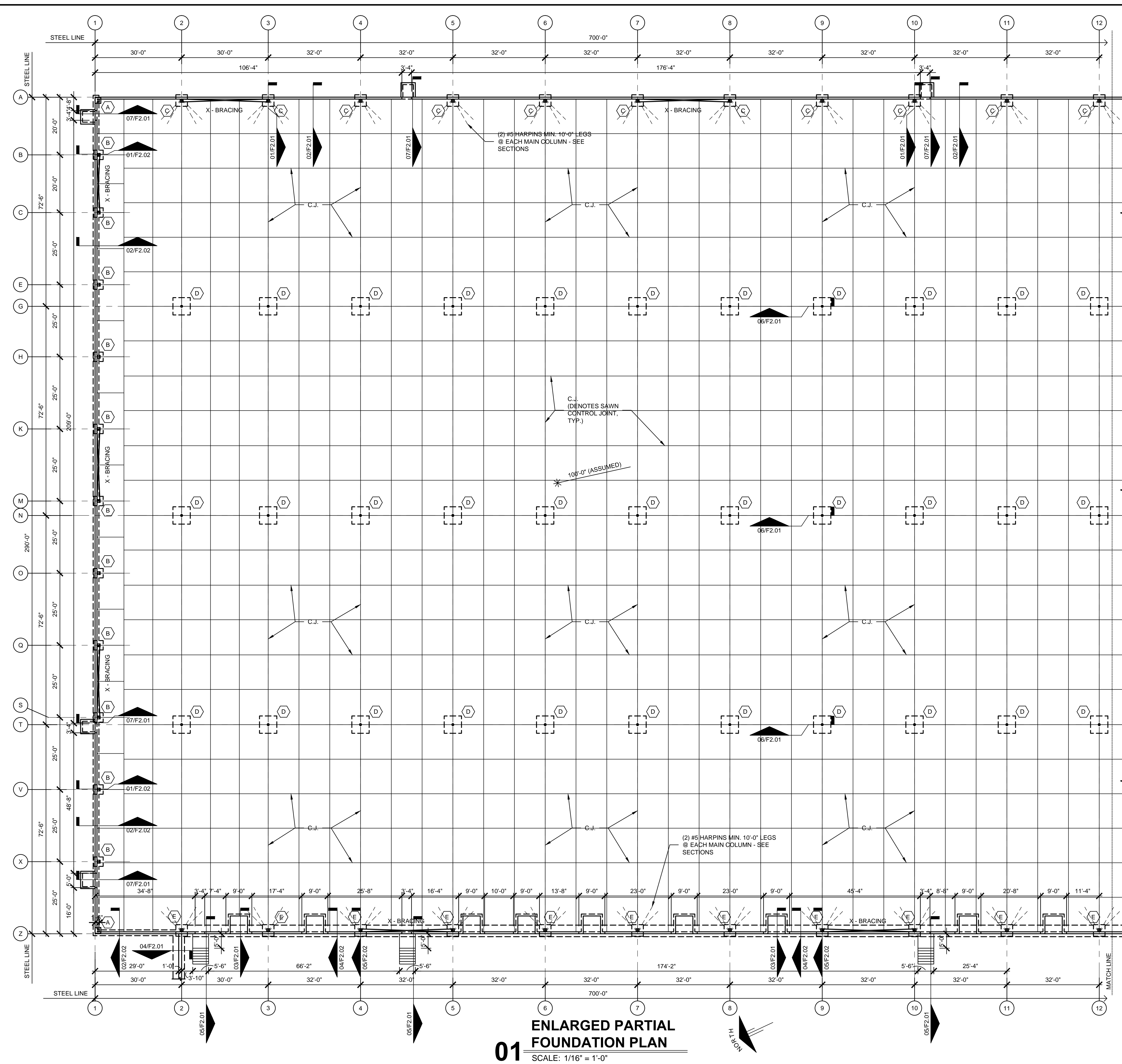
- FOOTING SCHEDULE REMARKS**
- DOUBLE 10'-0" HAIRPINS.
  - REBAR MAT TOP & BOTTOM.
  - INTERIOR BASE PLATES RECESSED 8" BELOW FINISHED SLAB.
4. SEE DETAILS 03, 04/A5.02 FOR MASONRY STRUCTURAL DETAILS.

**FOUNDATION NOTES**

- CONCRETE CONTRACTOR MUST VERIFY LOCATION, SIZES AND PLACEMENT OF ANCHOR BOLTS USING BUILDING MANUFACTURER'S DATA. CONTRACTOR MUST VERIFY IN FIELD.
- ALL CONCRETE TO BE 4,000 P.S.I.
- CONTRACTOR TO PROVIDE REINFORCED CONCRETE WORK REQUIRED FOR BRACED BAYS. VERIFY REQUIREMENTS WITH BUILDING MANUFACTURER.
- CONTRACTOR TO SUPPLY ARCHITECT WITH BUILDING MANUFACTURER'S STAMPED ENGINEERING DRAWINGS AND BASE REACTIONS BEFORE BEGINNING CONSTRUCTION SO THAT ARCHITECT MAY VERIFY FOUNDATION DESIGN.
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- ALL ANCHOR BOLTS TO BE SET BY TEMPLATE MATCHING BUILDING MANUFACTURER'S LAYOUTS.
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- FOOTING TO REST ON UNDISTURBED SOIL OR ENGINEERED FILL AS PRESCRIBED BY GEOTECHNICAL ENGINEER.
- PROVIDE PIPE BOLLARDS ON BOTH INTERIOR CORNERS OF ALL DOCK DOORS AND FOUR CORNERS OF DRIVE-IN DOORS - SEE DETAIL 03/F2.02
- CONTROL JOINTS (C.J.) SHALL BE SAW-CUT A MINIMUM OF 1/4 OF SLAB THICKNESS AND WITH A MINIMUM SPACING AS SHOWN ON THE DRAWINGS.

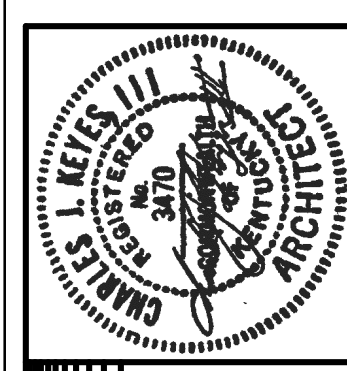


KEY PLAN



**01 ENLARGED PARTIAL FOUNDATION PLAN**  
SCALE: 1/16" = 1'-0"

CONSTRUCTION DRAWINGS



**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

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ENLARGED PARTIAL FOUNDATION PLAN  
**F1.02**

| FOOTING SCHEDULE |                       |                             |           |          |         |
|------------------|-----------------------|-----------------------------|-----------|----------|---------|
| TYPE             | SIZE                  | REINFORCING                 | MIN. PIER | DETAILS  | REMARKS |
| A                | 2'-0" x 2'-0" x 1'-3" | (3) #5 BARS E.W. BTM.       | 16" x 21" | 01/F2.01 | 4       |
| B                | 3'-3" x 3'-3" x 1'-3" | (4) #5 BARS E.W. BTM.       | 12" x 21" | 01/F2.02 | 4       |
| C                | 4'-0" x 4'-0" x 1'-3" | (5) #5 BARS E.W. BTM.       | 12" x 21" | 01/F2.01 | 1, 4    |
| D                | 6'-0" x 6'-0" x 1'-6" | (9) #5 BARS E.W. BTM. & TOP | -         | 06/F2.01 | 2, 3    |
| E                | 4'-0" x 4'-0" x 1'-3" | (5) #5 BARS E.W. BTM.       | 12" x 21" | 05/F2.02 | 1       |
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| G                | 3'-4" x 3'-4" x 1'-3" | (4) #5 BARS E.W. BTM.       | 12" x 21" | 01/F2.01 |         |

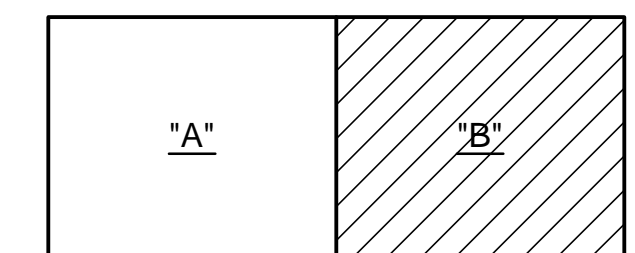
**FOOTING SCHEDULE REMARKS**

- DOUBLE 10'-0" HAIRPINS.
- REBAR MAT TOP & BOTTOM.
- INTERIOR BASE PLATES RECESSED 8" BELOW FINISHED SLAB.

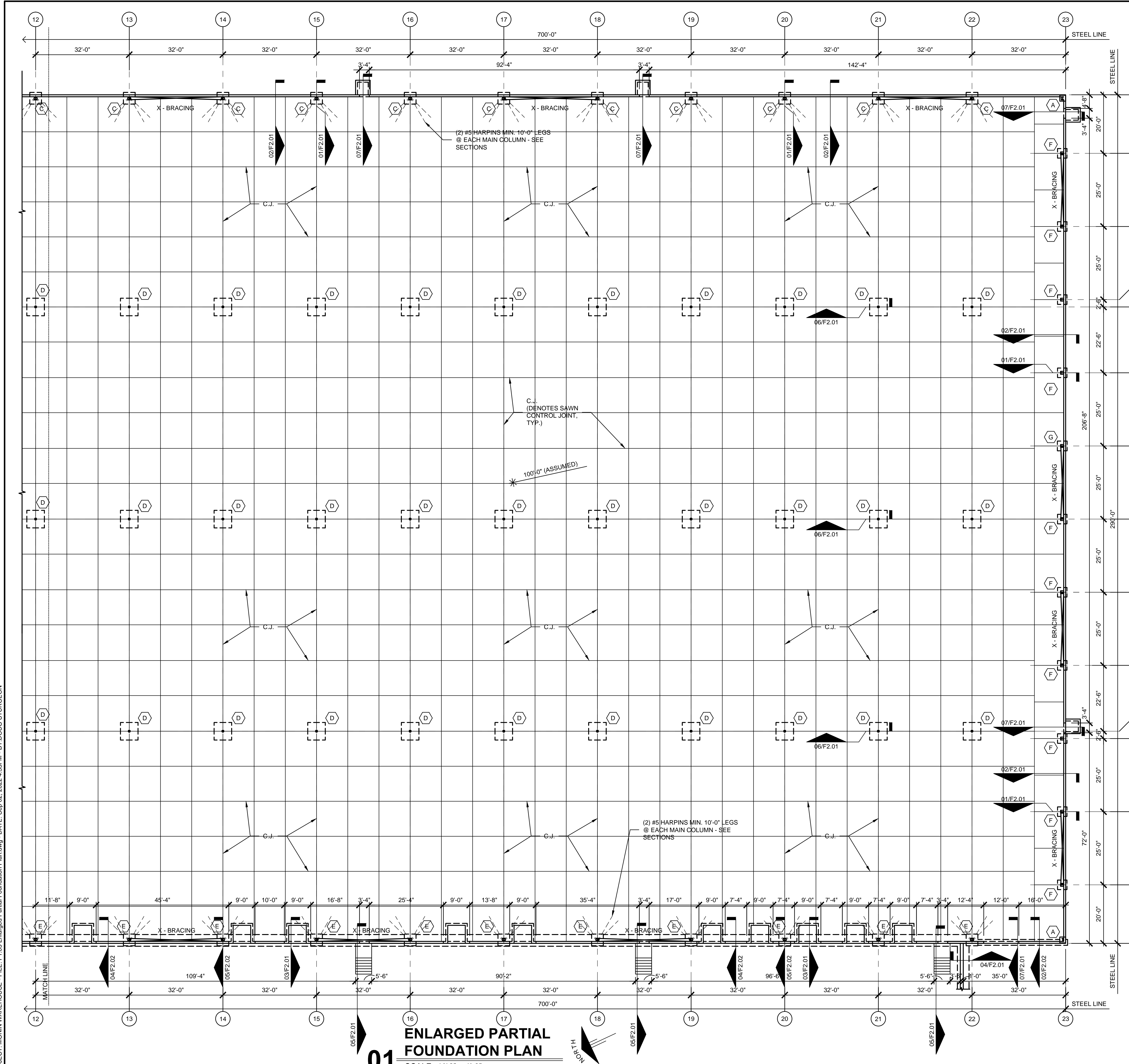
4. SEE DETAILS 03, 04/A5.02 FOR MASONRY STRUCTURAL DETAILS.

**FOUNDATION NOTES**

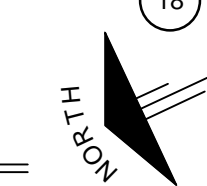
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KEY PLAN



**01 ENLARGED PARTIAL FOUNDATION PLAN**  
SCALE: 1/16" = 1'-0"



PROJECT: MONIN WAREHOUSE - FILE: F1.03 Enlarged Partial Foundation Plan.dwg - DATE: Sep 02, 2022 4:33PM - BY: DOUG STURGEON

CONSTRUCTION DRAWINGS

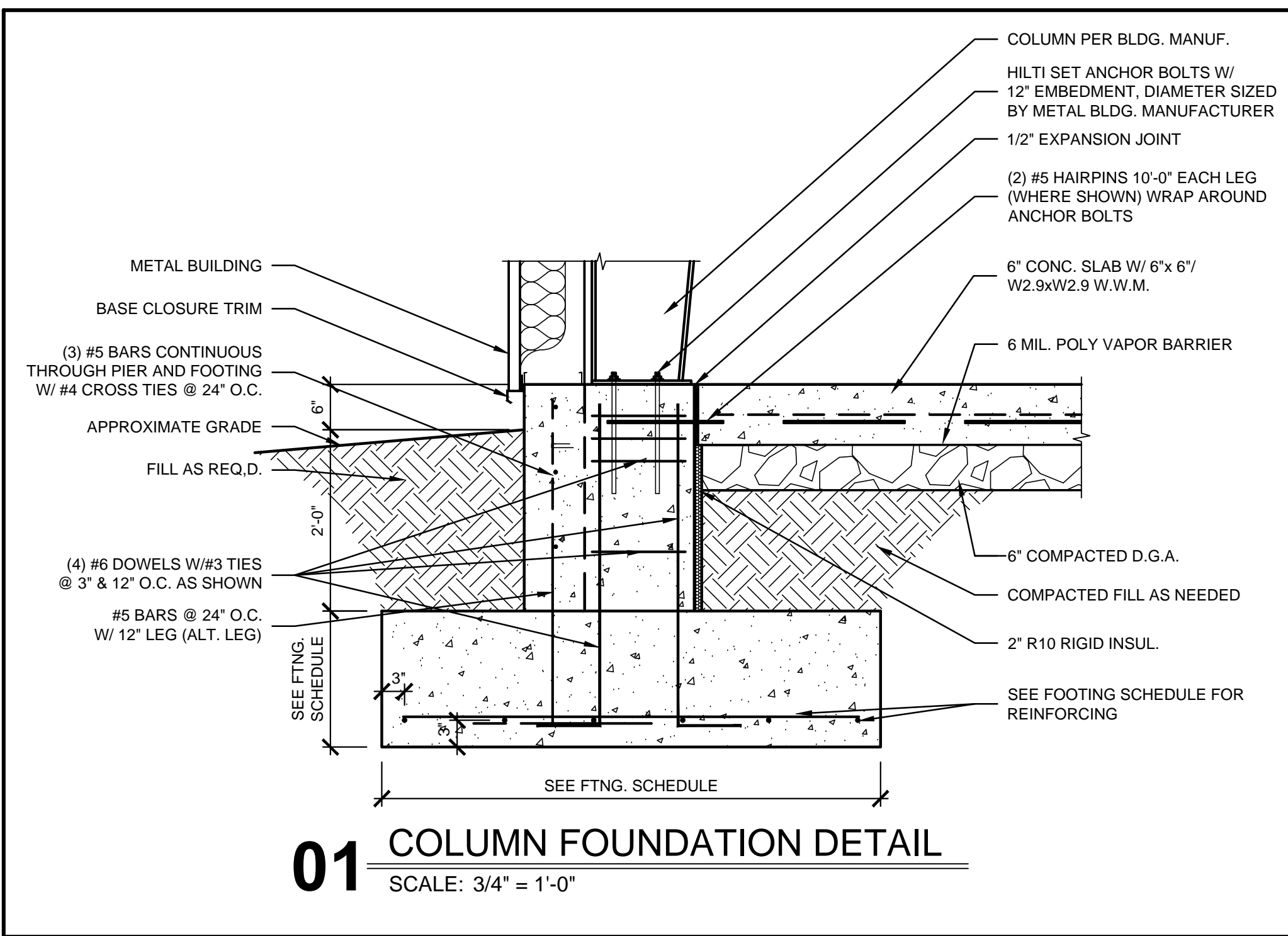


**KEYES ARCHITECTS & ASSOCIATES**  
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LOUISVILLE, KENTUCKY 40213 (502) 636-5113

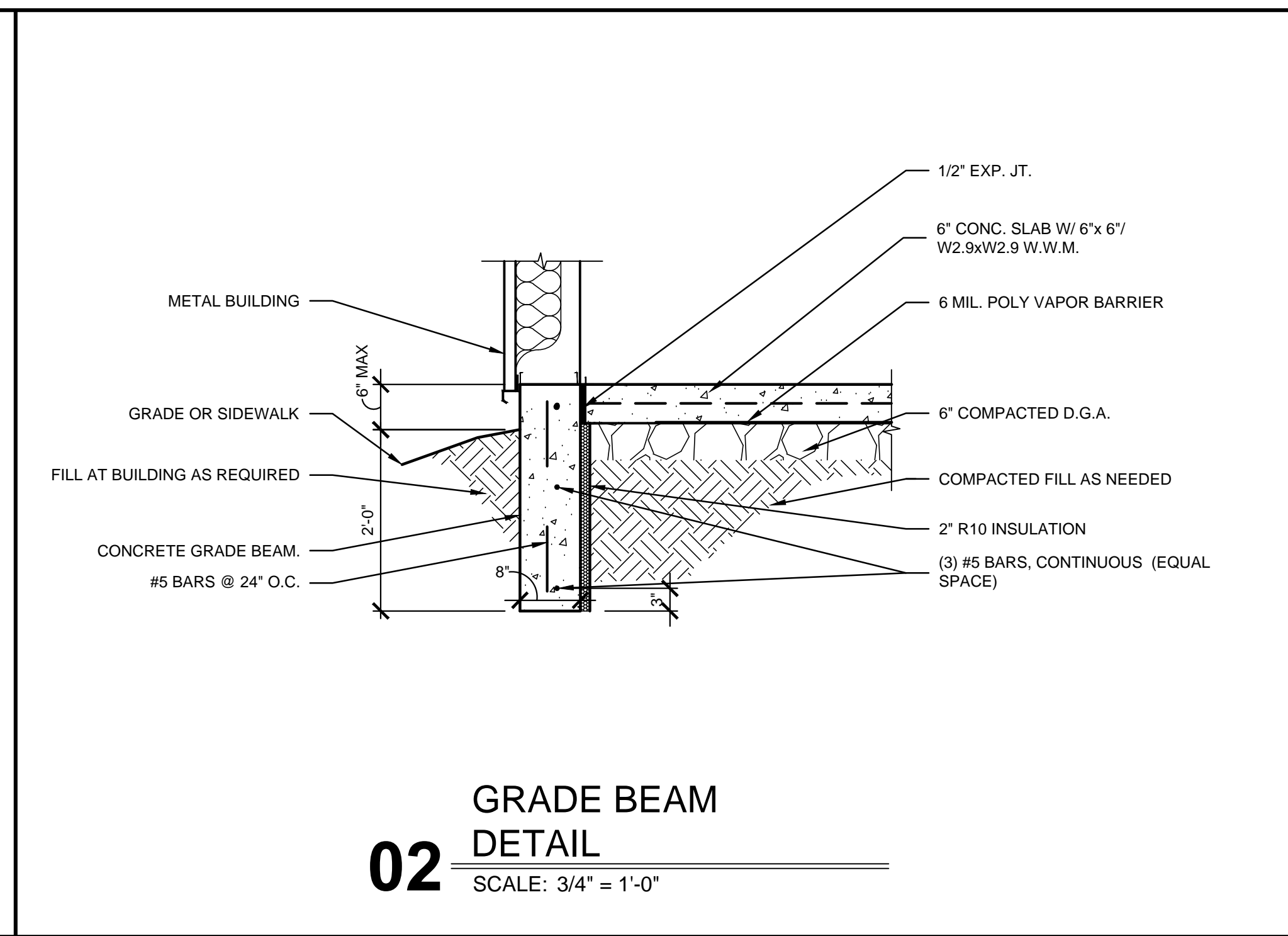
NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

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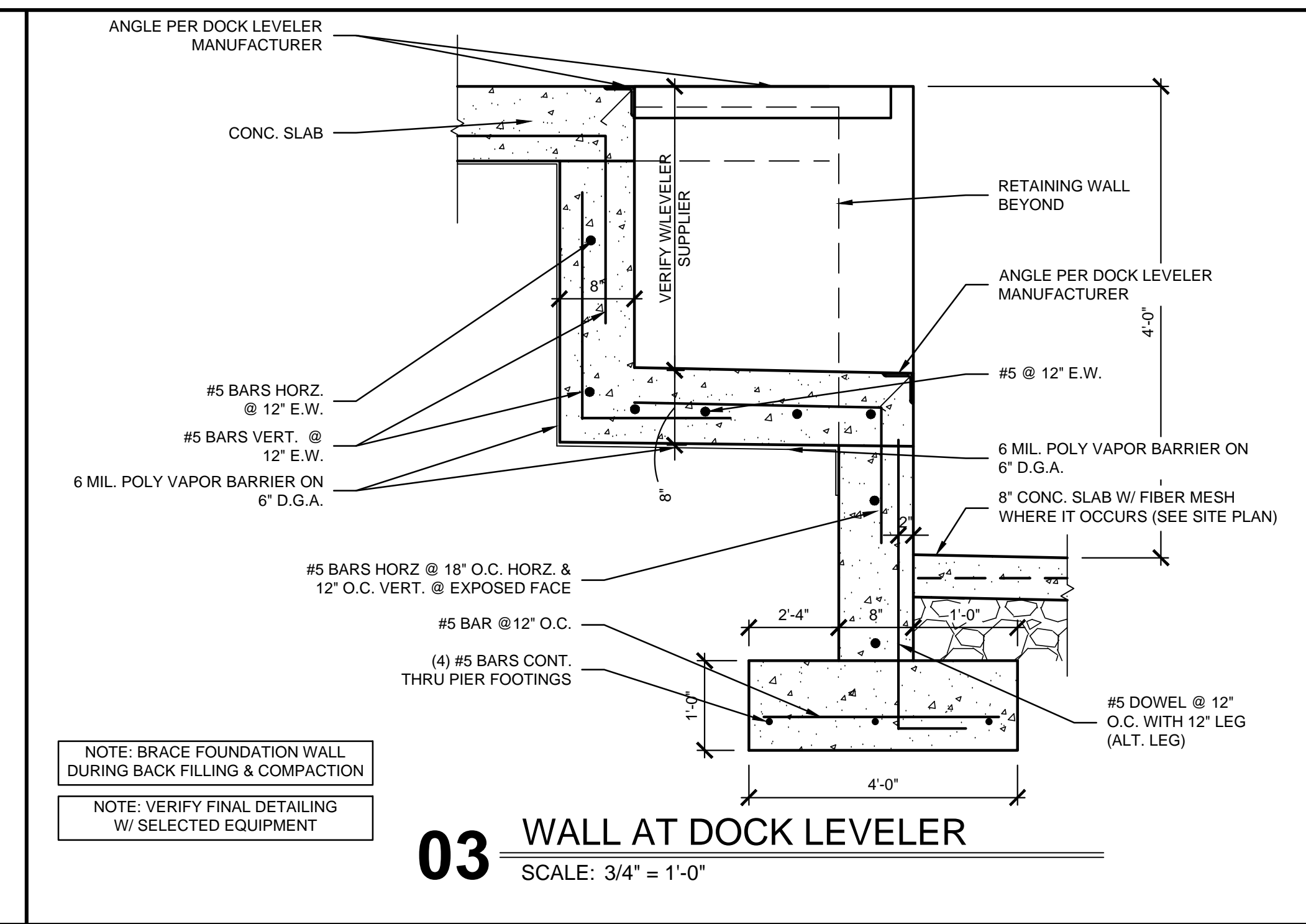
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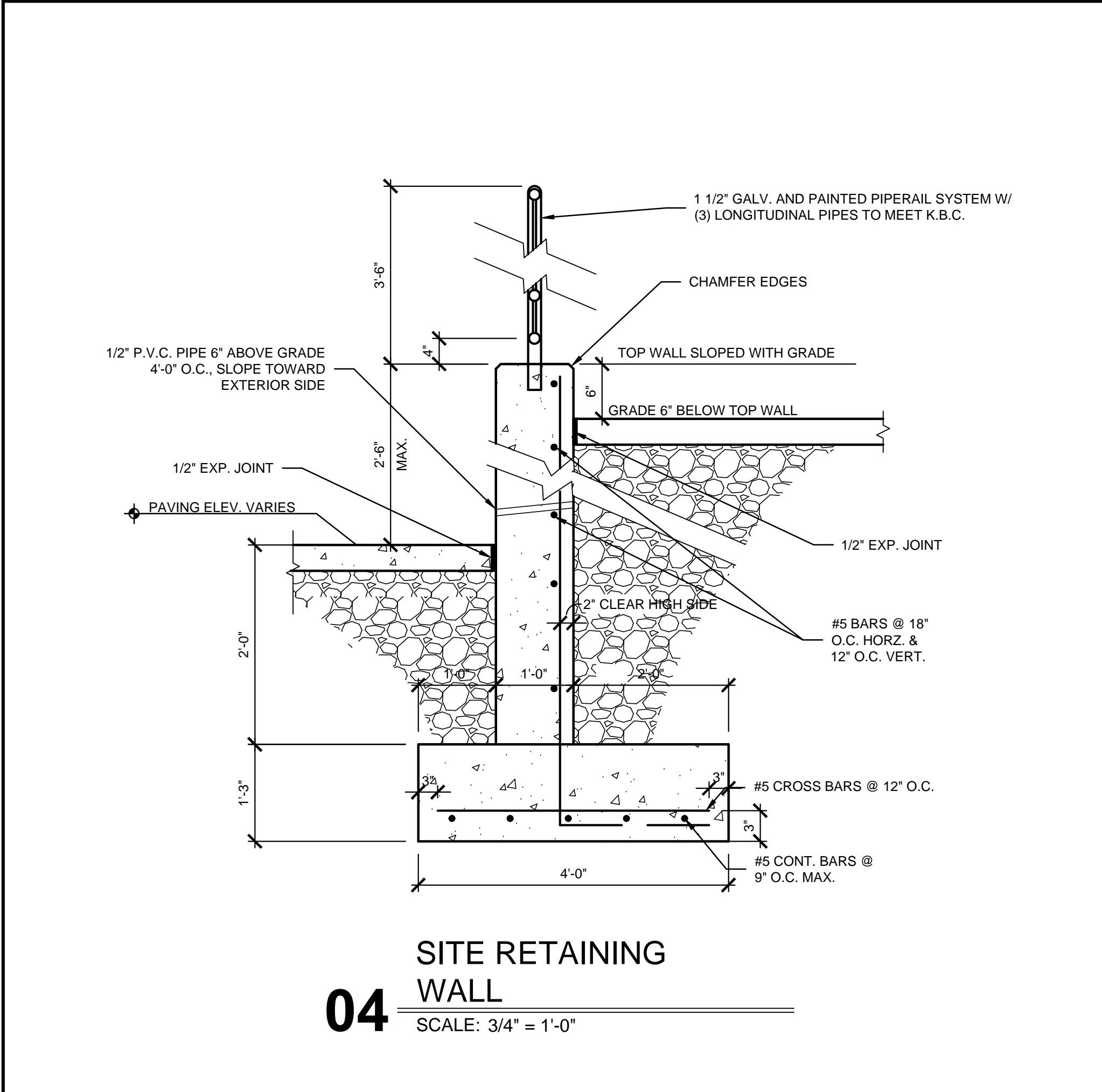
**01** COLUMN FOUNDATION DETAIL  
SCALE: 3/4" = 1'-0"



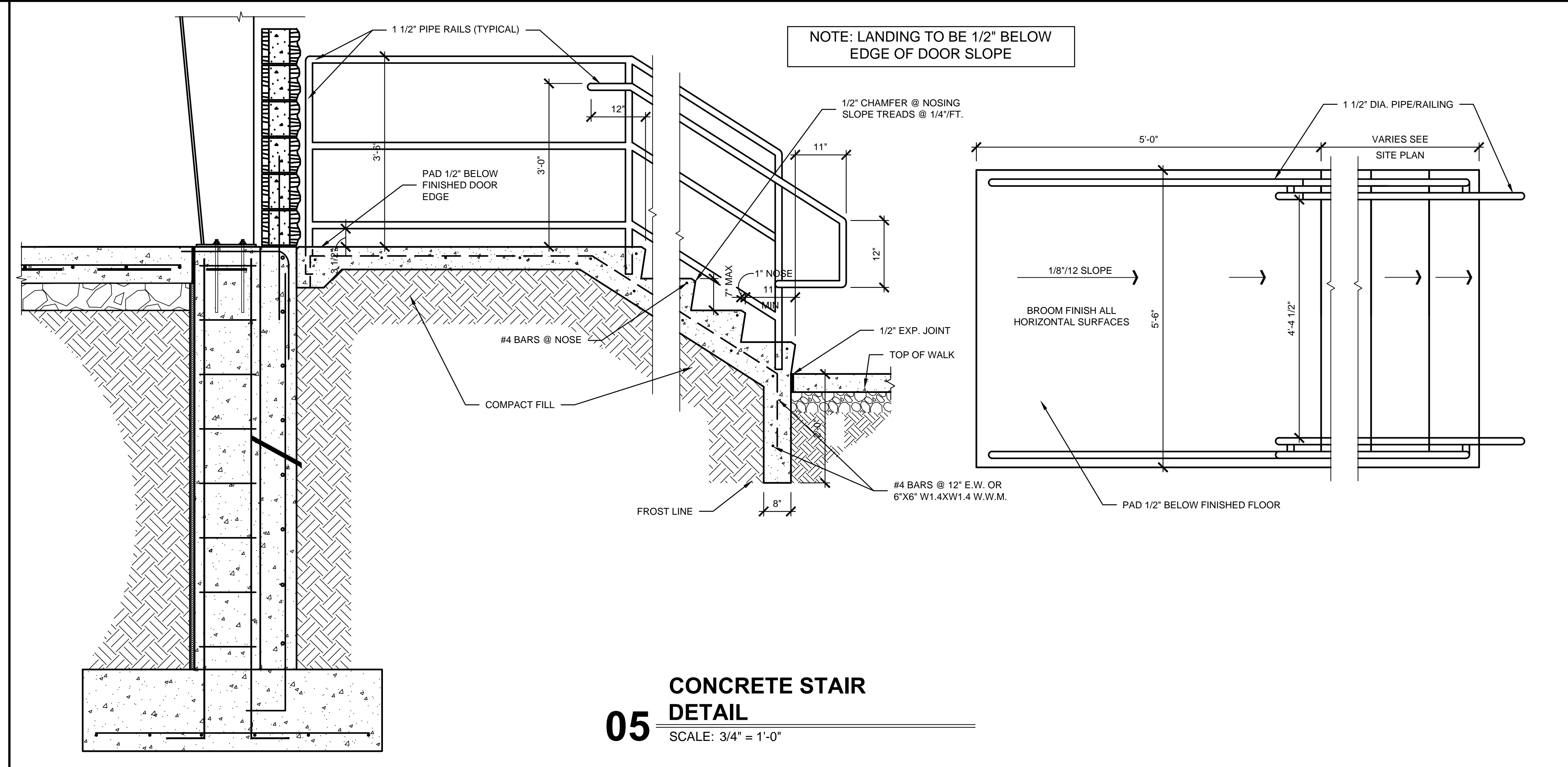
**02** GRADE BEAM DETAIL  
SCALE: 3/4" = 1'-0"



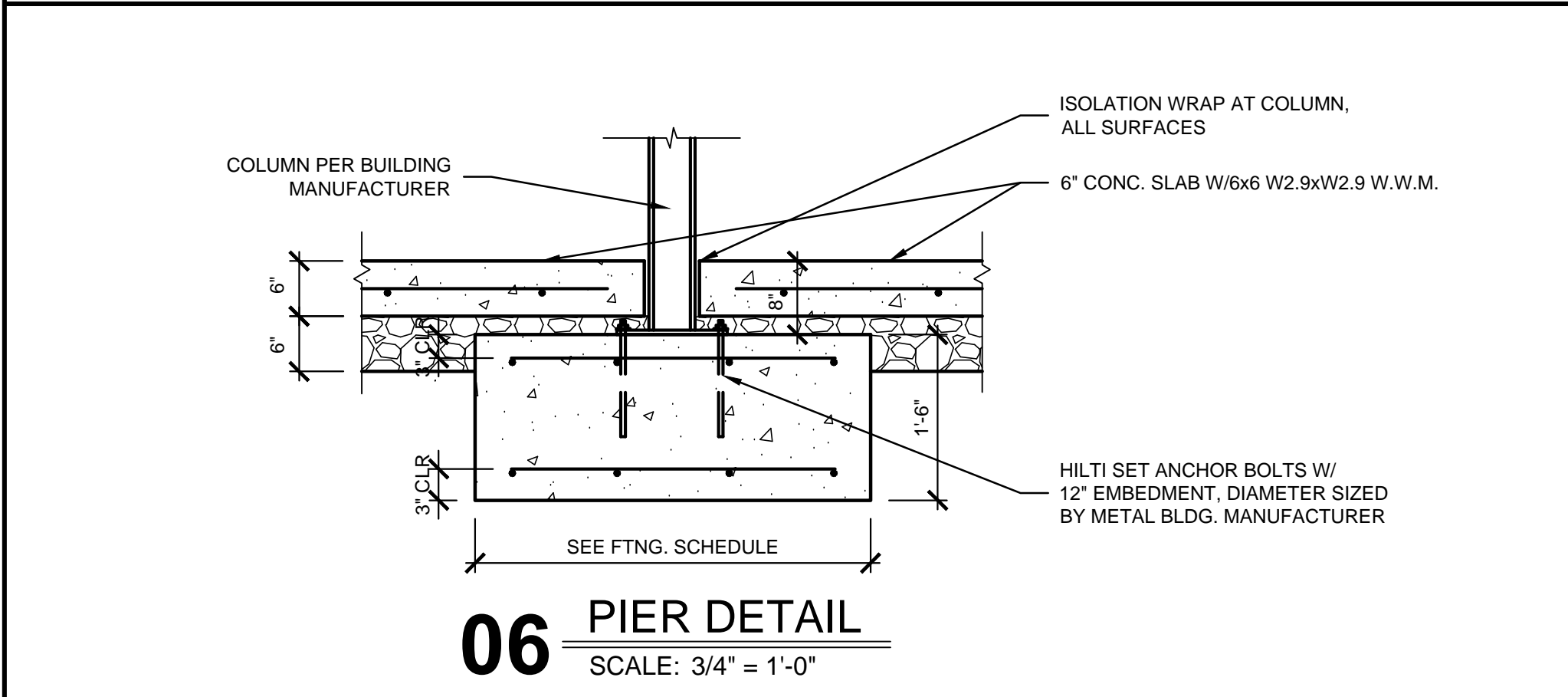
**03** WALL AT DOCK LEVELER  
SCALE: 3/4" = 1'-0"



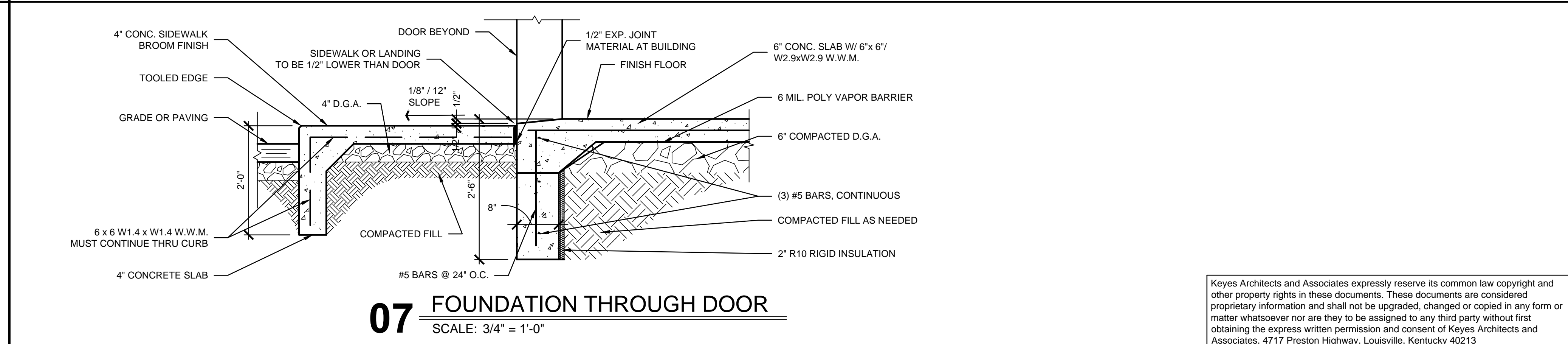
**04** SITE RETAINING WALL  
SCALE: 3/4" = 1'-0"



**05** CONCRETE STAIR DETAIL  
SCALE: 3/4" = 1'-0"



**06** PIER DETAIL  
SCALE: 3/4" = 1'-0"



**07** FOUNDATION THROUGH DOOR  
SCALE: 3/4" = 1'-0"

PROJECT NO:  
22-4350  
DRAWN BY:  
DES/  
DATE:  
09-02-2022

CONSTRUCTION DRAWINGS



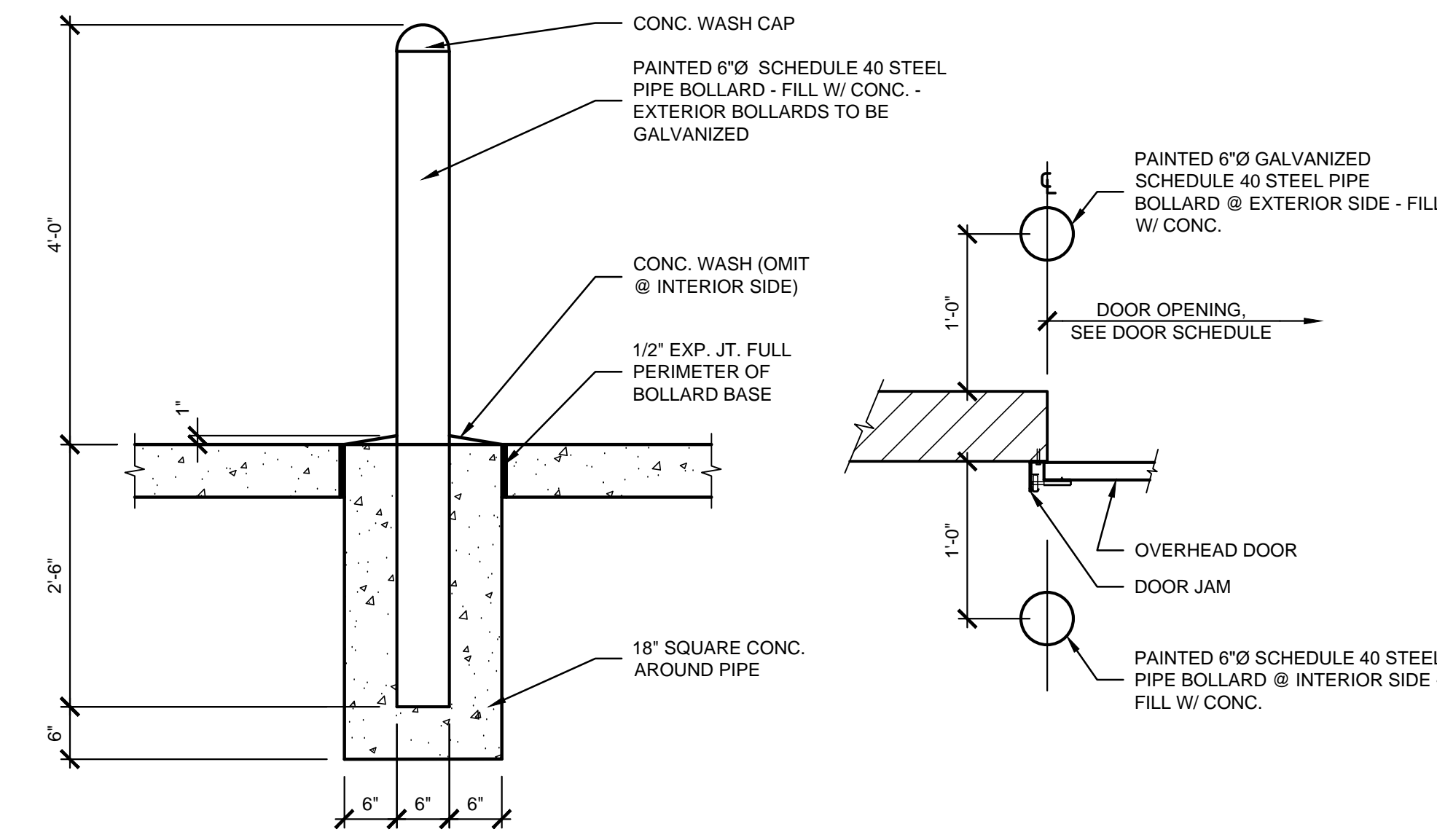
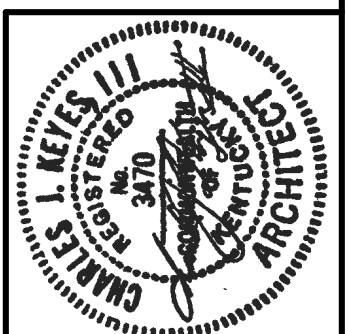
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4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

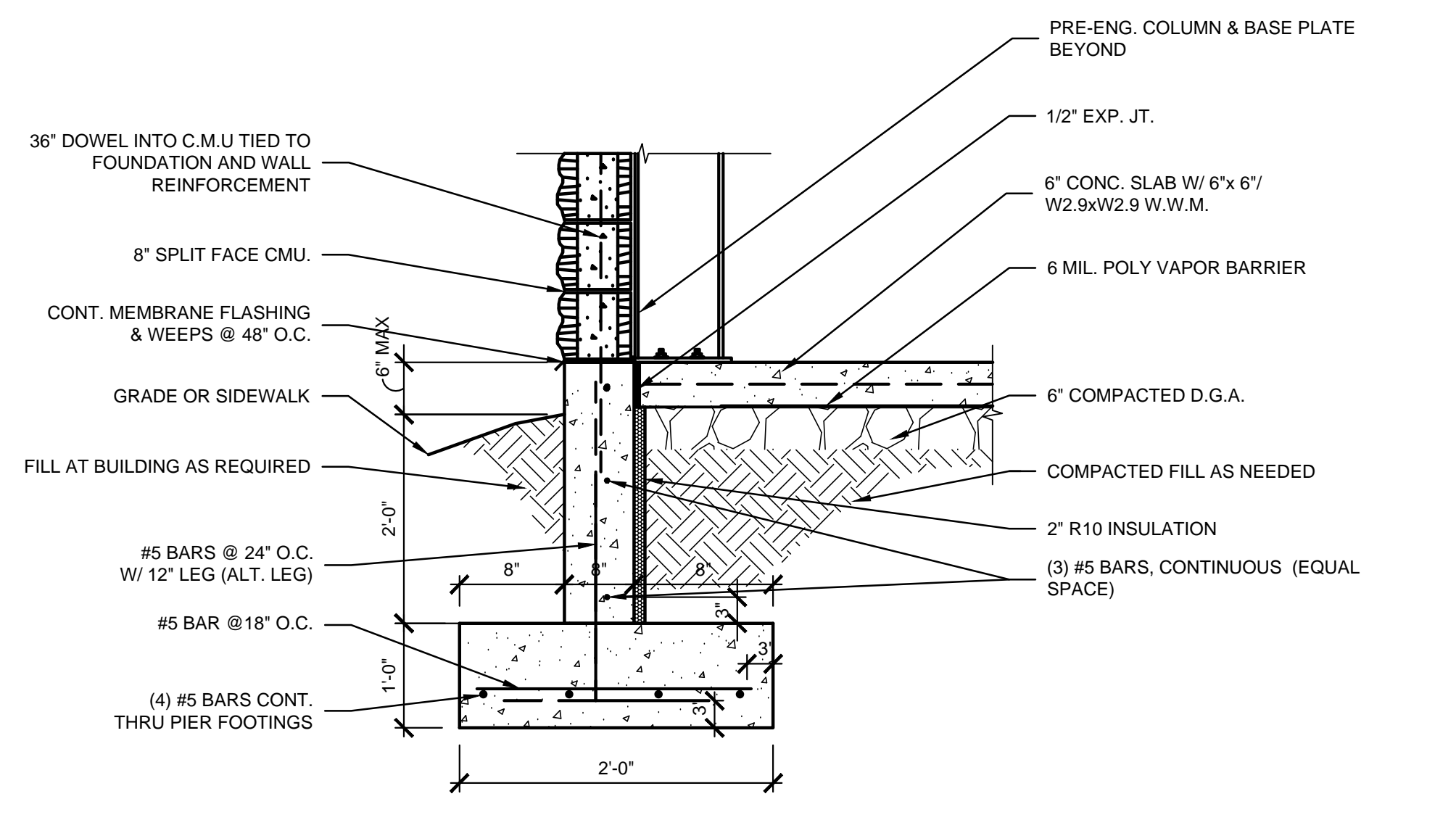
FOUNDATION DETAILS

**F2.01**

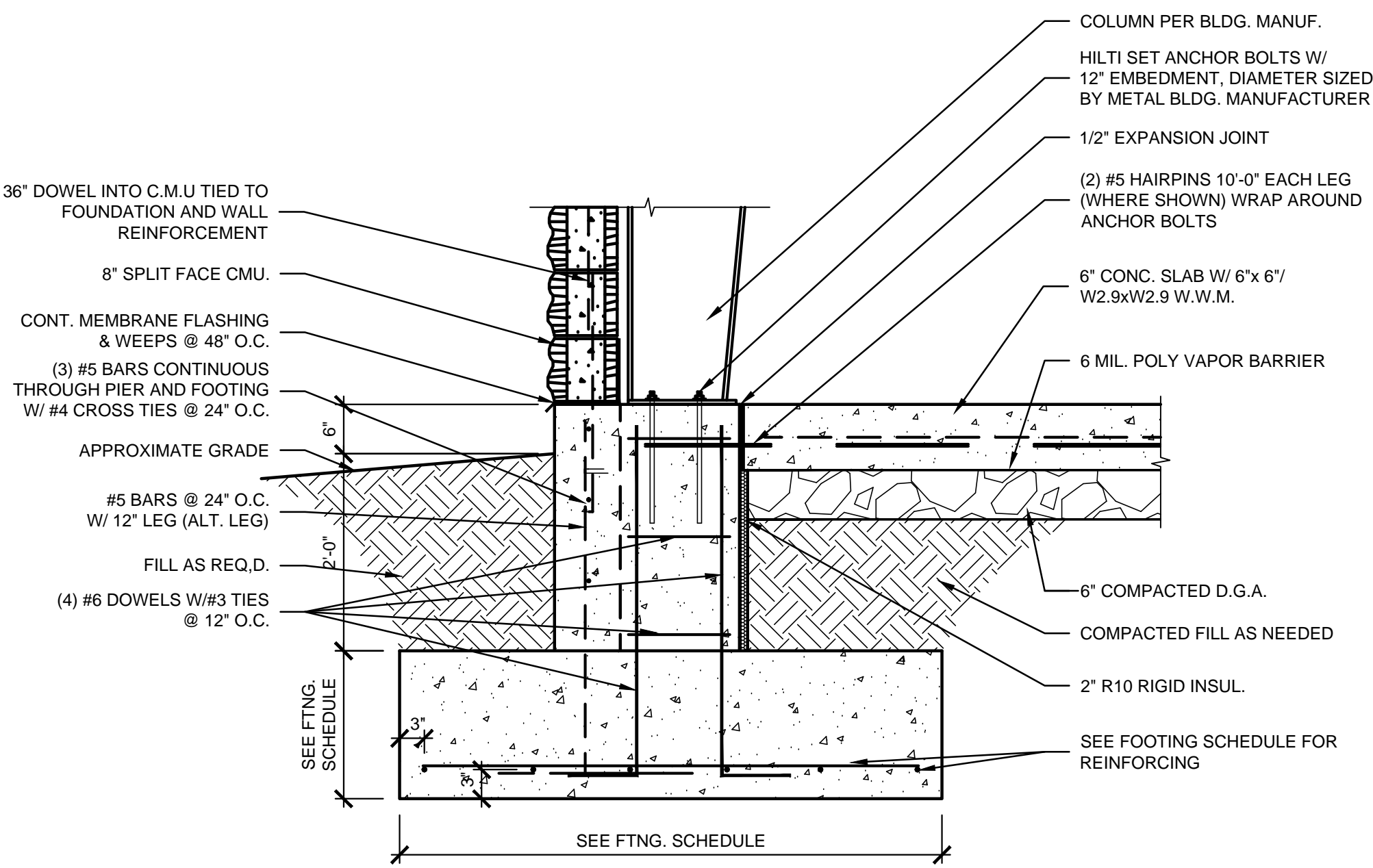
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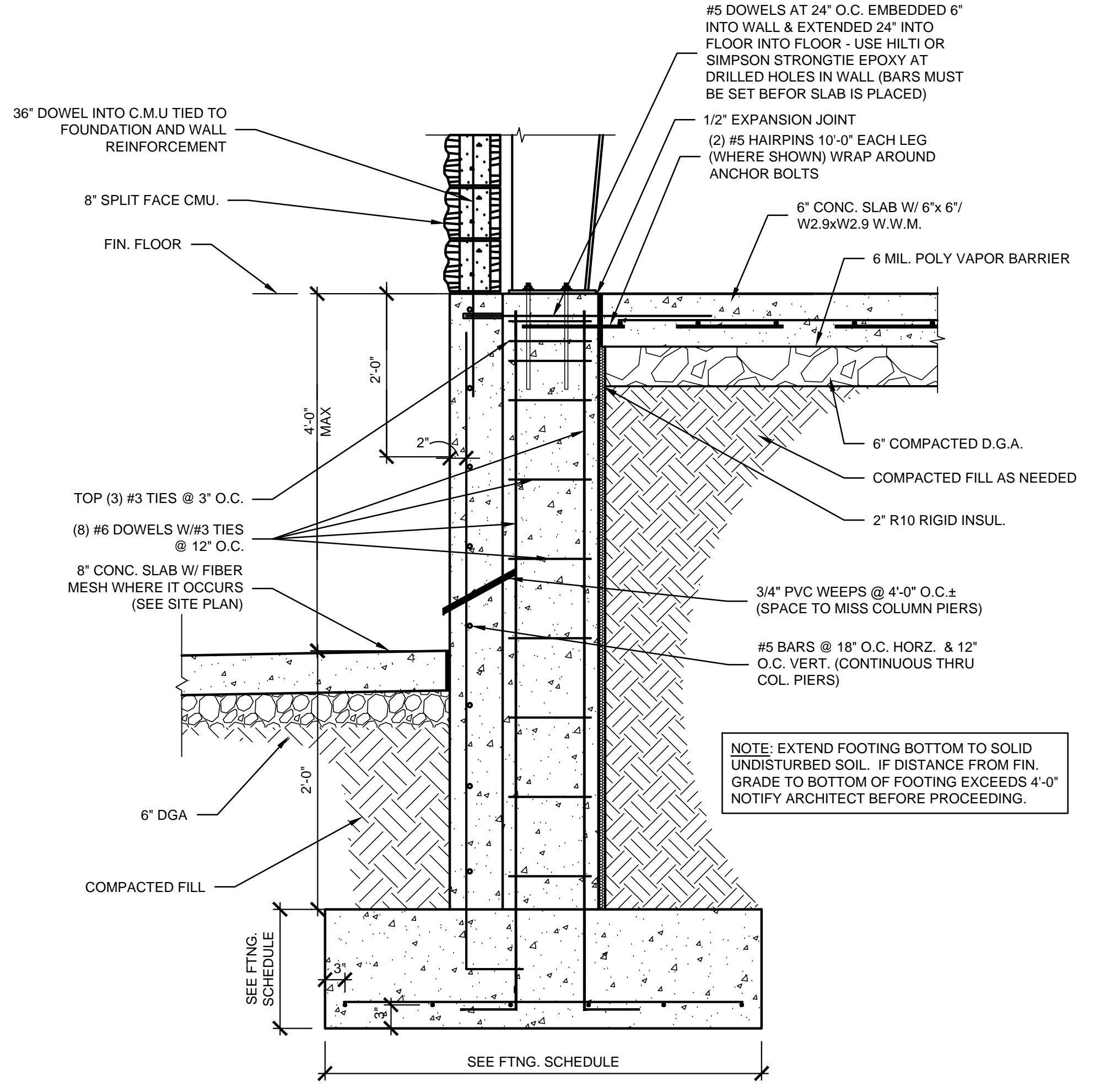
**03 PIPE BOLLARD DETAIL**  
SCALE: 3/4" = 1'-0"



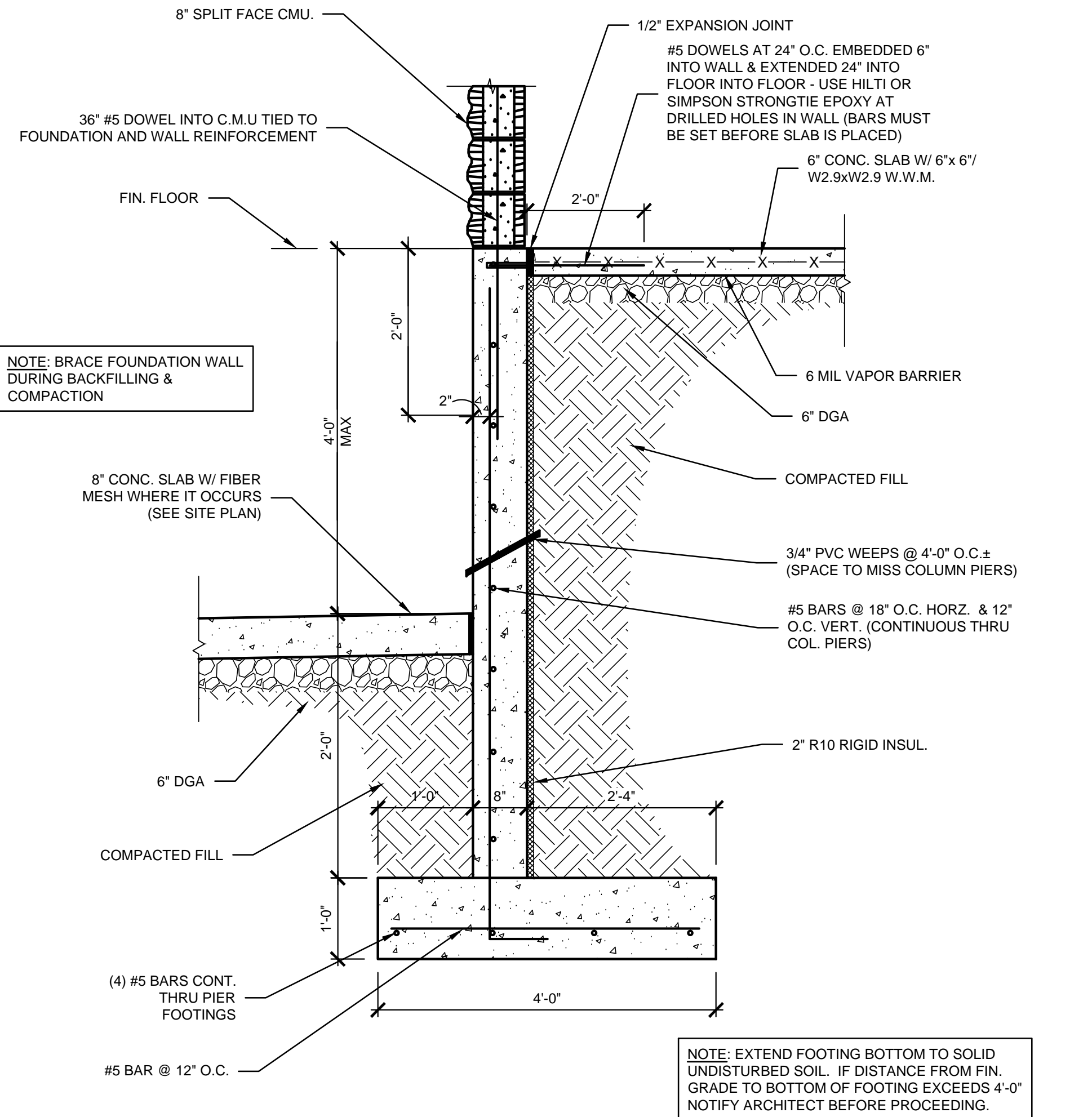
**02 SPREAD FOOTING DETAIL**  
SCALE: 3/4" = 1'-0"



**01 COLUMN FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-0"

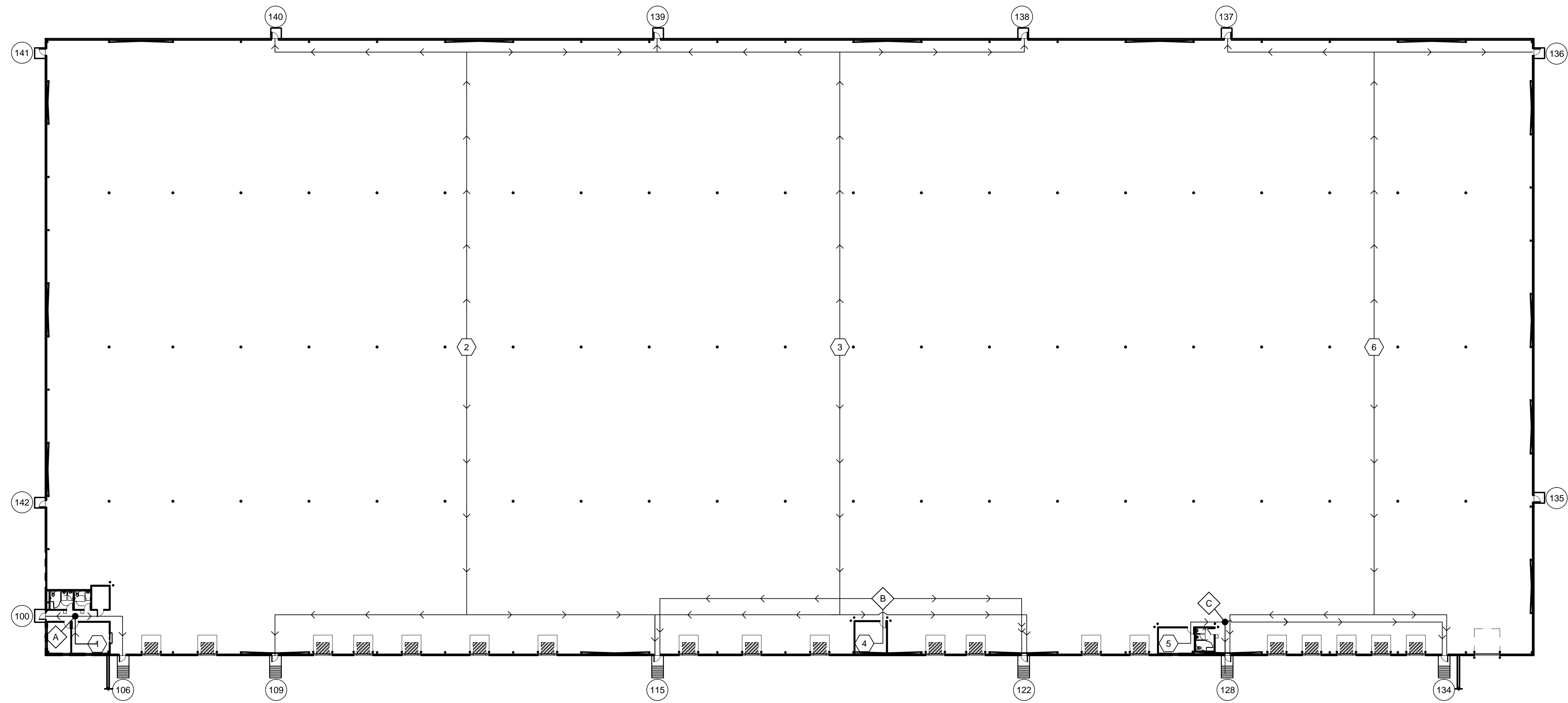
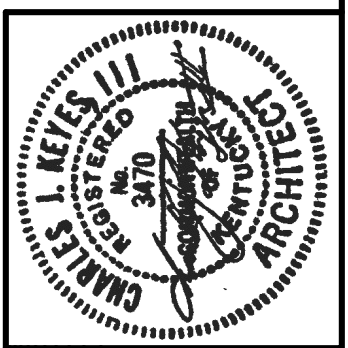


**05 DOCK WALL COLUMN DETAIL**  
SCALE: 3/4" = 1'-0"

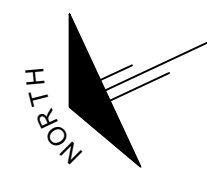


**04 DOCK WALL FOUNDATION**  
SCALE: 3/4" = 1'-0"

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**01 LIFE SAFETY PLAN**  
SCALE: 1/32" = 1'-0"



| LIFE SAFETY PATHWAYS |             | TOTAL TRAVEL DISTANCE |             |          |          |          |          |          |          |          |           |          |          |          |
|----------------------|-------------|-----------------------|-------------|----------|----------|----------|----------|----------|----------|----------|-----------|----------|----------|----------|
| LOCATION             | COMMON PATH | DOOR NUMBER           | DOOR NUMBER |          |          |          |          |          |          |          |           |          |          |          |
|                      |             |                       | EXIT 100    | EXIT 106 | EXIT 109 | EXIT 115 | EXIT 122 | EXIT 128 | EXIT 134 | EXIT 136 | EXIST 137 | EXIT 138 | EXIT 139 | EXIT 140 |
| 1                    | A           | 25'-6"                | 39'-6"      | 66'-2"   | -        | -        | -        | -        | -        | -        | -         | -        | -        | -        |
| 2                    | -           | N/A                   | -           | -        | 234'-7"  | 234'-7"  | -        | -        | -        | -        | -         | -        | 235'-2"  | 235'-2"  |
| 3                    | -           | N/A                   | -           | -        | 231'-0"  | 231'-0"  | 231'-0"  | -        | -        | -        | -         | 231'-0"  | 231'-0"  | -        |
| 4                    | B           | 26'-8"                | -           | -        | 150'-10" | 112'-6"  | -        | -        | -        | -        | -         | -        | -        | -        |
| 5                    | C           | 41'-8"                | -           | -        | -        | -        | 57'-6"   | 159'-8"  | -        | -        | -         | -        | -        | -        |
| 6                    | -           | N/A                   | -           | -        | -        | -        | 213'-10" | 178'-2"  | 213'-10" | 213'-10" | -         | -        | -        | -        |

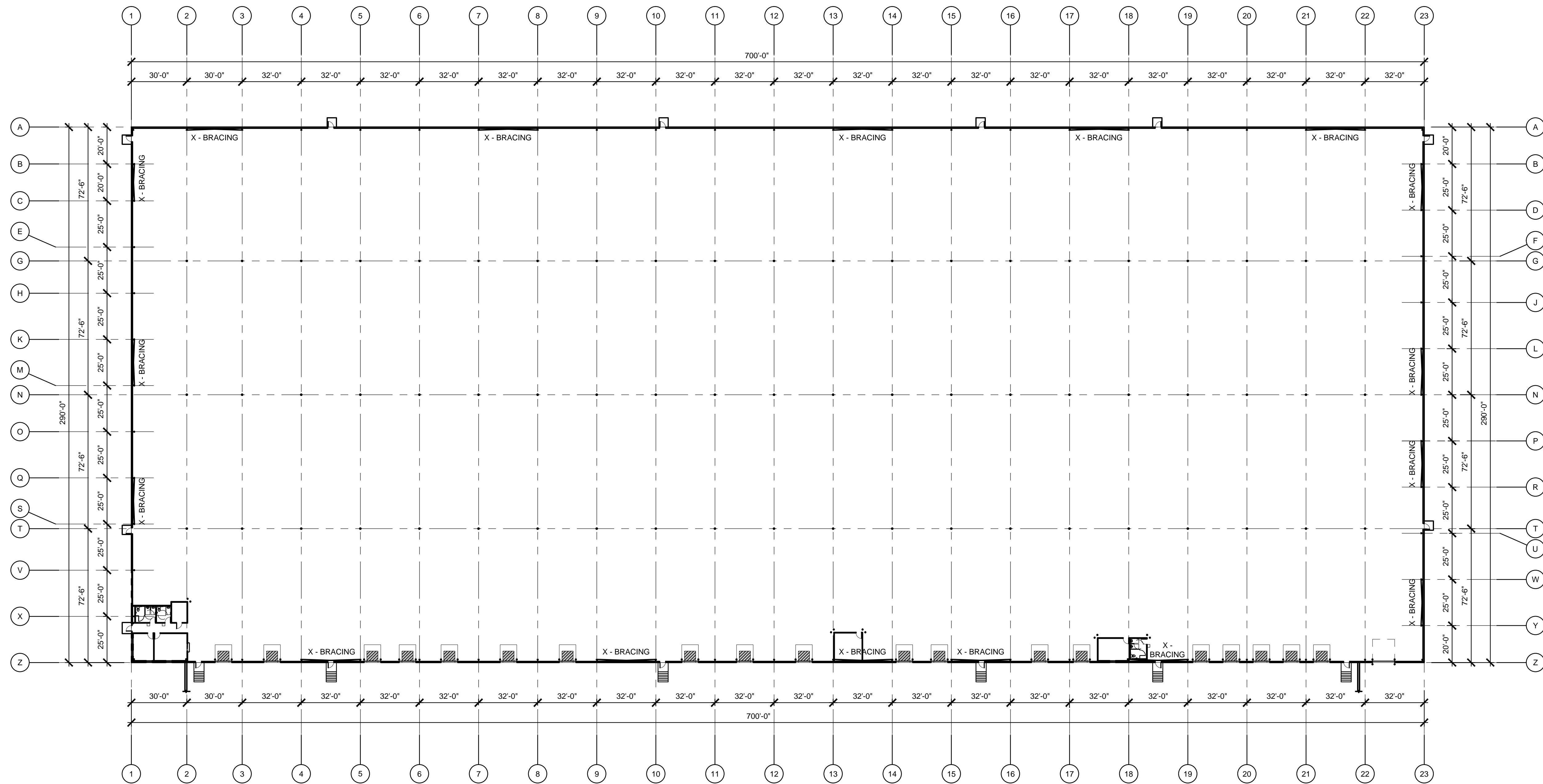
PATHWAY KEY PLAN:

- : TRAVEL PATH W/ DIRECTION OF FLOW
- ⬡ : TRAVEL PATH STARTING LOCATION, WHERE "#" = LOCATION COLUMN IN THIS TABLE.
- ⬢ : COMMON PATH LOCATION, WHERE "#" = LOCATION COLUMN IN THIS TABLE.
- ⊙ : EXIT DOOR LOCATION, WHERE "#" = DOOR IN THIS TABLE AND IN DOOR FINISH SCHEDULE.

| CATEGORY                  | CODE REFERENCE               | REQUIREMENT/DESIGNATION               | PROVIDED           |
|---------------------------|------------------------------|---------------------------------------|--------------------|
| CONSTRUCTION TYPE         | TABLE 506.2                  | IIIB                                  | IIIB               |
| OCCUPANCY GROUPS          | TABLE 304.1                  |                                       | STORAGE GROUP - S2 |
| OCCUPANCY LOAD            | TABLE 1004.1.2               |                                       | 406 OCCUPANTS      |
| ALLOWABLE AREA            | SECTION 507.4                | UNLIMITED AREA                        | 203,000 S.F.       |
| EXIT CALCULATIONS         | SECTION 1006.3.2             | COMMON PATH OF EGRESS TRAVEL GROUP    | 100 FT             |
|                           | SECTION 1017<br>TABLE 1017.2 | EXIT ACCESS TRAVEL DISTANCE           | 300 FT             |
| NON-SEPARATED OCCUPANCIES | TABLE 508.4                  | NO SEPARATION BETWEEN GROUP AND GROUP | NONE               |

| EMERGENCY LIGHT FIXTURE SCHEDULE |   |                                   |          |
|----------------------------------|---|-----------------------------------|----------|
| TYPE                             | DESCRIPTION   | MODEL#                            | BULBS    |
| ER                               | EMERGENCY REMOTE HEAD                                   | LITHONIA #ELA-NX-H0606            | INCLUDED |
| EM                               | EMERGENCY LIGHT W/ BATTERY PACK REMOTE HEAD WHERE SHOWN | LITHONIA #6ELM2P                  | INCLUDED |
| EXM                              | COMBINATION EXIT/EMERGENCY FIXTURE W/ BATTERY PACK      | LITHONIA #LHQM-S-W-1-R-120/277-HO | INCLUDED |

NOTE: EXIT EMERGENCY LIGHTING IS ON AN "NL" CIRCUIT



**01 OVERALL FLOOR PLAN**  
SCALE: 1/32" = 1'-0"

| WALL LEGEND |   |
|-------------|---|
|             | 3 5/8" METAL STUD WALL                    |
|             | 8" CMU BLOCK WALL                         |
|             | 8" METAL BUILDING GIRTS WITH METAL SIDING |

**NOTE:** ALL DIMENSIONS ARE TO FACE OF STUD  
**NOTE:** GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER  
**NOTE:** ELECTRICAL, HVAC AND PLUMBING TO BE RELOCATED PER FEDERAL, STATE AND LOCAL CODES. GENERAL CONTRACTOR TO COORDINATE.

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CONSTRUCTION DRAWINGS



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NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004



PROJECT: MONIN WAREHOUSE - FILE: A1.02 Enlarged Floor Plan.dwg - DATE: Sep 02, 2022, 4:34PM - BY: DOUG STURGEON

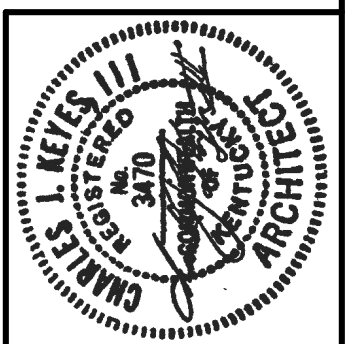
PROJECT NO:  
22-4350  
DRAWN BY:  
DES/  
DATE:  
09-02-2022

### SHEET NOTES:

- POWER OPERATED DOCK LEVELER
- MANUALLY OPERATED DOCK LEVELER

NOTE SYMBOL

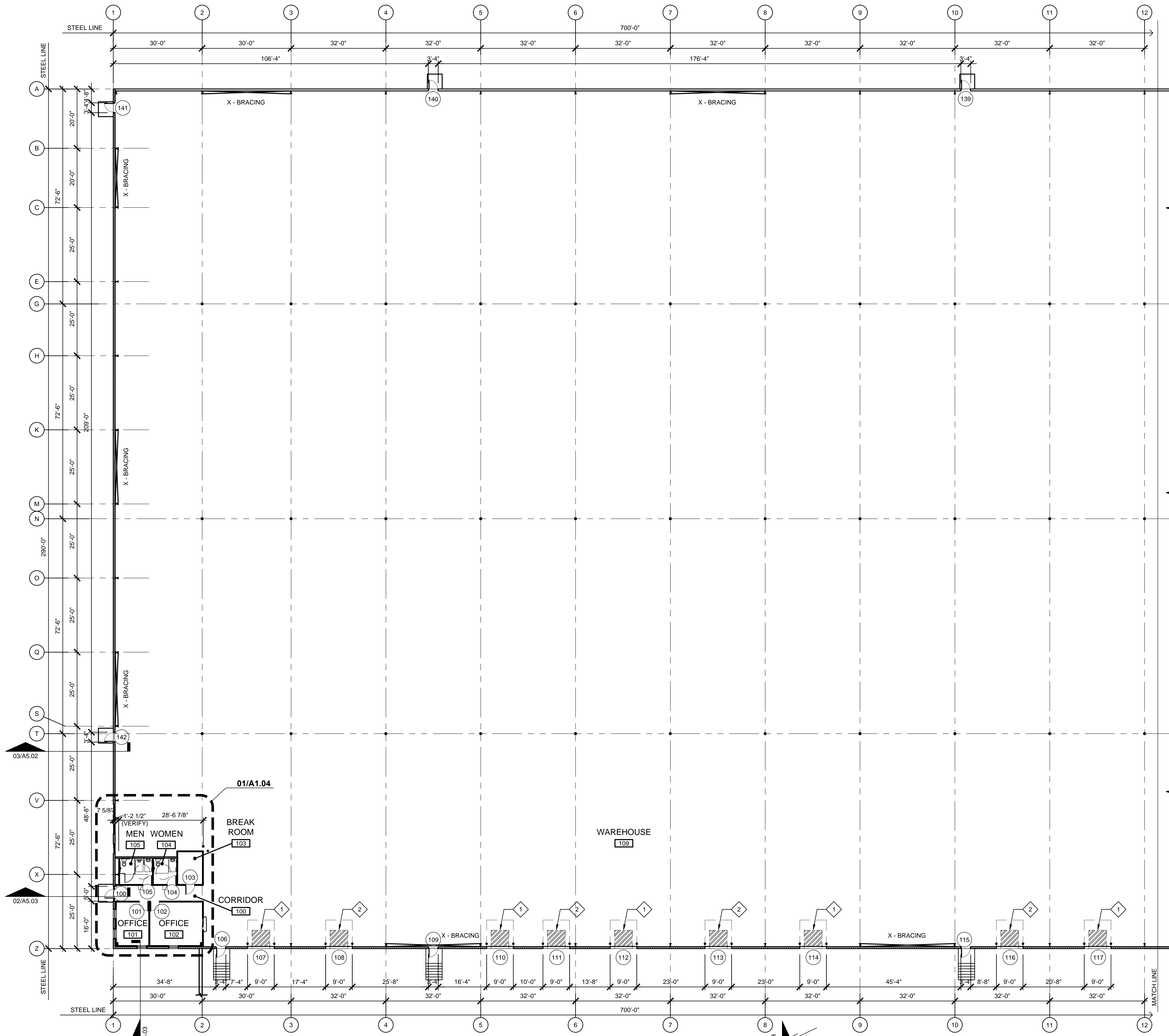
CONSTRUCTION DRAWINGS



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NEW CONSTRUCTION  
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1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

| WALL LEGEND |   |
|-------------|---|
|             | METAL STUD WALL                           |
|             | 8" CMU BLOCK WALL                         |
|             | 8" METAL BUILDING GIRTS WITH METAL SIDING |



**01 ENLARGED PARTIAL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

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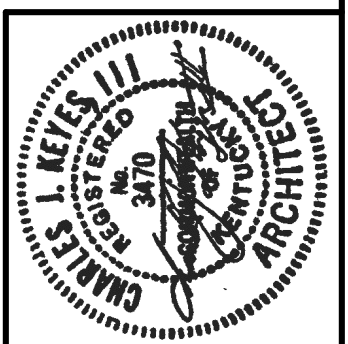
ENLARGED FLOOR PLAN  
**A1.02**

**SHEET NOTES:**

- 1 POWER OPERATED DOCK LEVELER
- 2 MANUALLY OPERATED DOCK LEVELER

NOTE SYMBOL

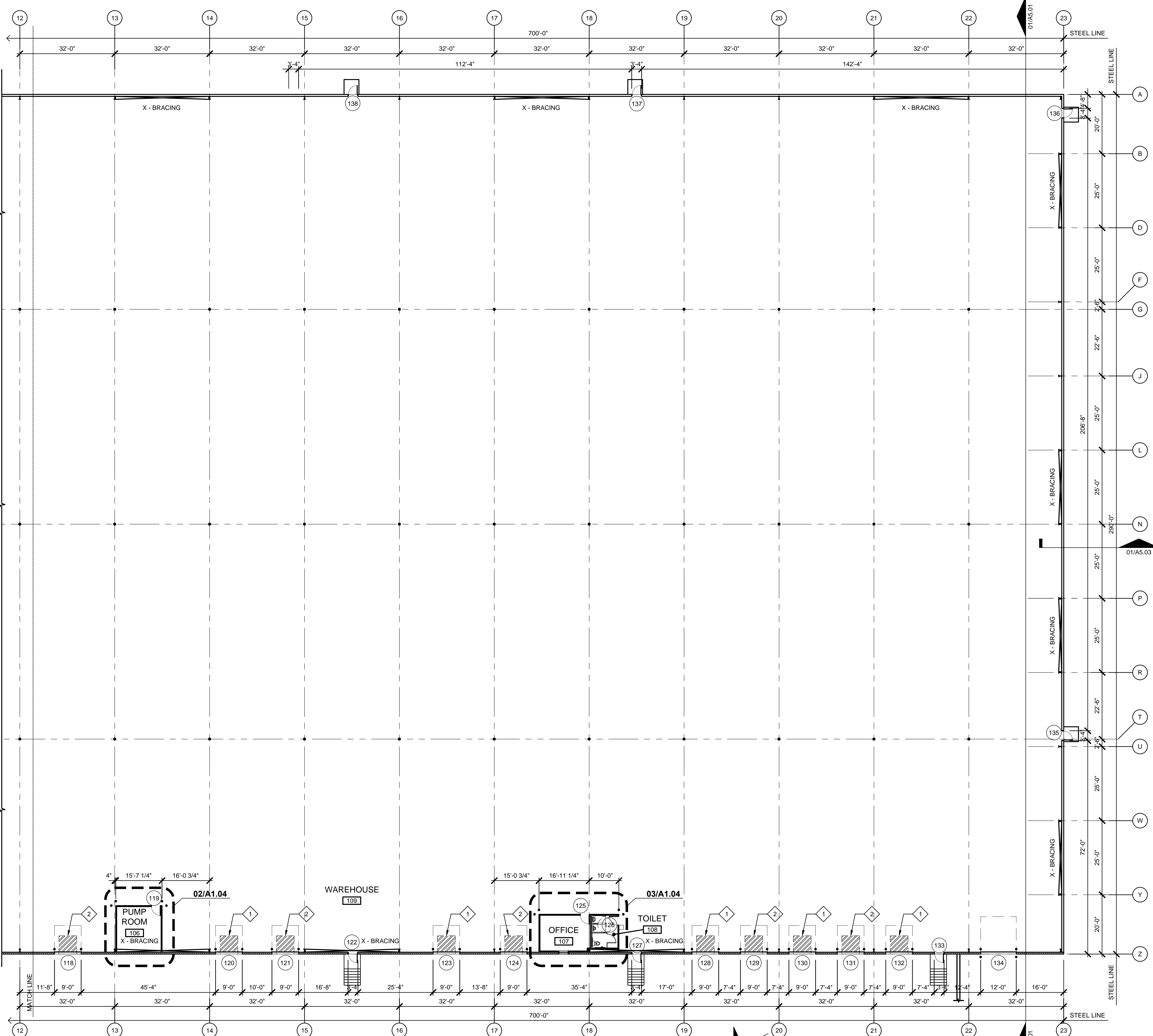
CONSTRUCTION DRAWINGS



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NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

| WALL LEGEND |   |
|-------------|---|
|             | METAL STUD WALL                           |
|             | 8" CMU BLOCK WALL                         |
|             | 8" METAL BUILDING GIRTS WITH METAL SIDING |



**01 ENLARGED PARTIAL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



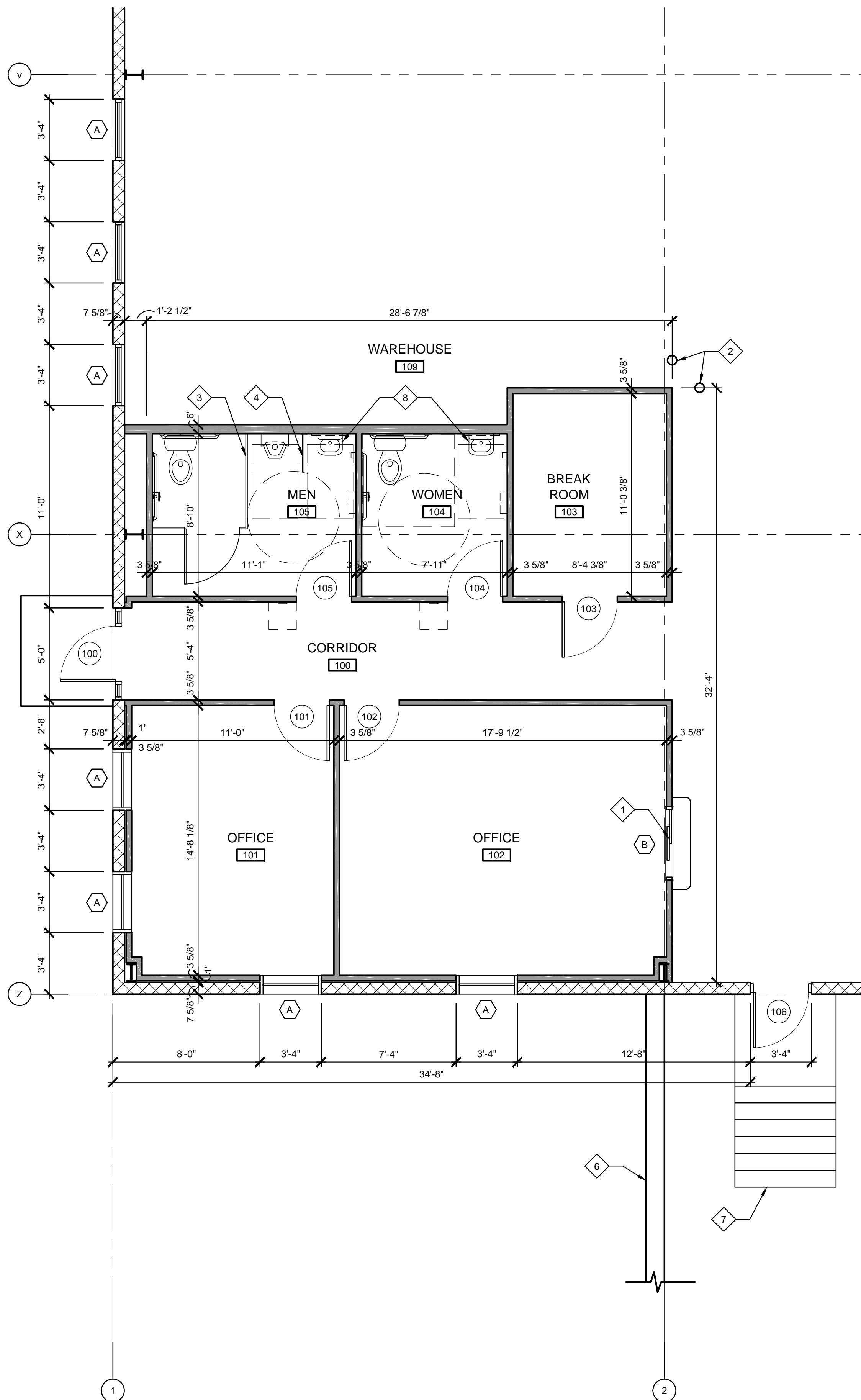
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ENLARGED FLOOR PLAN  
**A1.03**

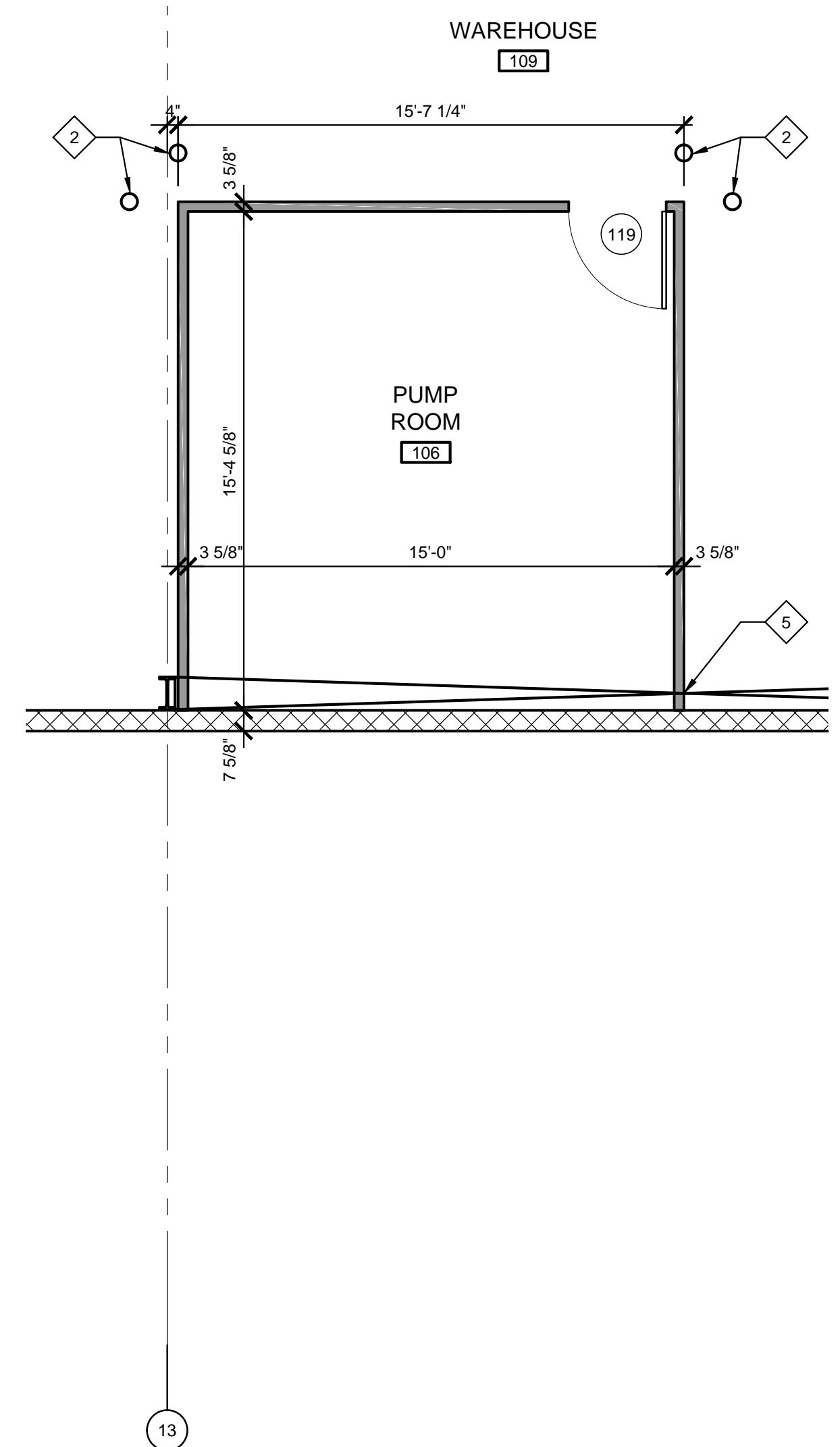
PROJECT: MONIN WAREHOUSE - FILE: A1.03 Enlarged Floor Plan.dwg - DATE: Sep 02, 2022, 4:34PM - BY: DOUG STURGEON

- SHEET NOTES:**
- 1 SLIDING GLASS WINDOW WITH 12" x 60" COUNTERTOP
  - 2 6" CONCRETE-FILLED PIPE BOLLARD - SEE FOUNDATION DETAILS
  - 3 METAL TOILET PARTITION SYSTEM WITH BAKED ENAMEL FINISH - SEE SPECIFICATIONS
  - 4 METAL URINAL SCREEN WITH BAKED ENAMEL FINISH - SEE SPECIFICATIONS
  - 5 STUDS & GYP. BOARD FITTED AROUND BRACING
  - 6 CONCRETE RETAINING WALL WITH 42" HIGH PAINTED STEEL GUARD RAIL - SEE FOUNDATION DETAILS (TYP.)
  - 7 CONCRETE STAIR STRUCTURE WITH PAINTED STEEL GUARD RAIL & HAND RAIL - SEE FOUNDATION DETAILS (TYP.)
  - 8 WALL-HUNG ADA LAVATORY

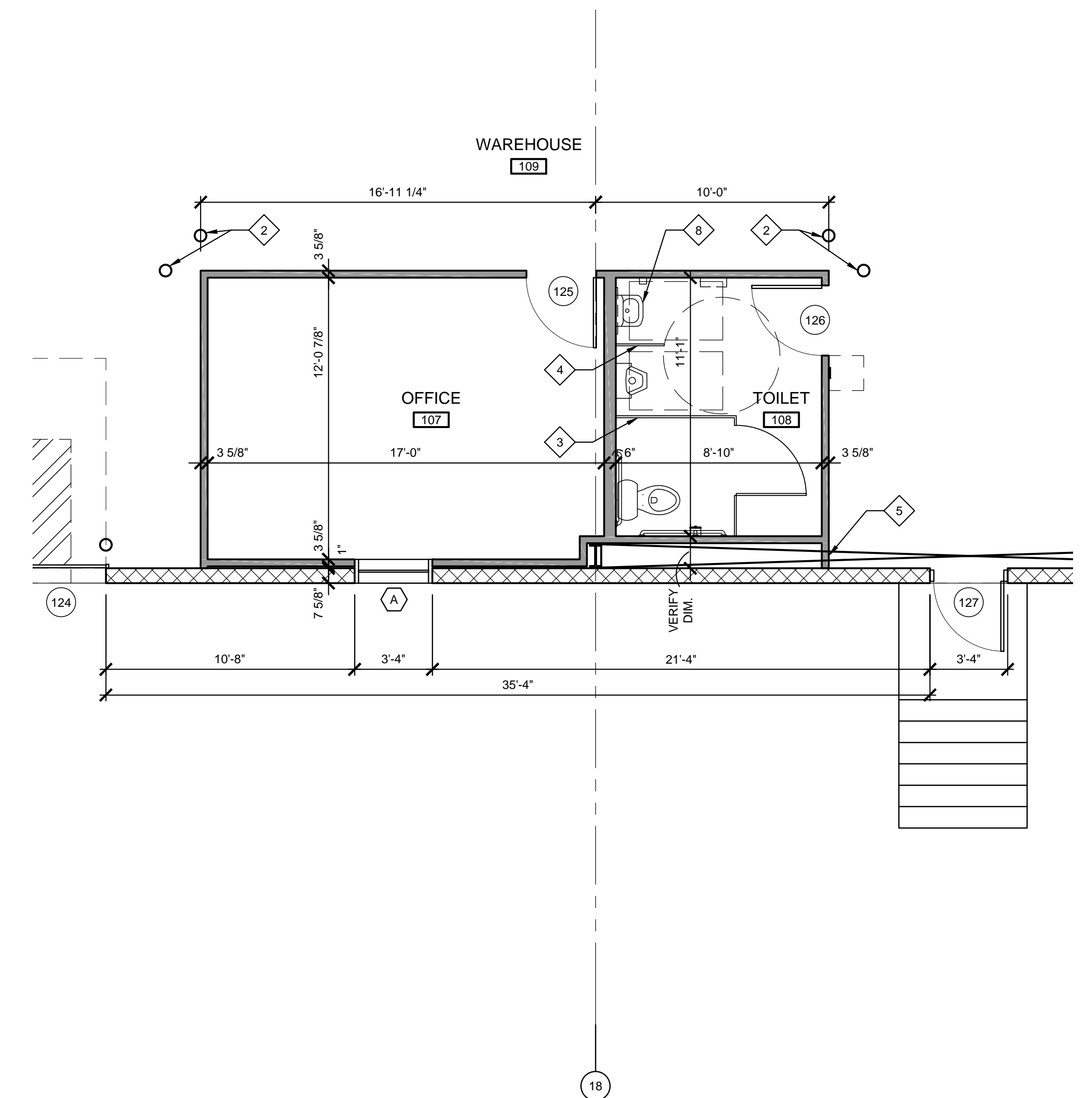
| WALL LEGEND |   |
|-------------|---|
|             | 3 5/8" METAL STUD WALL                    |
|             | 6" METAL STUD WALL                        |
|             | 8" CMU BLOCK WALL                         |
|             | 8" METAL BUILDING GIRTS WITH METAL SIDING |



**01 ENLARGED PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



**02 ENLARGED PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



**03 ENLARGED PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH

CONSTRUCTION DRAWINGS

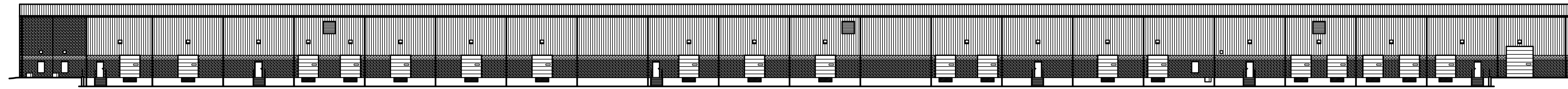


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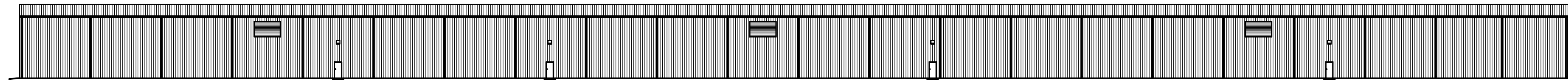
NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

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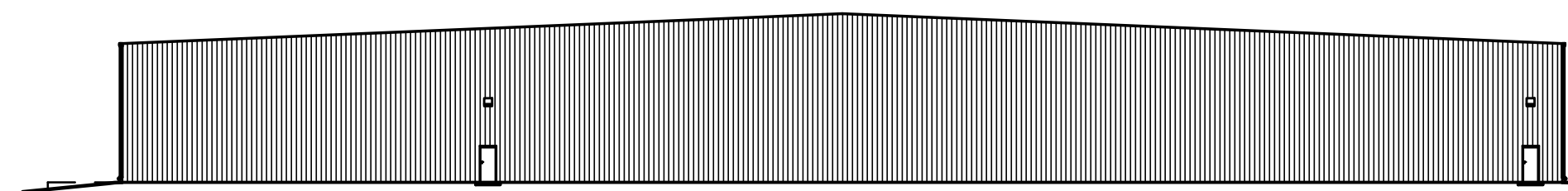
ENLARGED PARTIAL FLOOR PLANS  
**A1.04**



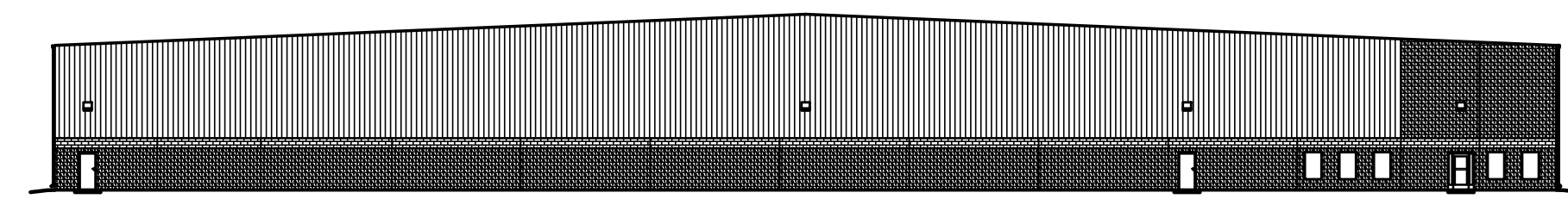
**01 WEST ELEVATION**  
SCALE: 1/32" = 1'-0"



**02 EAST ELEVATION**  
SCALE: 1/32" = 1'-0"



**03 SOUTH ELEVATION**  
SCALE: 1/32" = 1'-0"



**04 NORTH ELEVATION**  
SCALE: 1/32" = 1'-0"

CONSTRUCTION DRAWINGS

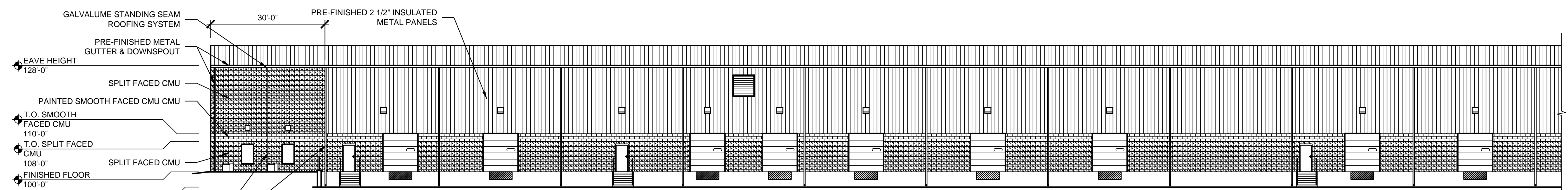
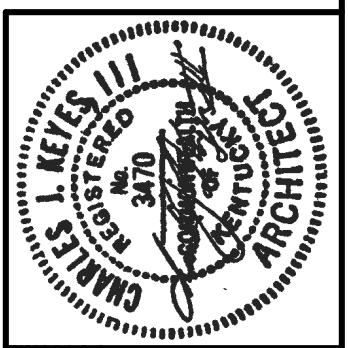


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NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

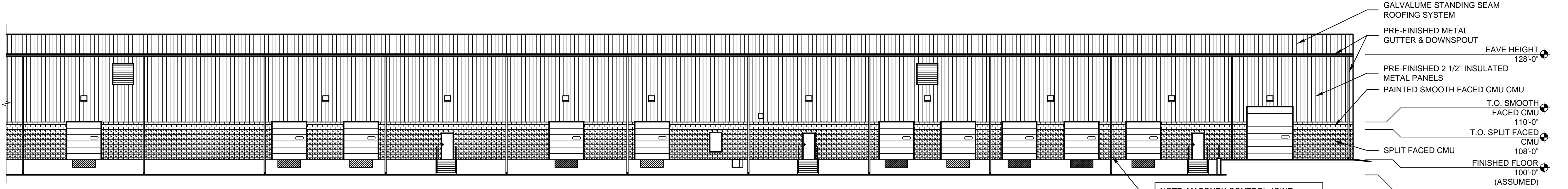
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OVERALL EXTERIOR ELEVATIONS  
**A2.01**



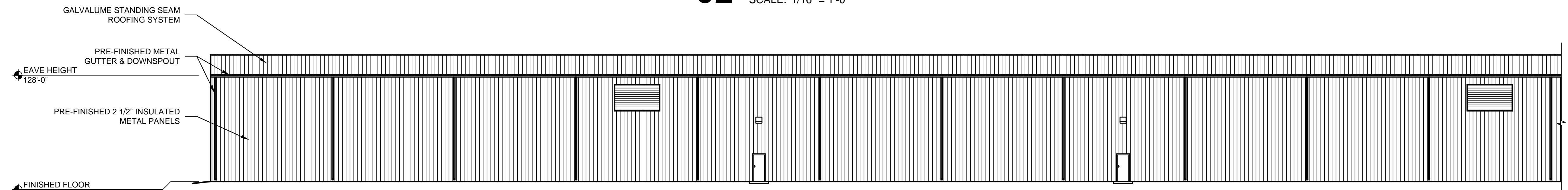
**01 PARTIAL WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

NOTE: MASONRY CONTROL JOINT AT CENTER OF SECTION OF HIGH CMU & BEHIND EACH D.S. - SEE DETAIL 01/A5.04

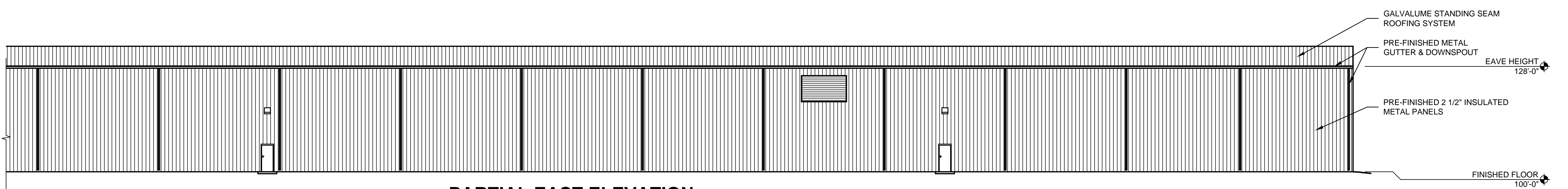


**02 PARTIAL WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

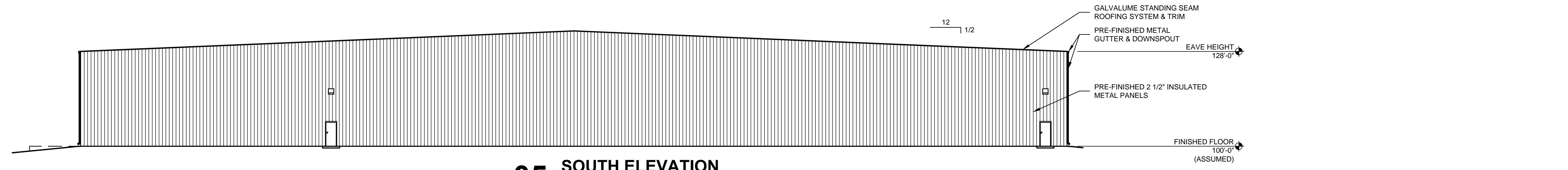
NOTE: MASONRY CONTROL JOINT BEHIND EACH D.S. - SEE DETAIL 01/A5.04



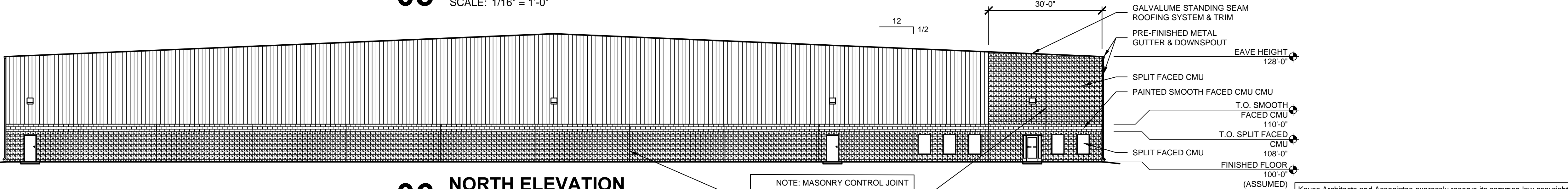
**03 PARTIAL EAST ELEVATION**  
SCALE: 1/16" = 1'-0"



**04 PARTIAL EAST ELEVATION**  
SCALE: 1/16" = 1'-0"



**05 SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"

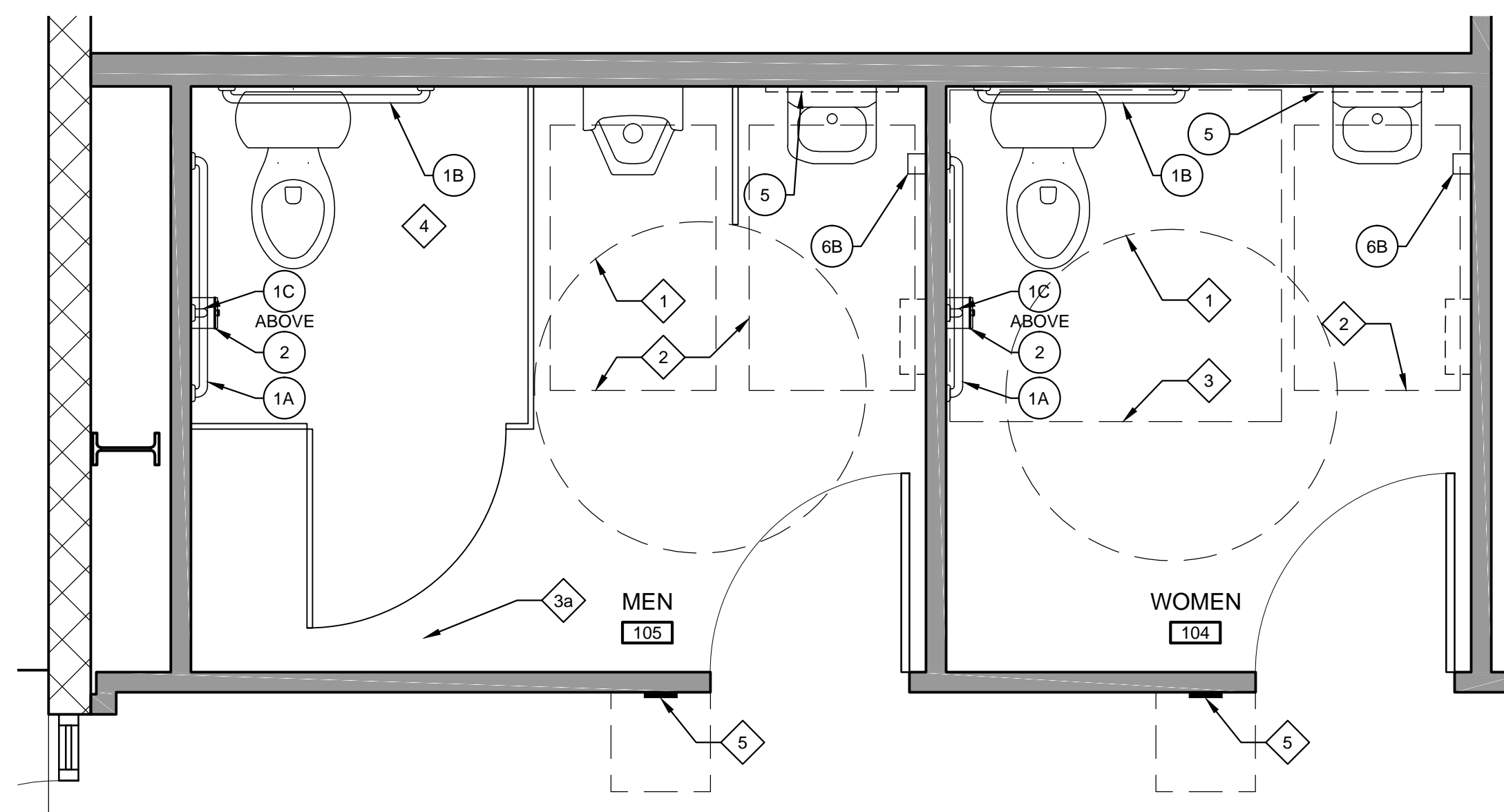
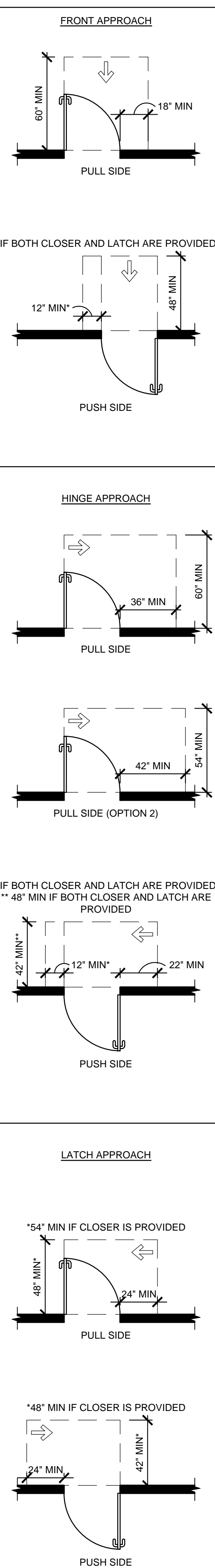


**06 NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"

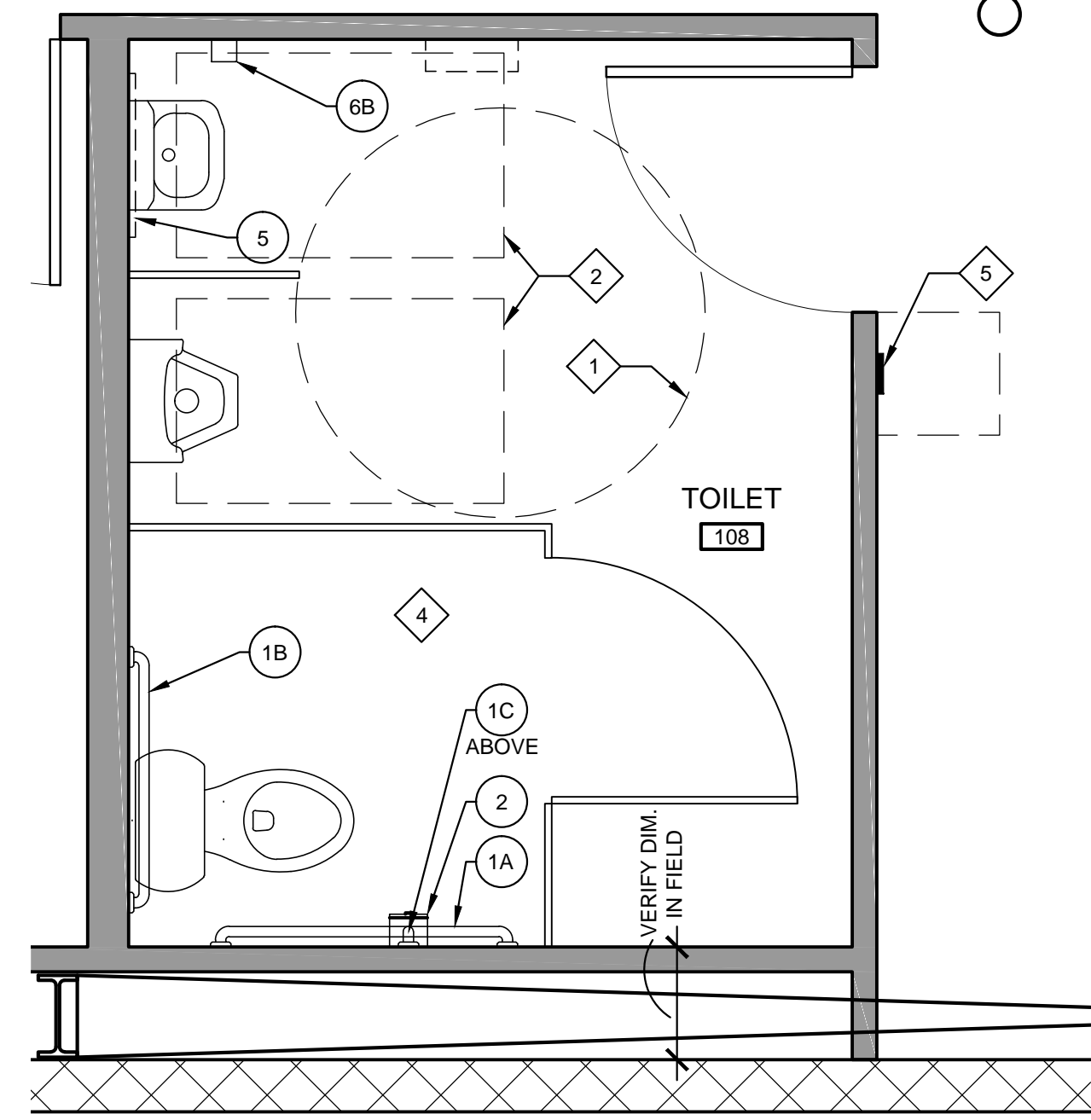
NOTE: MASONRY CONTROL JOINT AT CENTER OF SECTION OF HIGH CMU & AT BLOCK COURSING NEAREST COLUMN SPACING - SEE DETAIL 01/A5.04

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**REQUIRED DOOR ACCESSIBLE CLEAR FLOOR SPACE**



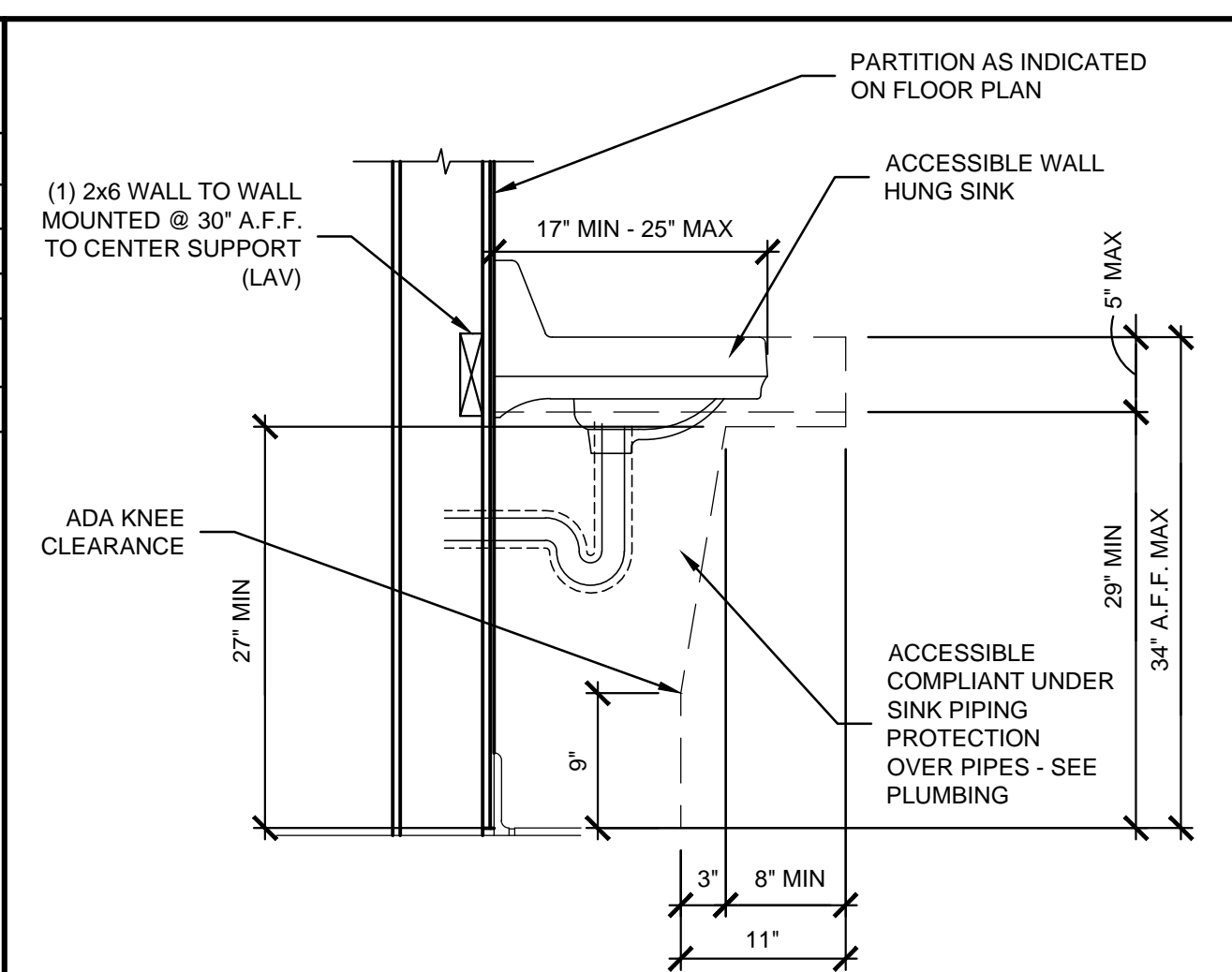
**01 RESTROOM DETAIL**  
SCALE: 1/2" = 1'-0"



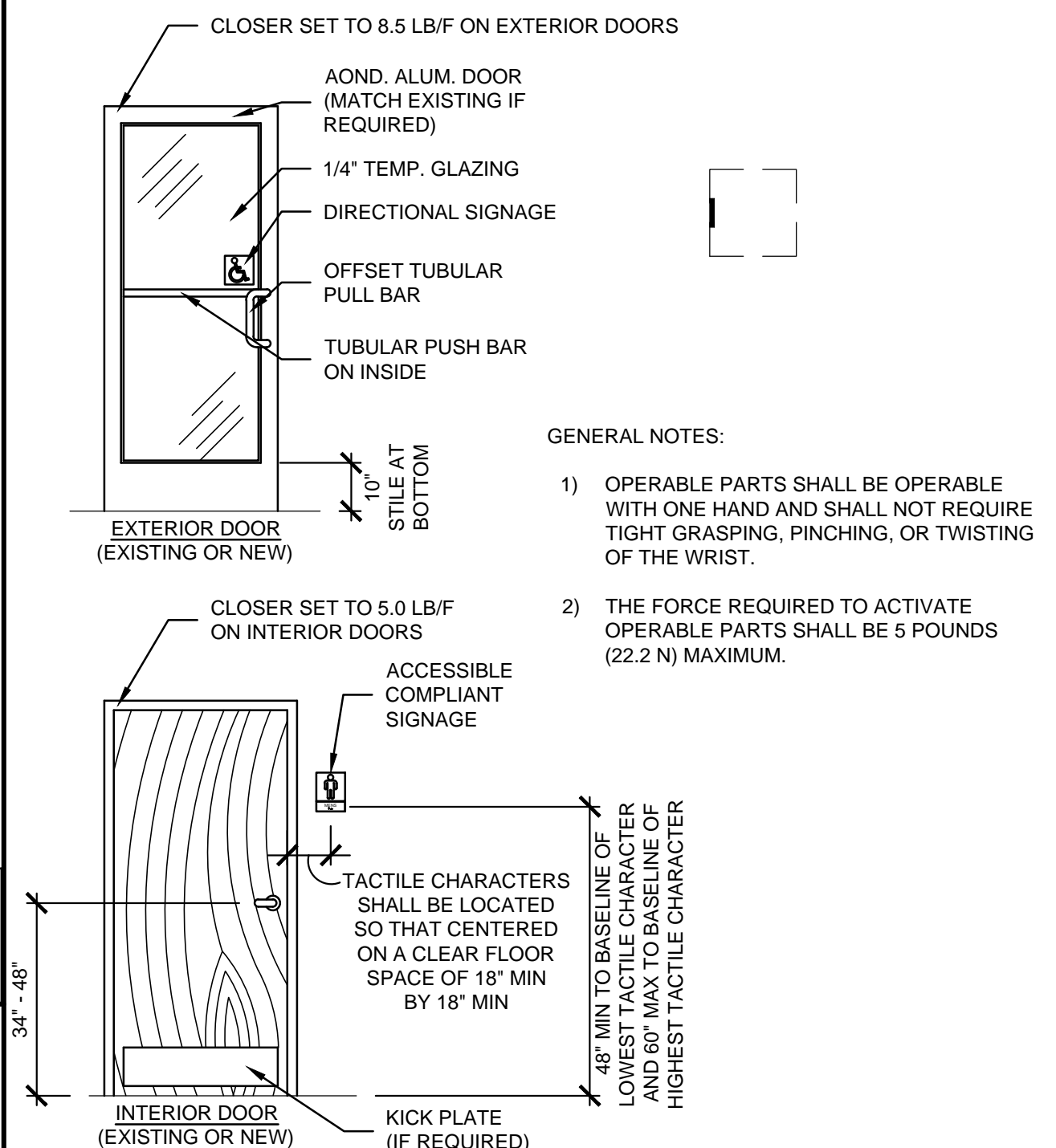
**02 RESTROOM DETAIL**  
SCALE: 1/2" = 1'-0"

**REQUIRED ACCESSIBLE CLEAR FLOOR SPACE**

| TYPICAL CLEAR FLOOR SPACES |  |
|----------------------------|--|
| 1                          | TURNAROUND / TURNING CIRCLE: 60" DIAMETER CLEAR FLOOR SPACE (TYP.)               |
| 2                          | EQUIPMENT / FIXTURE: 30"x48" CLEAR FLOOR SPACE                                   |
| 3                          | TOILET 60" x 60" CLEAR FLOOR SPACE   |
| 4                          | TOILET IN TOILET PARTITION ROOM WITH 9" TOE CLEARANCE: 60"x60" CLEAR FLOOR SPACE |
| 5                          | ACCESSIBLE SIGNAGE - SEE DETAIL 04/A3.01 FOR MORE INFORMATION                    |



**04 LAVATORY DETAIL**  
SCALE: 1" = 1'-0"



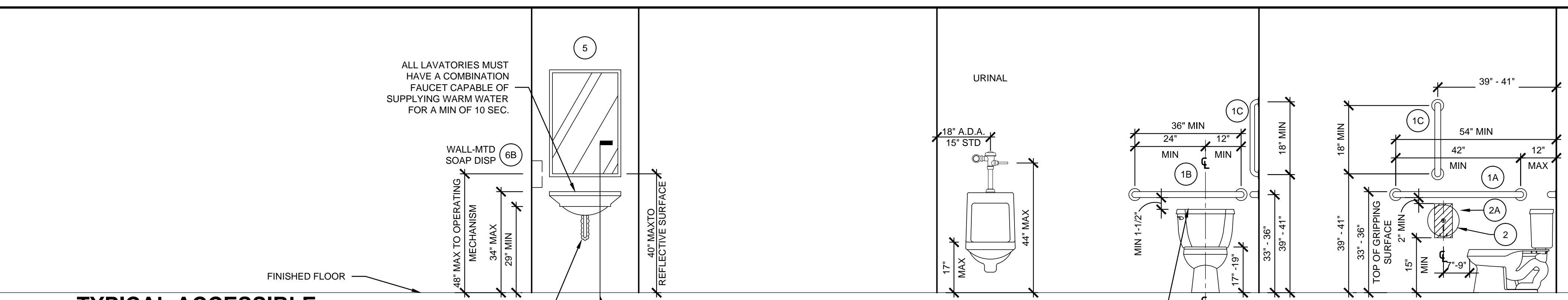
**05 DOOR SIGN / DOOR DETAIL**  
SCALE: 3/8" = 1'-0"

|      |   |            |  |  |
|------|---|------------|--|--|
| (1A) | GRAB BAR 42"  | SEE SPECS. | SEE SPECS. FOR RECOMMENDED MANUFACTURERS | MOUNTED PER MANUFACTURER'S RECOMMENDATIONS |
| (1B) | GRAB BAR 36"  | SEE SPECS. | SEE SPECS. FOR RECOMMENDED MANUFACTURERS | MOUNTED PER MANUFACTURER'S RECOMMENDATIONS |
| (1C) | GRAB BAR 24" (18" MIN)  | SEE SPECS. | SEE SPECS. FOR RECOMMENDED MANUFACTURERS | MOUNTED PER MANUFACTURER'S RECOMMENDATIONS |
| (2)  | TOILET TISSUE DISPENSER, DOUBLE, SURFACE MOUNTED (SEE NOTE 4) | SEE SPECS. | SEE SPECS. FOR RECOMMENDED MANUFACTURERS | MOUNTED PER MANUFACTURER'S RECOMMENDATIONS |
| (5)  | MIRROR, CHANNEL FRAME   | SEE SPECS. | SEE SPECS. FOR RECOMMENDED MANUFACTURERS | MOUNTED PER MANUFACTURER'S RECOMMENDATIONS |

|      |                              |            |  |  |
|------|------------------------------|------------|--|--|
| (6B) | SOAP DISPENSER, WALL-MOUNTED | SEE SPECS. | SEE SPECS. FOR RECOMMENDED MANUFACTURERS | MOUNTED PER MANUFACTURER'S RECOMMENDATIONS |
|------|------------------------------|------------|--|--|

- NOTES:**
- SEE BELOW FOR ACCESSORY MOUNTING HEIGHTS
  - SELECT ONE ITEM FROM ITEM GROUPS 4 & 6. VERIFY WITH OWNER.
  - CUT BACK-UP SUPPORTS BETWEEN STUDS SO FACE OF SUPPORT IS FLUSH WITH WALL STUD
  - HATCHED AREA SHOWN FOR MOUNTING LOCATION
  - 48" MAX TO TOP OF COAT HOOK



**03 TYPICAL ACCESSIBLE RESTROOM DETAILS**  
SCALE: 1/2" = 1'-0"

PROJECT NO: 22-4350  
DRAWN BY: DES/  
DATE: 09-02-2022

CONSTRUCTION DRAWINGS

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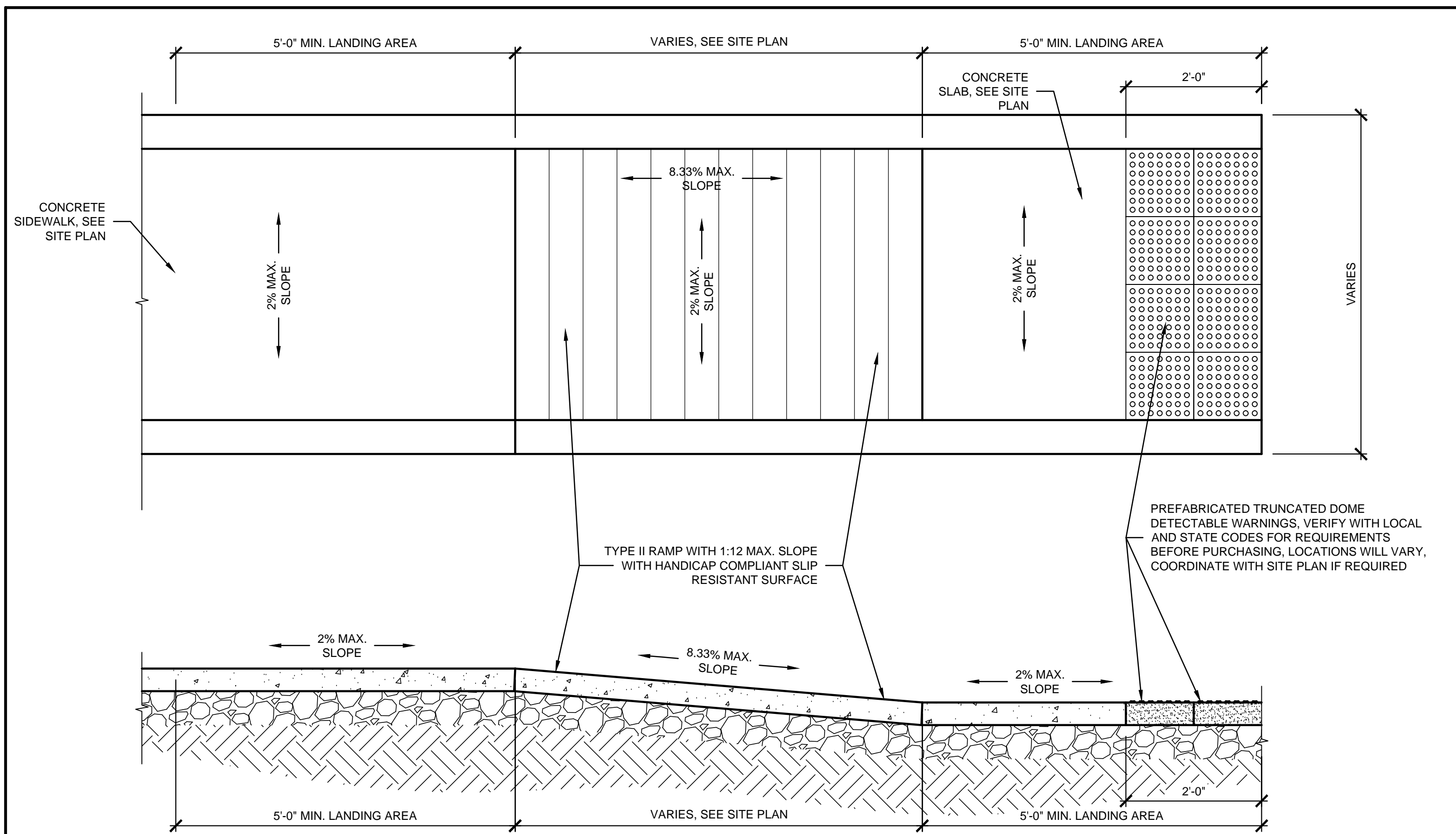
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

COMMERCIAL ADA-ANSI GUIDELINES

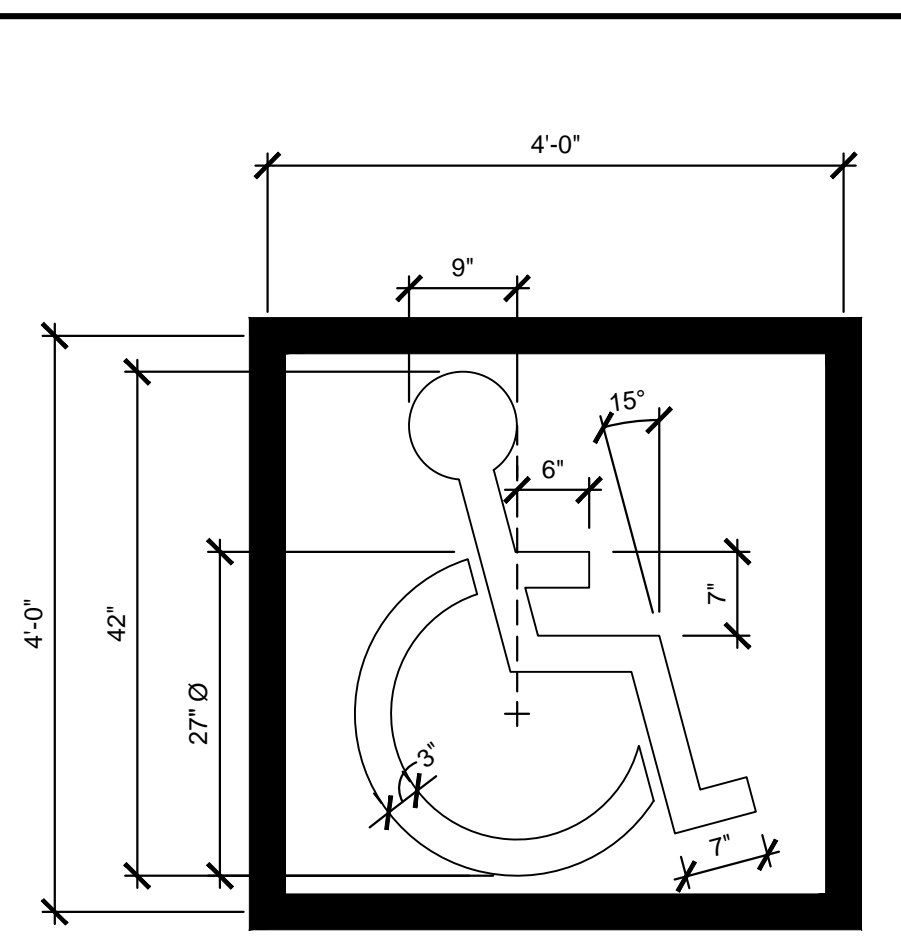
**A3.01**

PROJECT: MONIN WAREHOUSE - FILE: A3.01 Commercial ADA-Ansi Guidelines.dwg - DATE: Sep 02, 2022 4:34PM - BY: DOUG STURGEON

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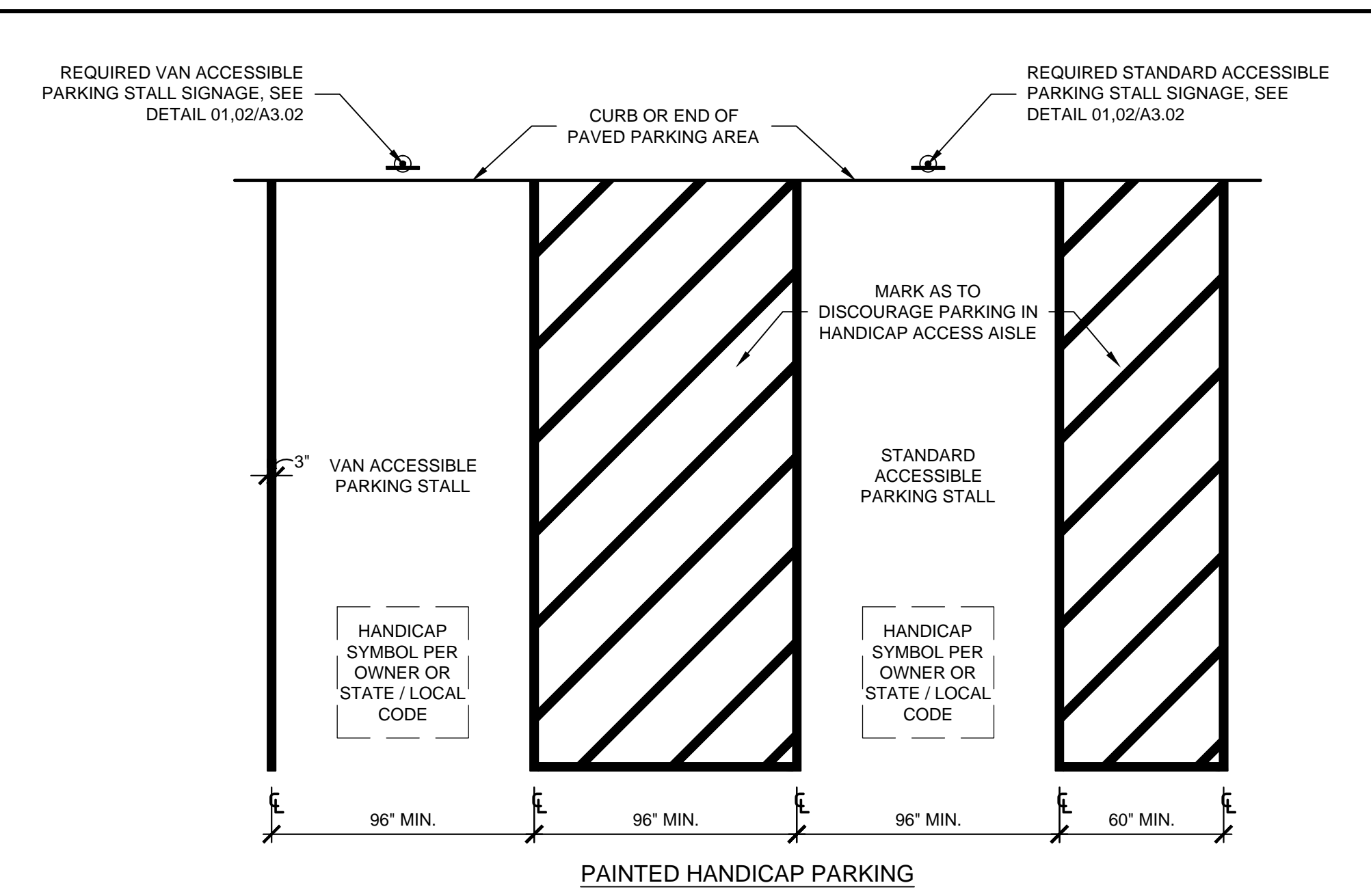


**01 TYPE II ACCESSIBLE RAMP**  
SCALE: 3/4" = 1'-0"



**PAINTED HANDICAP SYMBOL PER OWNER OR LOCAL / STATE CODE**

- NOTE:**
1. USE PAINT WHICH CONTRASTS WITH BACKGROUND
  2. THIS SIGN TO BE FURNISHED AND INSTALLED BY G.C.



**PARKING SPACES**

| TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY | MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES    |
|---|---|
| 1 TO 25   | 1   |
| 26 TO 50  | 2   |
| 51 TO 75  | 3   |
| 76 TO 100   | 4   |
| 101 TO 150  | 5   |
| 151 TO 200  | 6   |
| 201 TO 300  | 7   |
| 301 TO 400  | 8   |
| 401 TO 500  | 9   |
| 501 TO 1000   | 2 PERCENT OF TOTAL                                      |
| 1001 AND OVER   | 20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000 |

**02 PAINTED ACCESSIBLE SYMBOL / PAINTED ACCESSIBLE PARKING**  
SCALE: NTS

PROJECT NO: 22-4350  
DRAWN BY: DES/  
DATE: 09-02-2022

CONSTRUCTION DRAWINGS



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NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

| ROOM FINISH SCHEDULE |            |              |              |            |             |             |         |
|----------------------|------------|--------------|--------------|------------|-------------|-------------|---------|
| ROOM #               | ROOM NAME  | FLOOR        | BASE         | WALLS      | CEILING MTL | CEILING HGT | REMARKS |
| 100                  | CORRIDOR   | VCT          | VINYL        | WALL 1     | CEILING 1   | 9'-0"       | 1, 3    |
| 101                  | OFFICE     | VCT          | VINYL        | WALL 1     | CEILING 1   | 9'-0"       | 1, 3    |
| 102                  | OFFICE     | VCT          | VINYL        | WALL 1     | CEILING 1   | 9'-0"       | 1, 3    |
| 103                  | BREAK ROOM | VCT          | VINYL        | WALL 1     | CEILING 1   | 9'-0"       | 1, 3    |
| 104                  | WOMEN      | CERAMIC TILE | CERAMIC TILE | WALL 2     | CEILING 1   | 9'-0"       | 1, 3    |
| 105                  | MEN        | CERAMIC TILE | CERAMIC TILE | WALL 2     | CEILING 1   | 9'-0"       | 1, 3    |
| 106                  | PUMP ROOM  | VCT          | VINYL        | WALL 1 & 4 | CEILING 3   | 9'-11 3/8"  | 1, 3    |
| 107                  | OFFICE     | VCT          | VINYL        | WALL 1     | CEILING 1   | 9'-0"       | 1, 3    |
| 108                  | TOILET     | CERAMIC TILE | CERAMIC TILE | WALL 2     | CEILING 1   | 9'-0"       | 1, 3    |
| 109                  | WAREHOUSE  | CONCRETE     | VINYL        | WALL 3     | CEILING 2   | VARIES      | 2       |
|                      |            |              |              |            |             |             |         |

| FINISH SCHEDULE KEY |   |
|---------------------|---|
| VCT                 | VINYL COMPOSITE TILE - SEE SPECIFICATIONS                                 |
| CERAMIC TILE        | VERIFY SIZES AND STYLE WITH OWNER   |
| CONCRETE            | SEALED CONCRETE FLOOR - SEE SPECIFICATIONS                                |
| CEILING #1          | 2x2' LAY-IN RECESSED WHITE GRID WITH ACOUSTICAL TILE - SEE SPECIFICATIONS |
| CEILING #2          | OPEN TO STRUCTURE ABOVE   |
| CEILING #3          | PAINTED GYPSUM BOARD  |
| WALL #1             | PAINTED GYPSUM BOARD  |
| WALL #2             | CERAMIC TILE AND PAINTED GYPSUM BOARD ABOVE - VERIFY HEIGHT WITH OWNER    |
| WALL #3             | PAINTED CMU WAINSCOT AND PREFINISHED METAL PANEL                          |
| WALL #4             | PAINTED CMU   |

**ROOM FINISH REMARKS**

- VINYL FLOOR TRANSITIONS
- VINYL BASE ONLY AT STUD PARTITIONS
- CONSTRUCT HARD CEILING AT 10' HEIGHT (5/8" GYPSUM BOARD ON 6" LIGHT GAUGE METAL JOISTS - BOTTOM OF JOISTS AT 10'-0" A.F.F.); 2x2 LAY-IN CEILING SUSPENDED FROM HARD CEILING STRUCTURE WHERE APPLICABLE

| DOOR SCHEDULE |               |      |          |       |          |                  |         | DOOR TYPE SYMBOL |
|---------------|---------------|------|----------|-------|----------|------------------|---------|------------------|
| NUMBER        | SIZE          | FIRE | MATERIAL | FRAME | HARDWARE | DETAILS          | REMARKS | 000              |
| 100           | 3'-0"x7'-0"   | N/A  | ALUM     | ALUM  | 1        | 01, 02, 03/A6.01 | 1       |                  |
| 101           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 2        | 06, 07/A6.01     | 4       |                  |
| 102           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 2        | 06, 07/A6.01     | 4       |                  |
| 103           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 4        | 06, 07/A6.01     | 4       |                  |
| 104           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 3        | 06, 07/A6.01     | 4       |                  |
| 105           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 3        | 06, 07/A6.01     | 4       |                  |
| 106           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |
| 107           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 108           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 109           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |
| 110           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 111           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 112           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 113           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 114           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 115           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |
| 116           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 117           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 118           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 119           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 4        | 06, 07/A6.01     | 4       |                  |
| 120           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 121           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 122           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |
| 123           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 124           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 125           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 2        | 06, 07/A6.01     | 4       |                  |
| 126           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 3        | 06, 07/A6.01     | 4       |                  |
| 127           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |
| 128           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 129           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 130           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 131           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 132           | 9'-0"x10'-0"  | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 133           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |
| 134           | 12'-0"x14'-0" | N/A  | STEEL    | STEEL | 6        | 08, 09, 10/A6.01 | 2       |                  |
| 135           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 11, 12/A6.01     | 4       |                  |
| 136           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 11, 12/A6.01     | 4       |                  |
| 137           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 11, 12/A6.01     | 4       |                  |
| 138           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 11, 12/A6.01     | 4       |                  |
| 139           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 11, 12/A6.01     | 4       |                  |
| 140           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 11, 12/A6.01     | 4       |                  |
| 141           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |
| 142           | 3'-0"x7'-0"   | N/A  | HM       | HM    | 7        | 04, 05/A6.01     | 3, 4    |                  |

**DOOR HARDWARE SCHEDULE**

\*NRP = NON-REMOVABLE PIN

- 1 PR. PIVOTS  
1 PR. PUSH/PULLS  
1 DEADBOLT (THUMB TURN INSIDE)  
1 CLOSER  
1 WEATHERSTRIP SET  
1 THRESHOLD
- 1-1/2 PR. HINGES  
1 ENTRANCE SET  
1 WALL STOP  
1 WEATHERSTRIP SET  
1 THRESHOLD
- 1-1/2 PR. HINGES  
1 PR. PUSH/PULLS  
1 CLOSER  
1 THRESHOLD
- 1-1/2 PR. HINGES  
1 STOREROOM SET  
1 CLOSER  
1 WALL STOP
- 1-1/2 PR. HINGES  
1 ENTRANCE SET  
1 CLOSER  
1 WALL STOP  
1 WEATHERSTRIP SET  
1 THRESHOLD
- 1 ELECTRONIC DOOR OPERATOR  
BALANCE OF HARDWARE BY MANUFACTURER
- 1-1/2 PR. HINGES  
1 INTERCONNECTED LOCKSET (THUMB TURN INSIDE)  
1 CLOSER  
1 WEATHERSTRIP SET  
1 THRESHOLD

**DOOR SCHEDULE REMARKS**

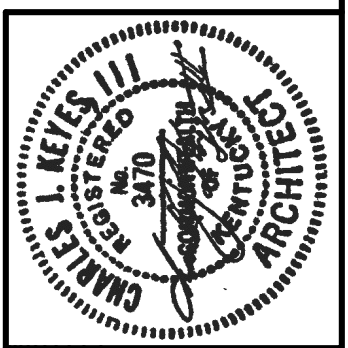
- DOOR PART OF ALUMINUM STOREFRONT SYSTEM (SEE SPECIFICATIONS)
- SECTIONAL OVERHEAD DOOR WITH GLAZED LITE (SEE ELEVATIONS AND SPECIFICATIONS)
- 4" MASONRY HEAD
- INSULATED HOLLOW METAL DOOR

| WINDOW SCHEDULE |             |             |              |       |                  |         | WINDOW TYPE SYMBOL |
|-----------------|-------------|-------------|--------------|-------|------------------|---------|--------------------|
| LETTER          | SIZE        | SILL HEIGHT | GLAZING      | FRAME | DETAILS          | REMARKS | 000                |
| A               | 3'-4"x5'-4" | 2'-0"       | TINTED/LOW E | ALUM  | 04, 05, 06/A6.02 | 1       |                    |
| B               | 4'-0"x3'-6" | 3'-6"       | CLEAR        | VINYL | 01, 02, 03/A6.02 | 2       |                    |

**WINDOW SCHEDULE REMARKS**

- MASONRY OPENING SIZE
- INTERIOR PASS-THRU WINDOW WITH SHELF/COUNTER

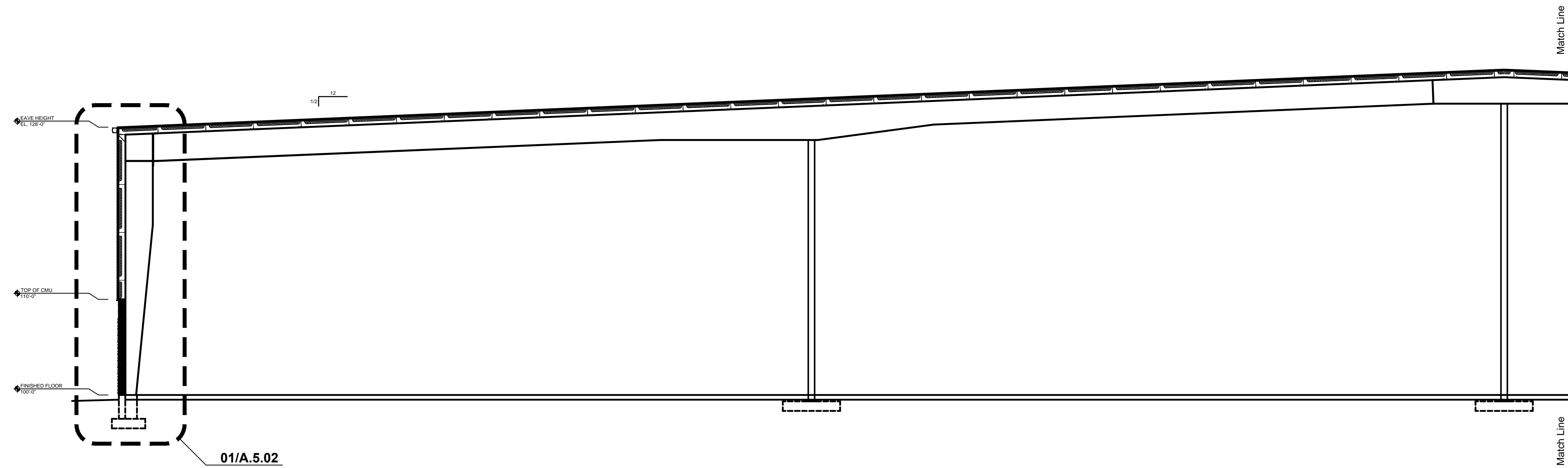
CONSTRUCTION DRAWINGS



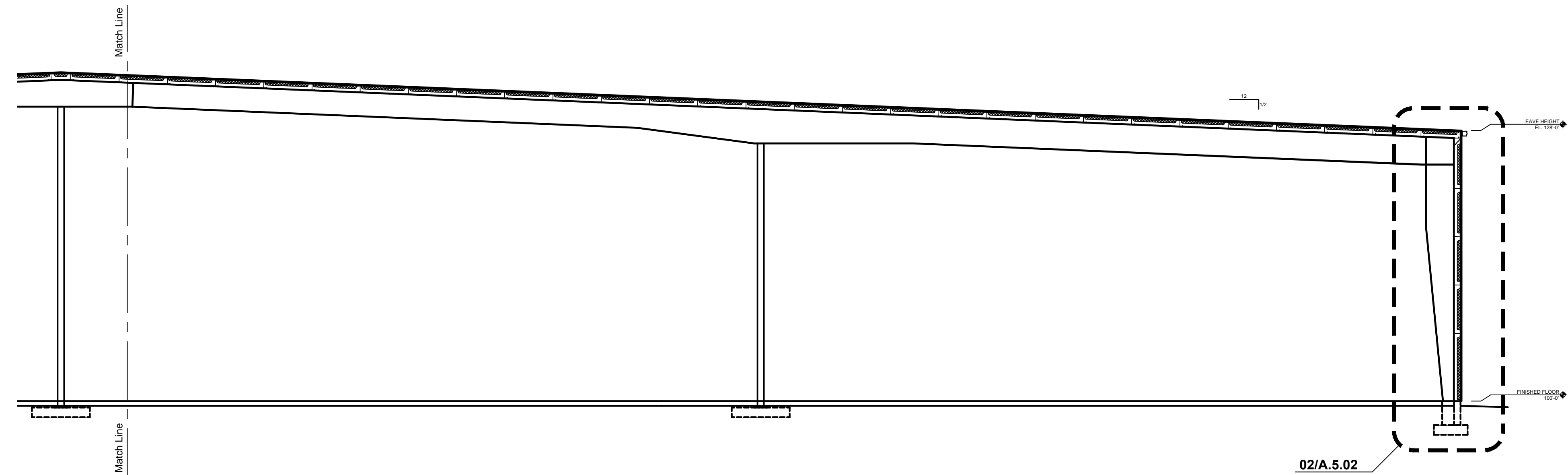
**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004





**01 PARTIAL BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**02 PARTIAL BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

CONSTRUCTION DRAWINGS



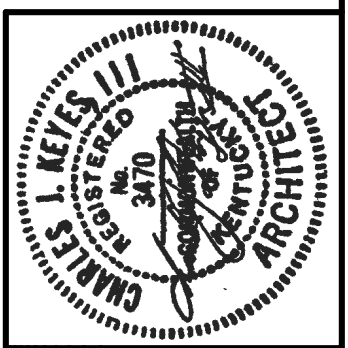
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NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

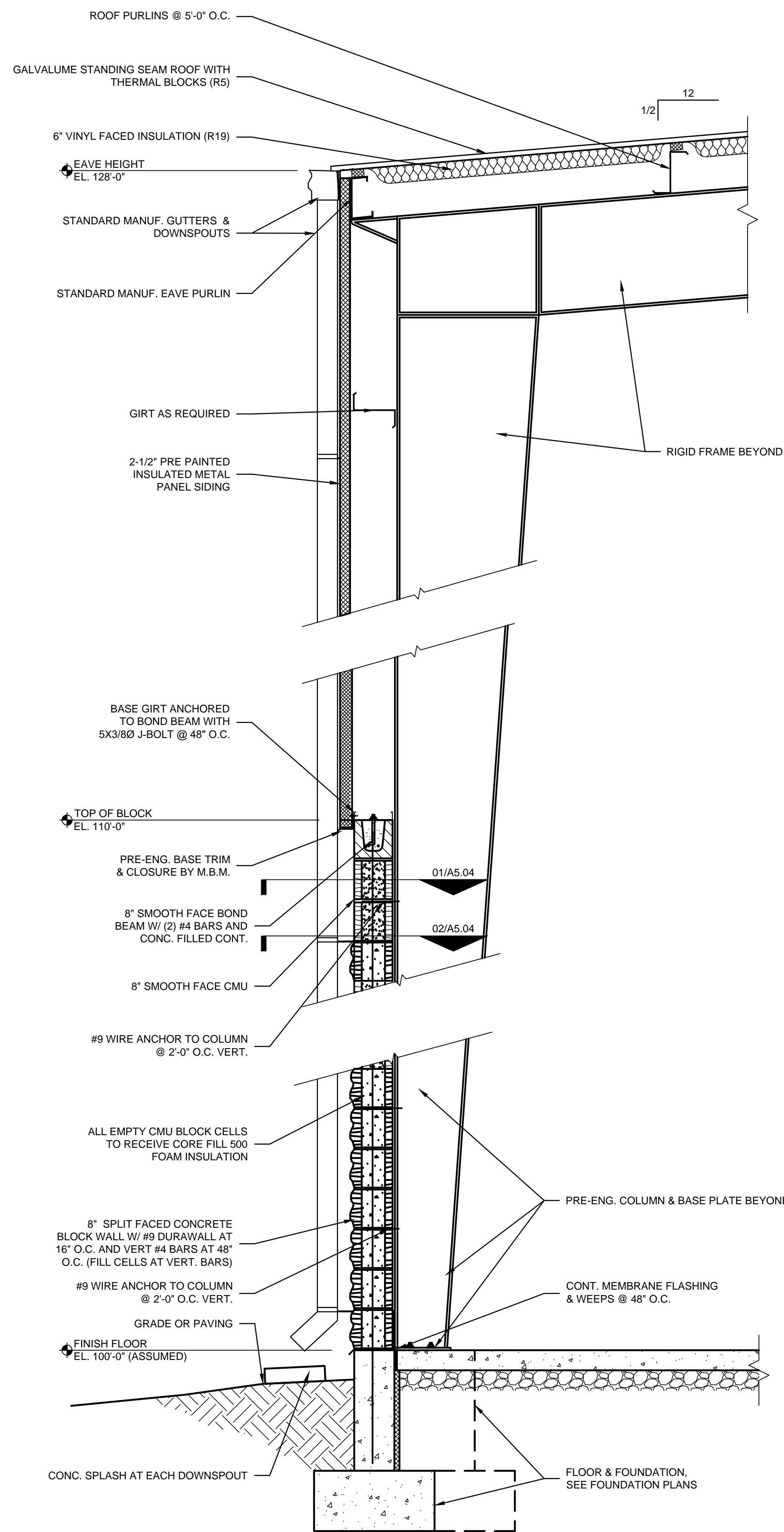
BUILDING SECTION

**A5.01**

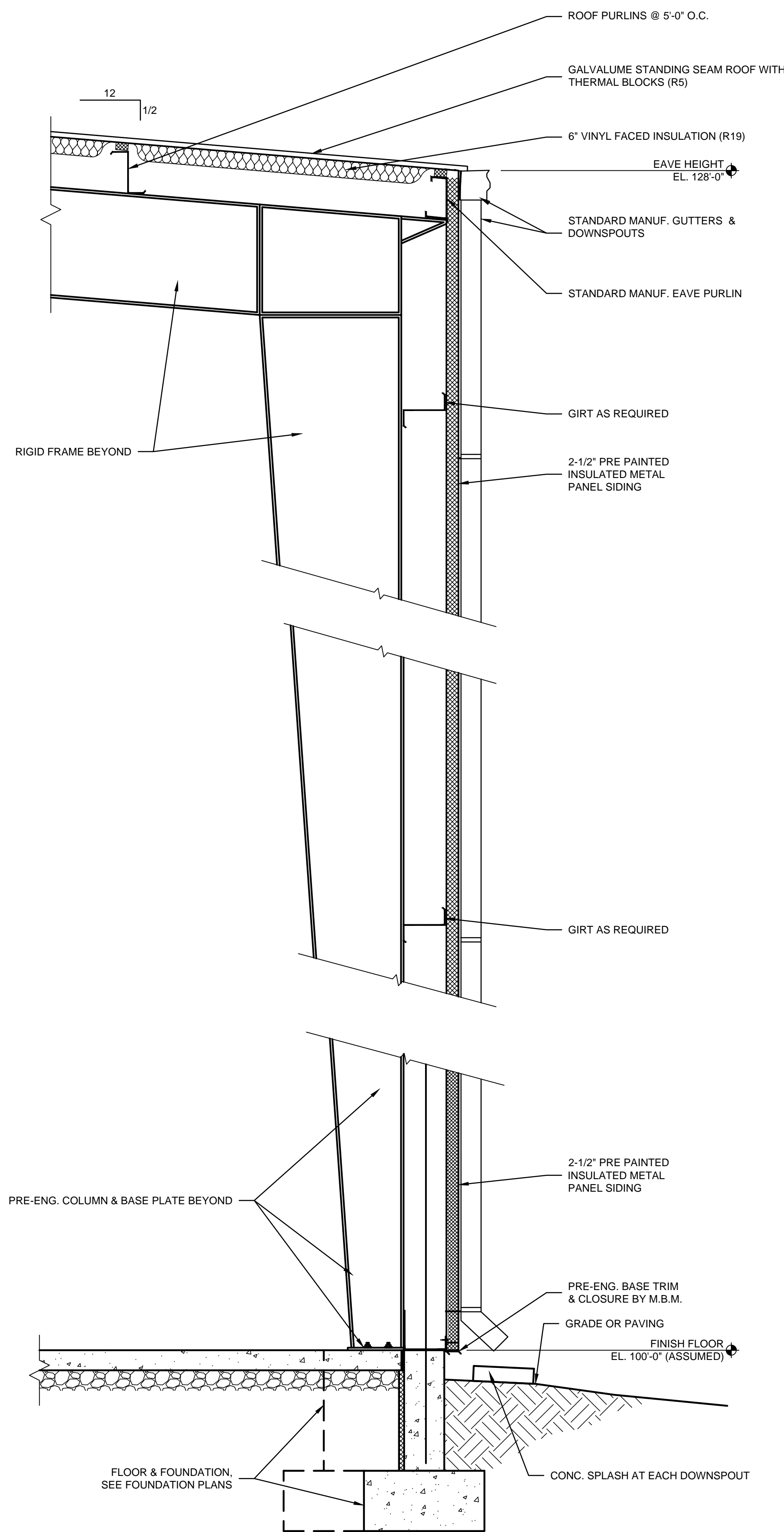
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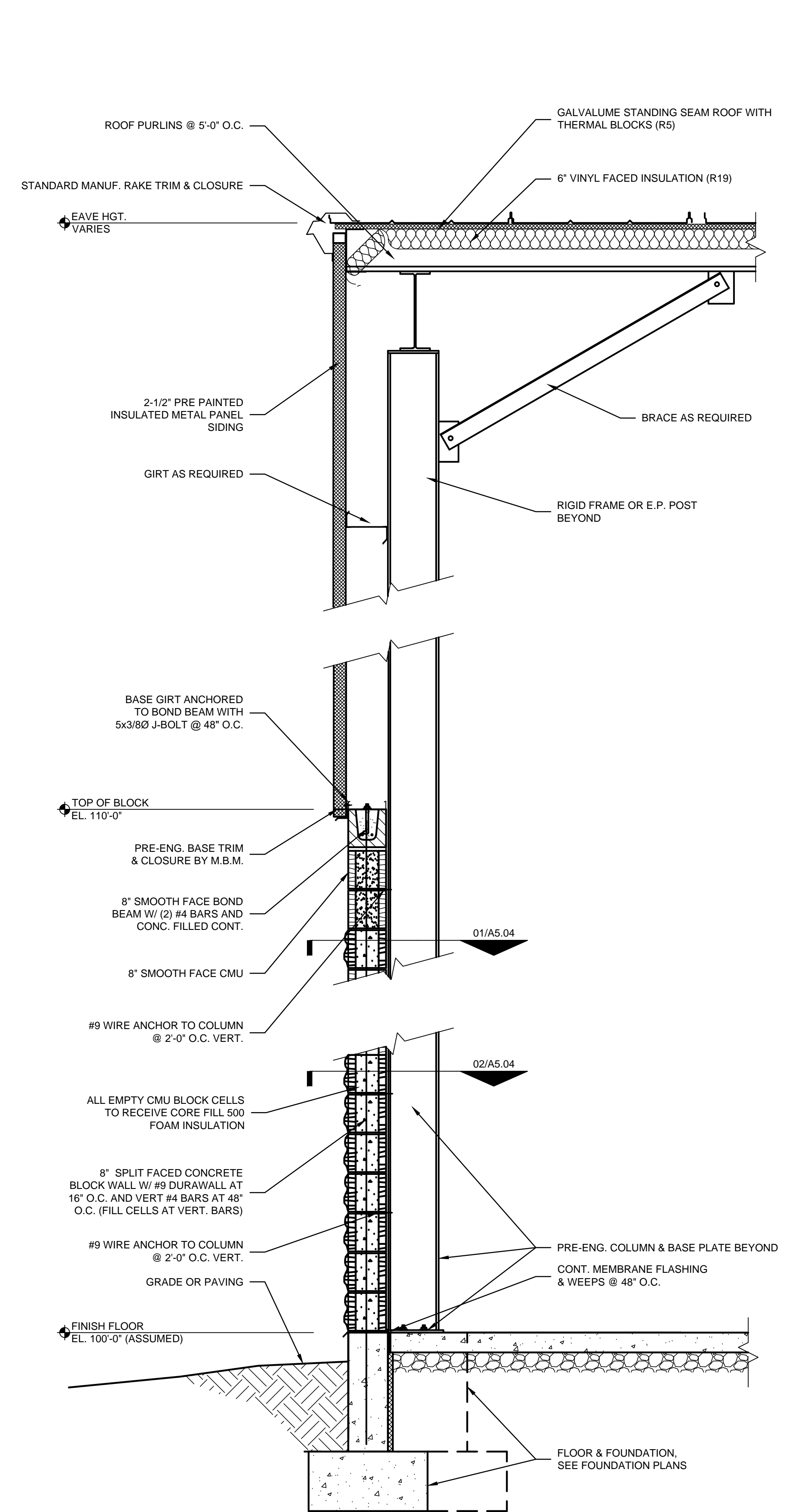
PROJECT: MONIN WAREHOUSE - FILE: A5.02 Wall Sections & Details.dwg - DATE: Sep 02, 2022 4:35PM - BY: DOUG STURGEON



**01 SIDE WALL SECTION**  
SCALE: 3/4" = 1'-0"

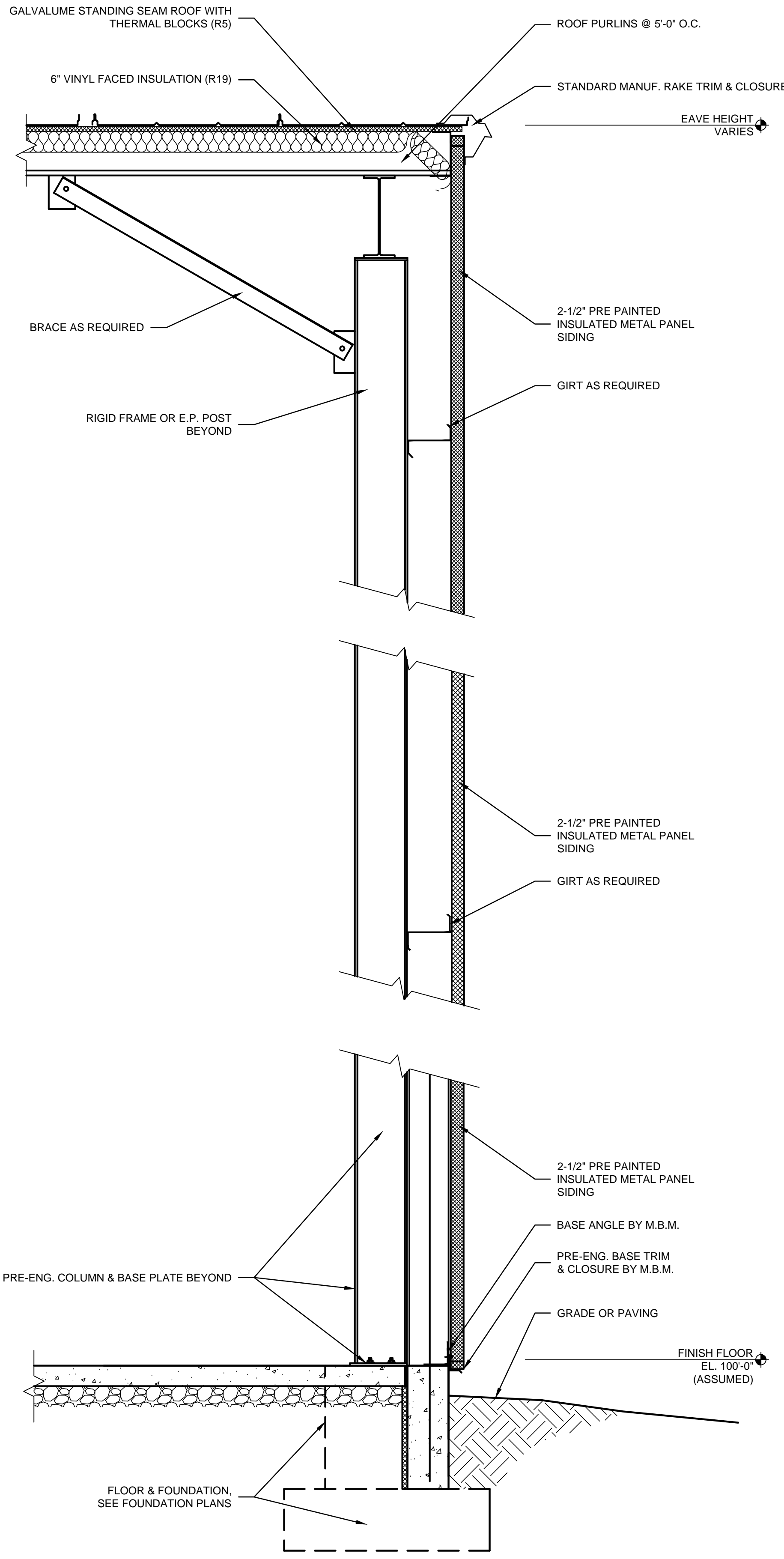


**02 SIDE WALL SECTION**  
SCALE: 3/4" = 1'-0"

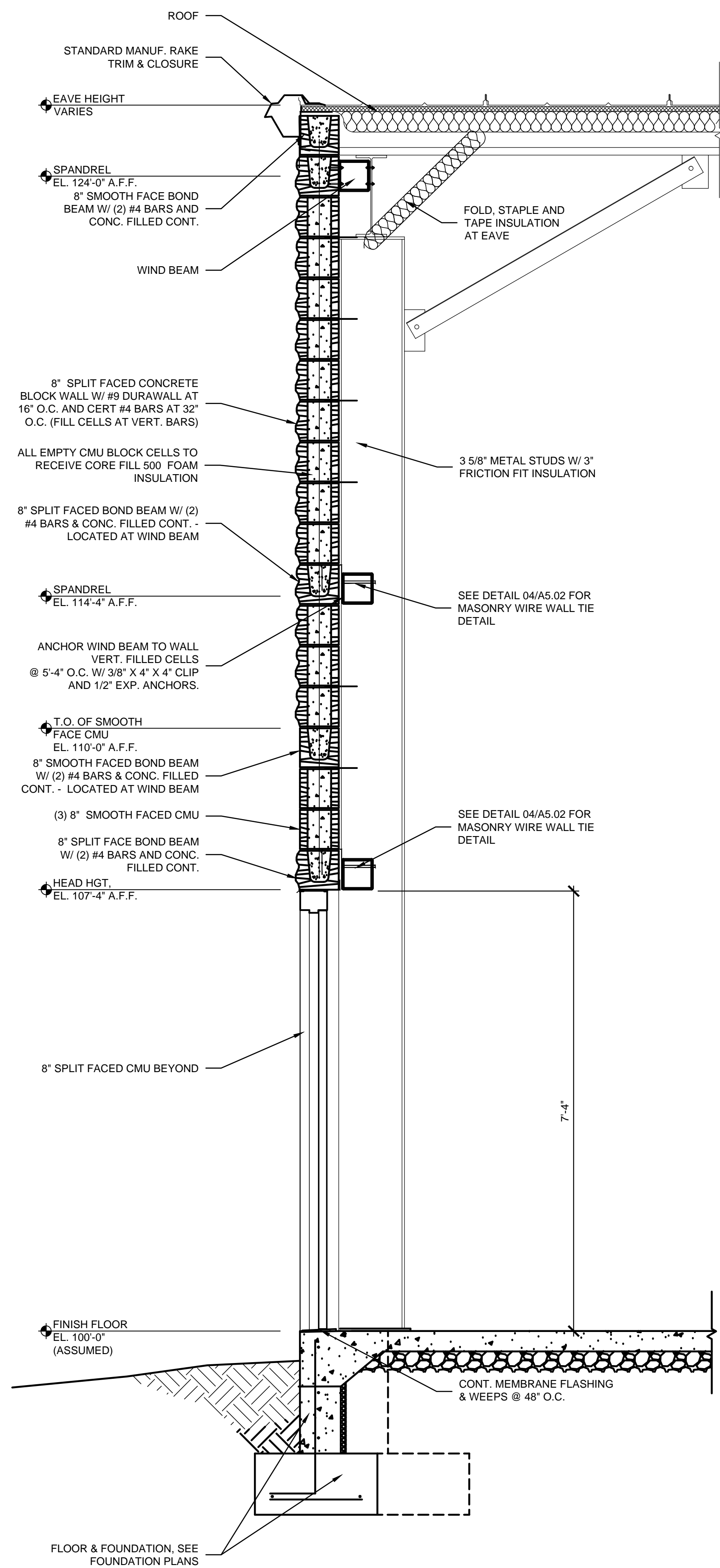


**03 END WALL SECTION**  
SCALE: 3/4" = 1'-0"

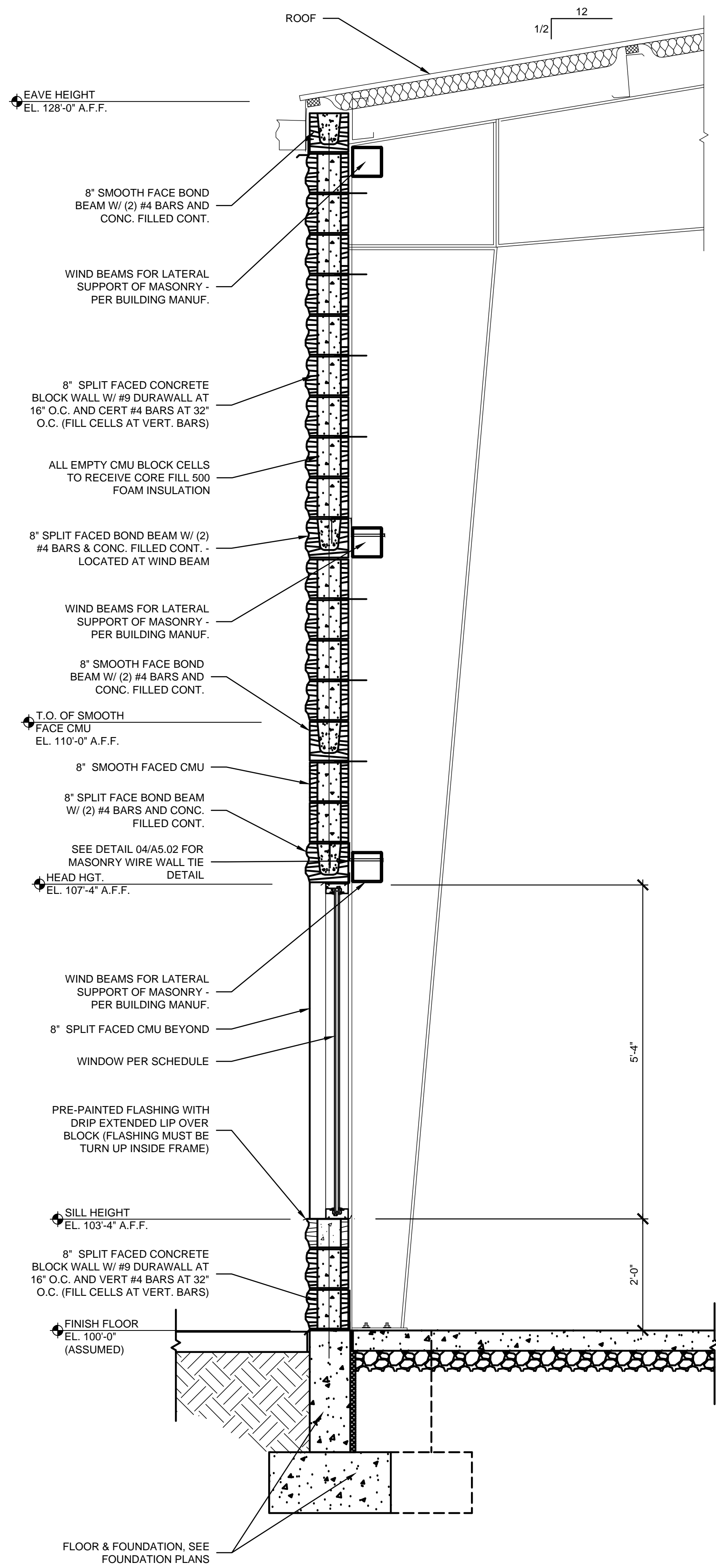
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**01 END WALL SECTION**  
SCALE: 3/4" = 1'-0"



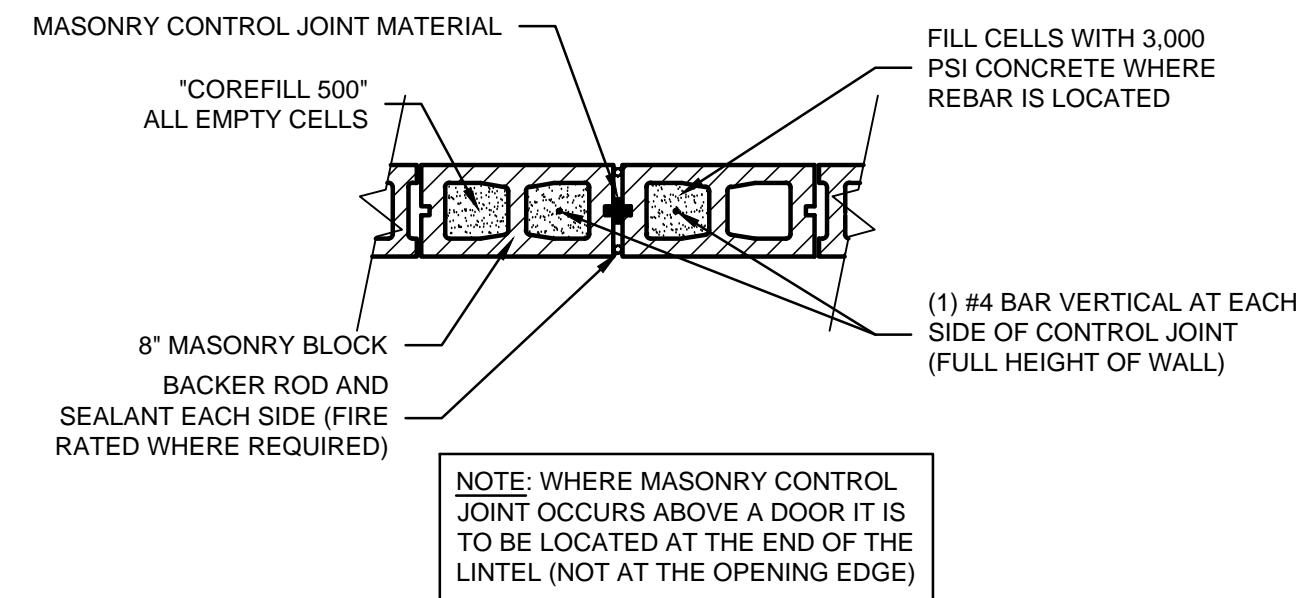
**02 END WALL SECTION**  
SCALE: 3/4" = 1'-0"



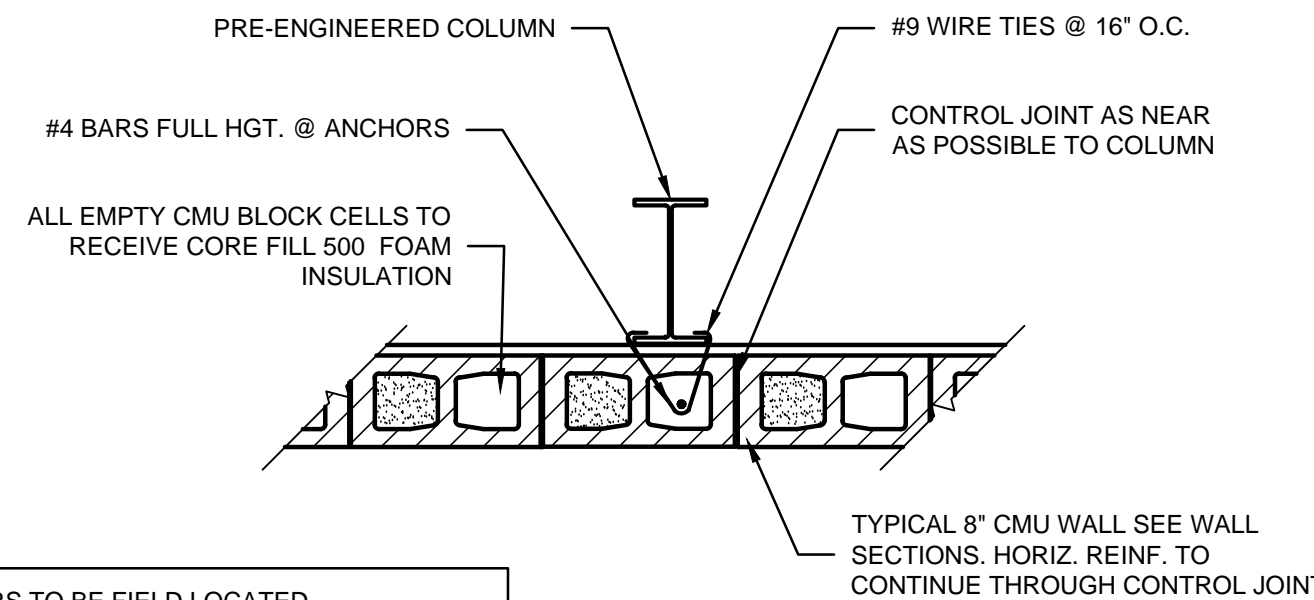
**03 LOW EAVE SECTION**  
SCALE: 3/4" = 1'-0"

PROJECT: MONIN WAREHOUSE - FILE: A5.03 Wall Sections & Details.dwg - DATE: Sep 02, 2022 4:35PM - BY: DOUG STURGEON

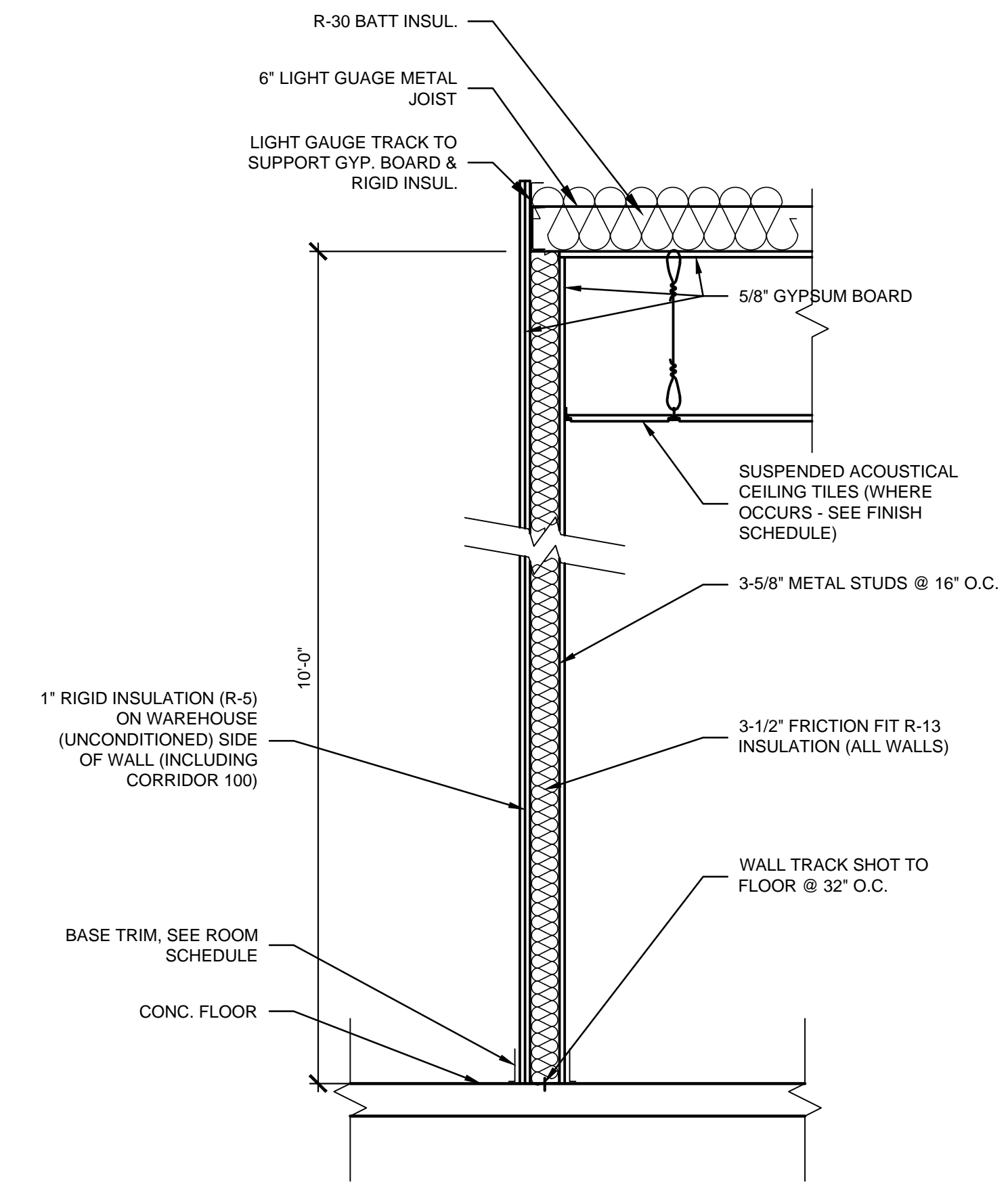
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**01** MASONRY CONTROL JOINT DETAIL  
SCALE: 3/4" = 1'-0"

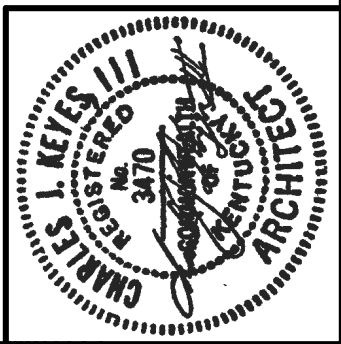


**02** MASONRY WIRE TIE DETAIL  
SCALE: 3/4" = 1'-0"



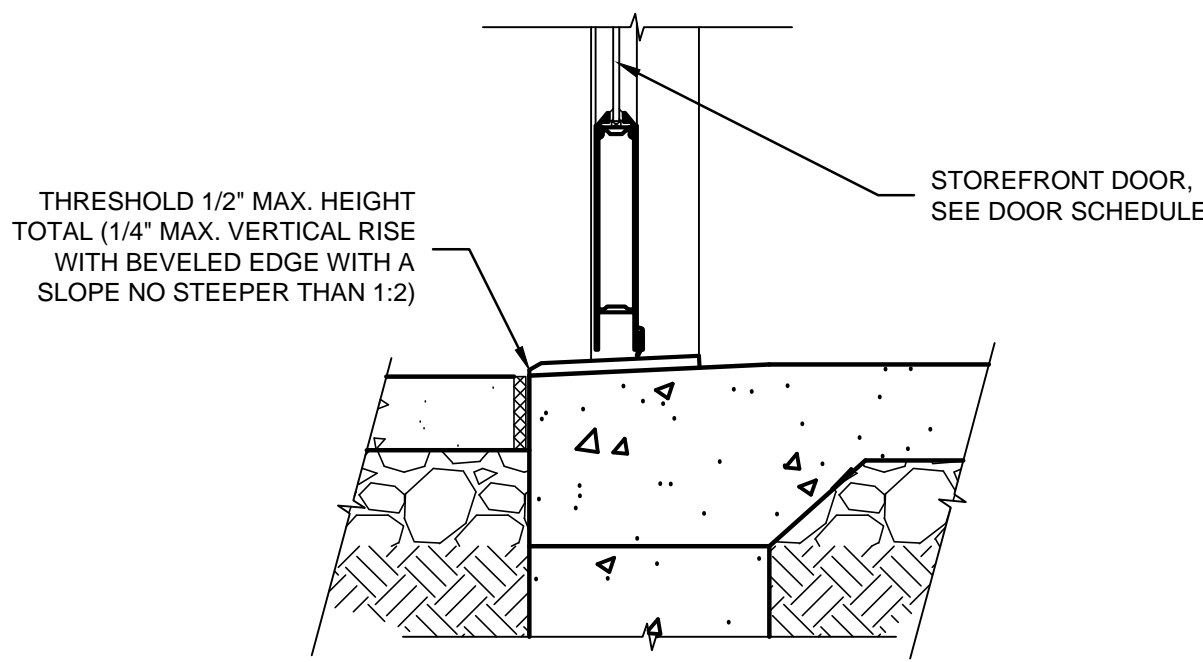
**03** TYPICAL INTERIOR WALL SECTION  
SCALE: 3/4" = 1'-0"

CONSTRUCTION DRAWINGS

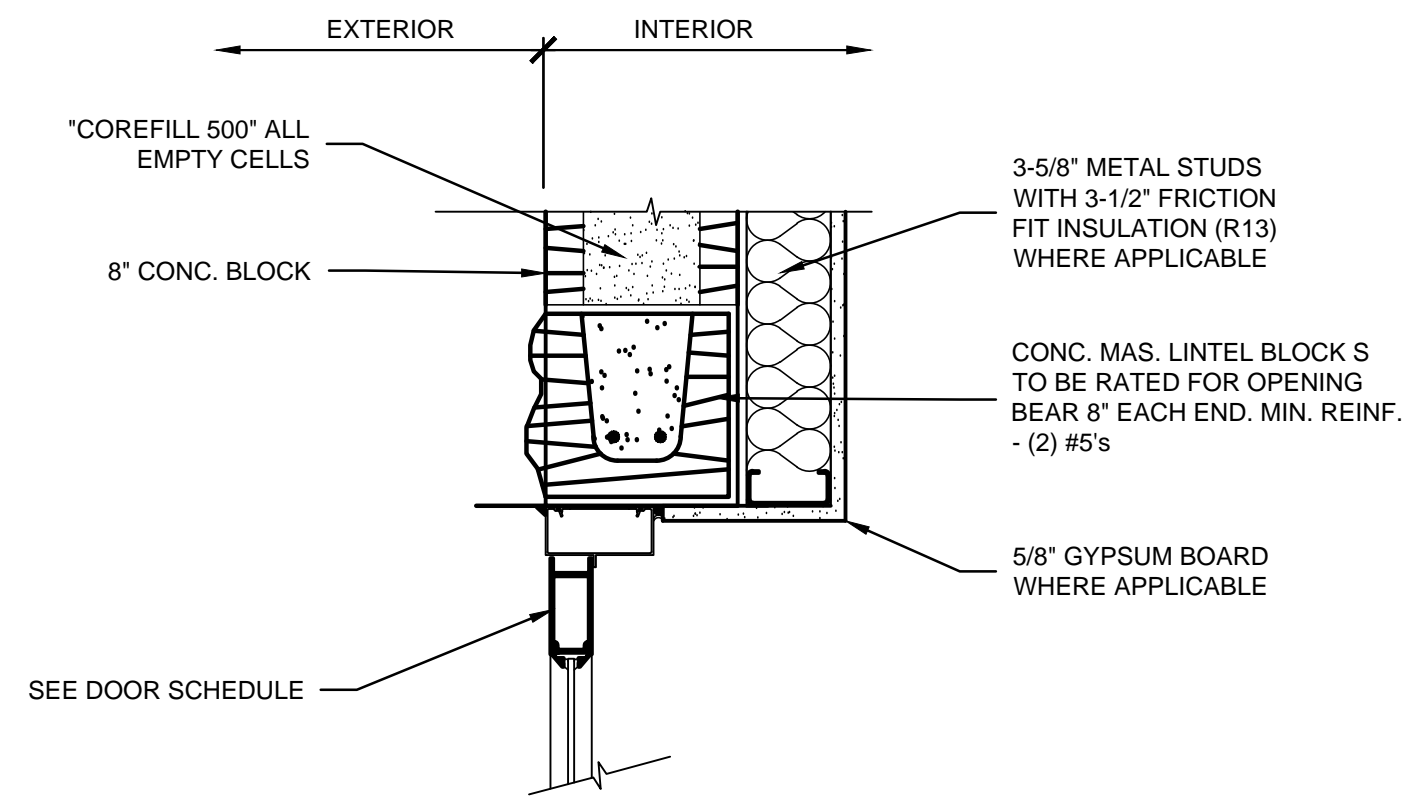


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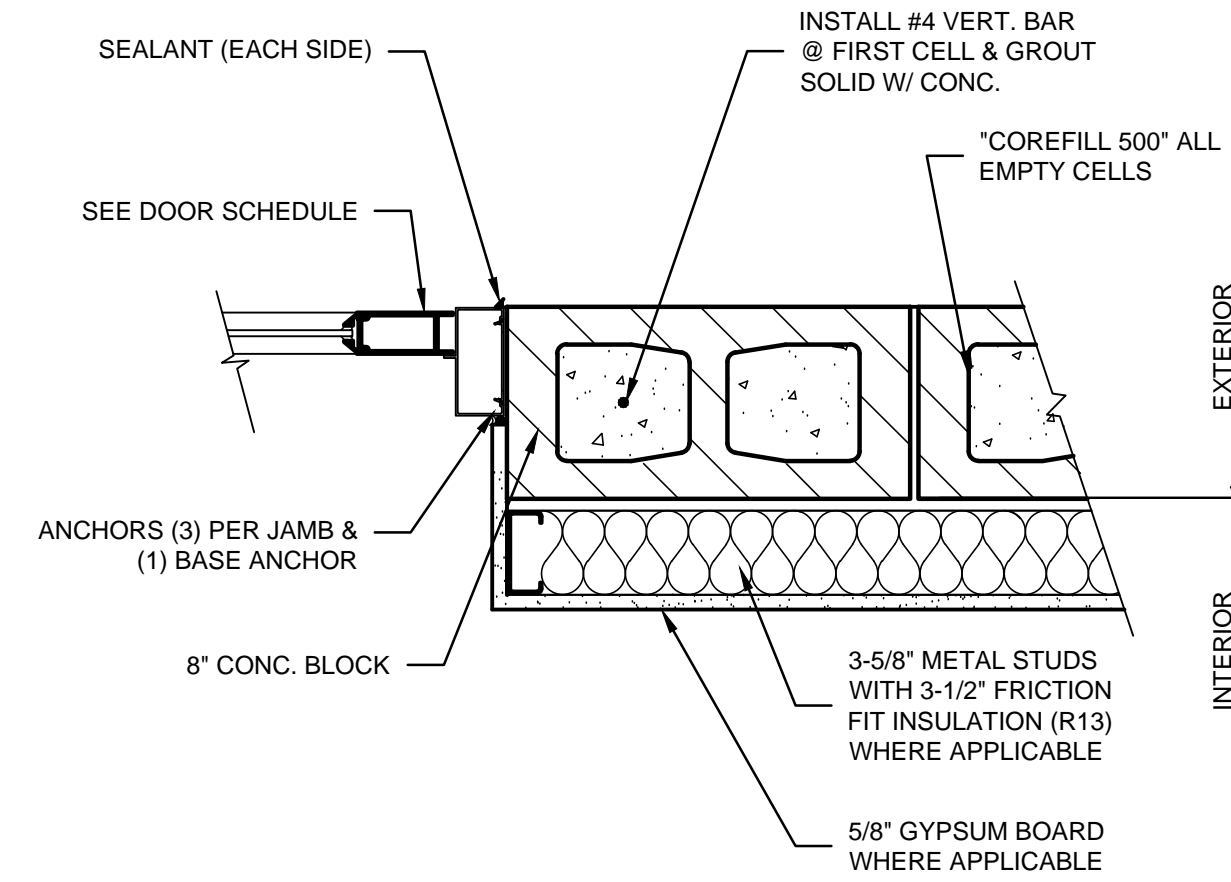
NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004



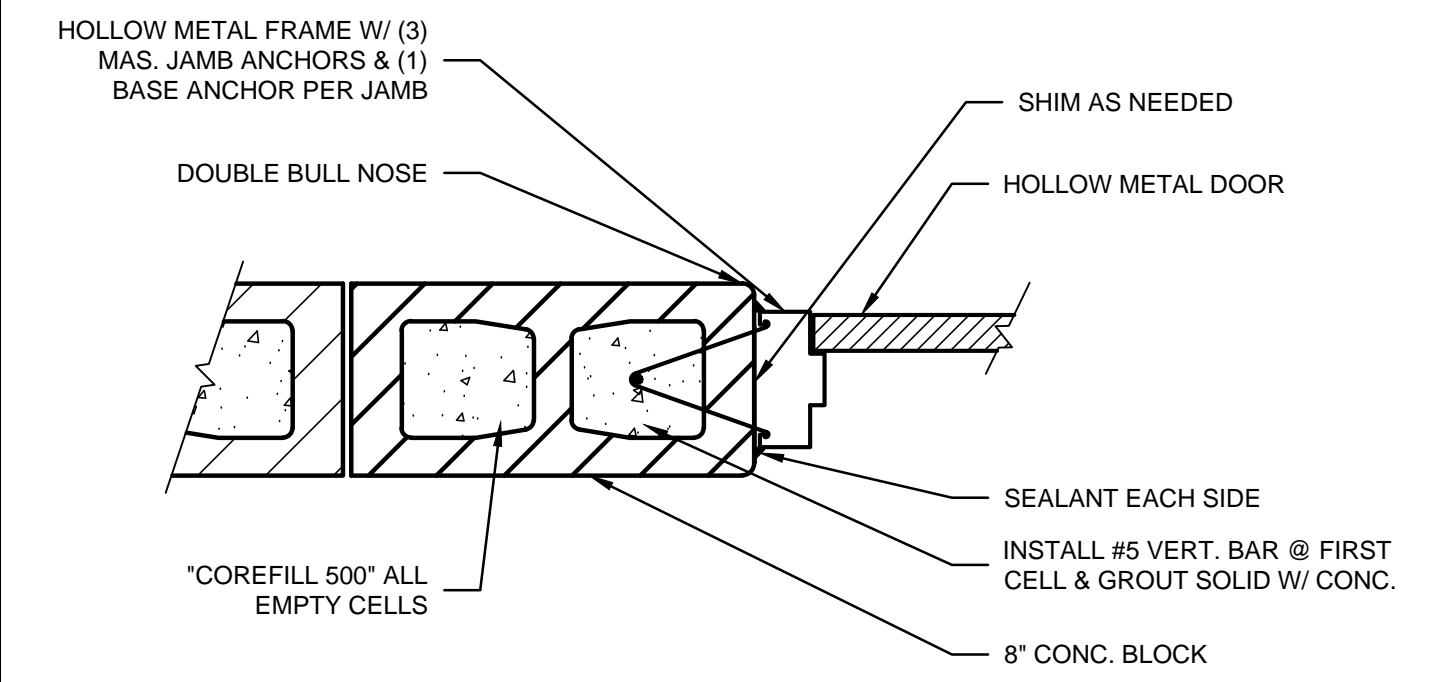
**01 DOOR THRESHOLD**  
SCALE: 1-1/2" = 1'-0"



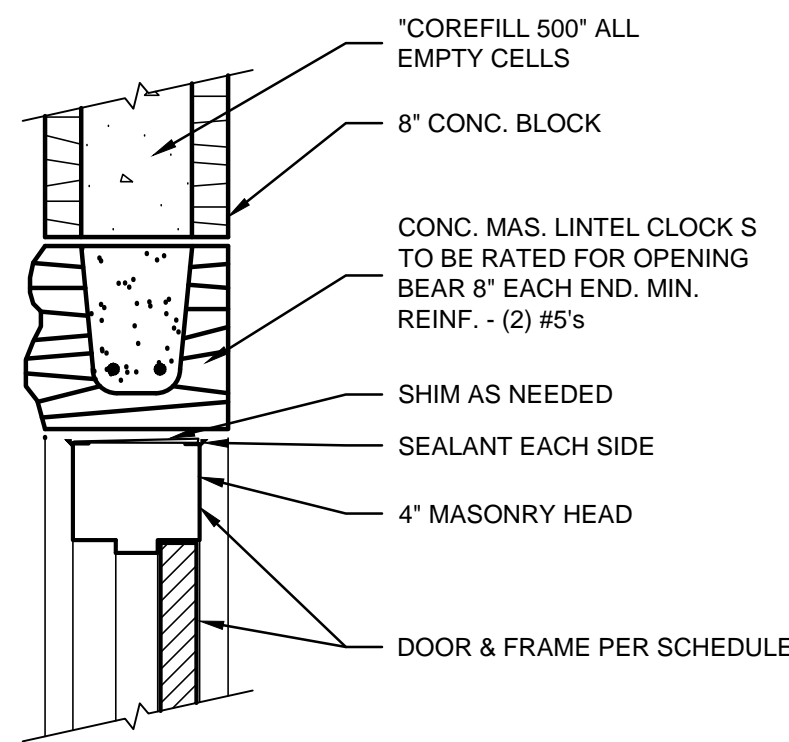
**02 ALUMINUM STOREFRONT DOOR HEAD**  
SCALE: 1-1/2" = 1'-0"



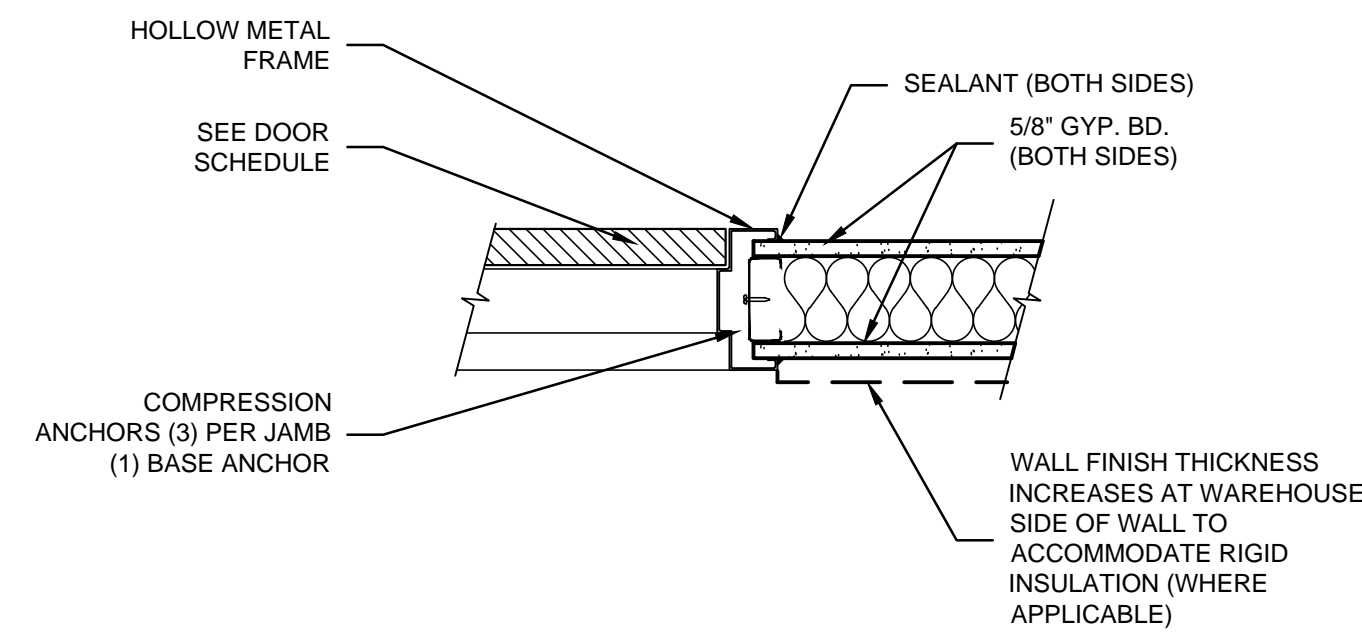
**03 ALUMINUM STOREFRONT DOOR JAMB**  
SCALE: 1-1/2" = 1'-0"



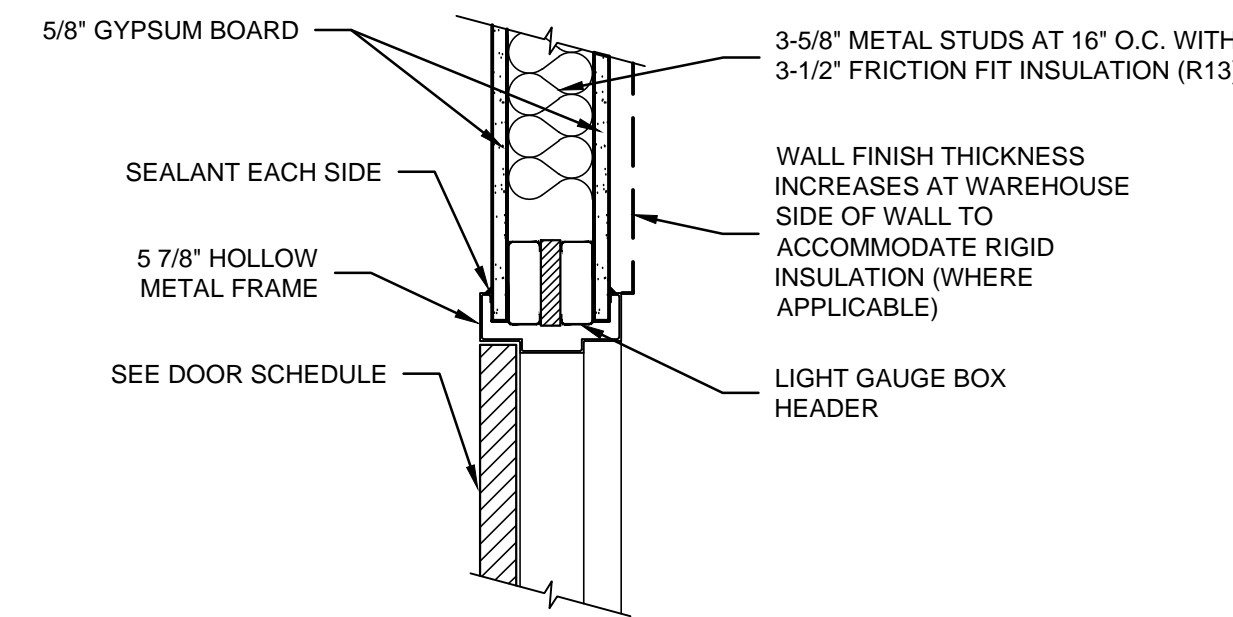
**04 HOLLOW METAL DOOR JAMB**  
SCALE: 1-1/2" = 1'-0"



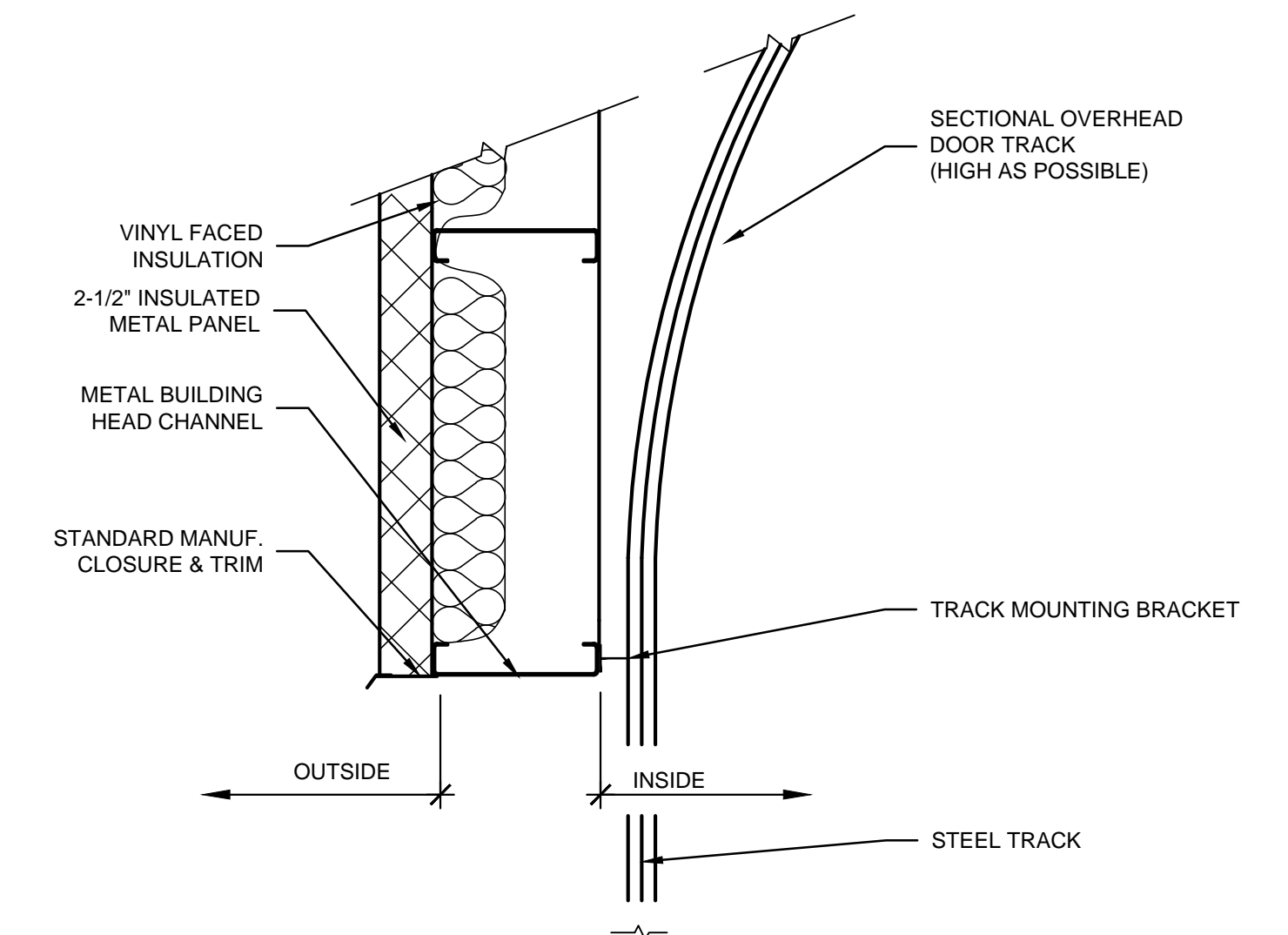
**05 HOLLOW METAL DOOR HEAD**  
SCALE: 1-1/2" = 1'-0"



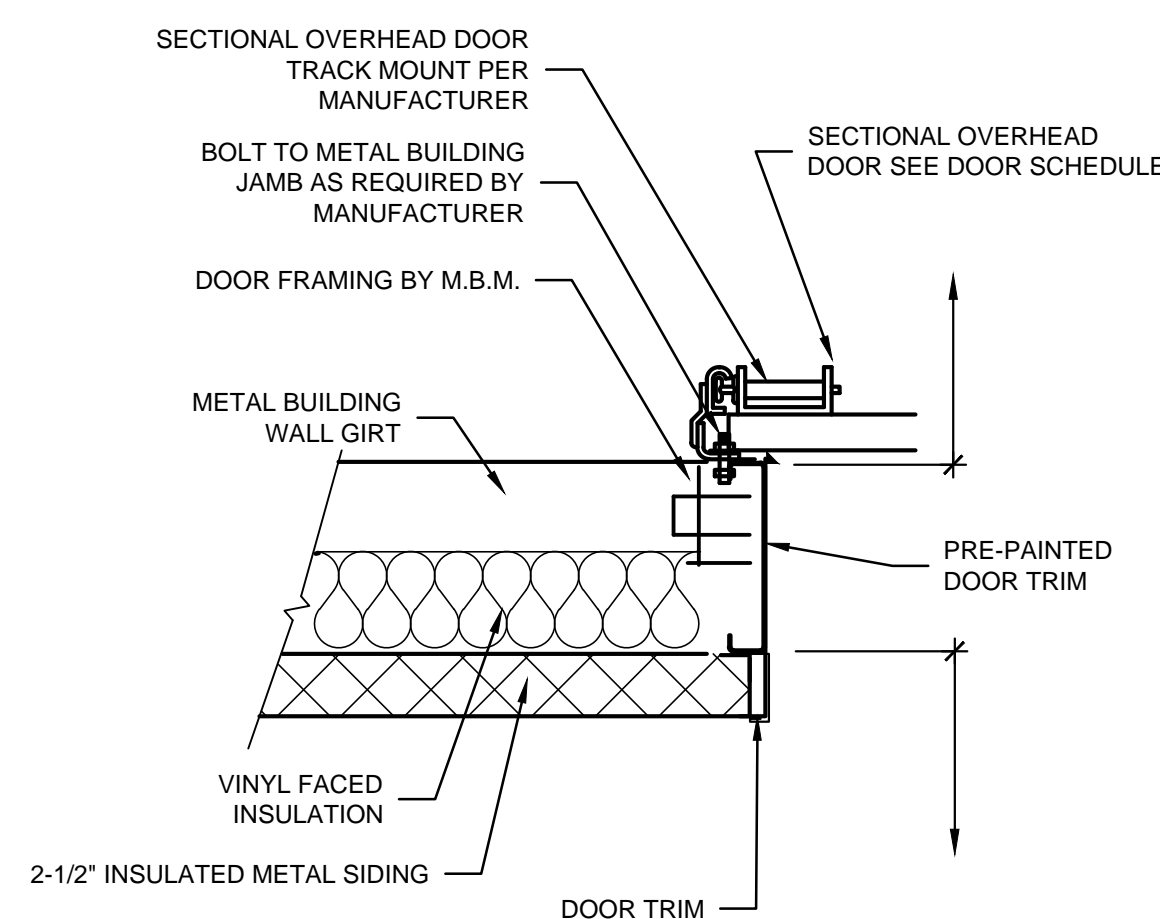
**06 HOLLOW METAL DOOR JAMB**  
SCALE: 1-1/2" = 1'-0"



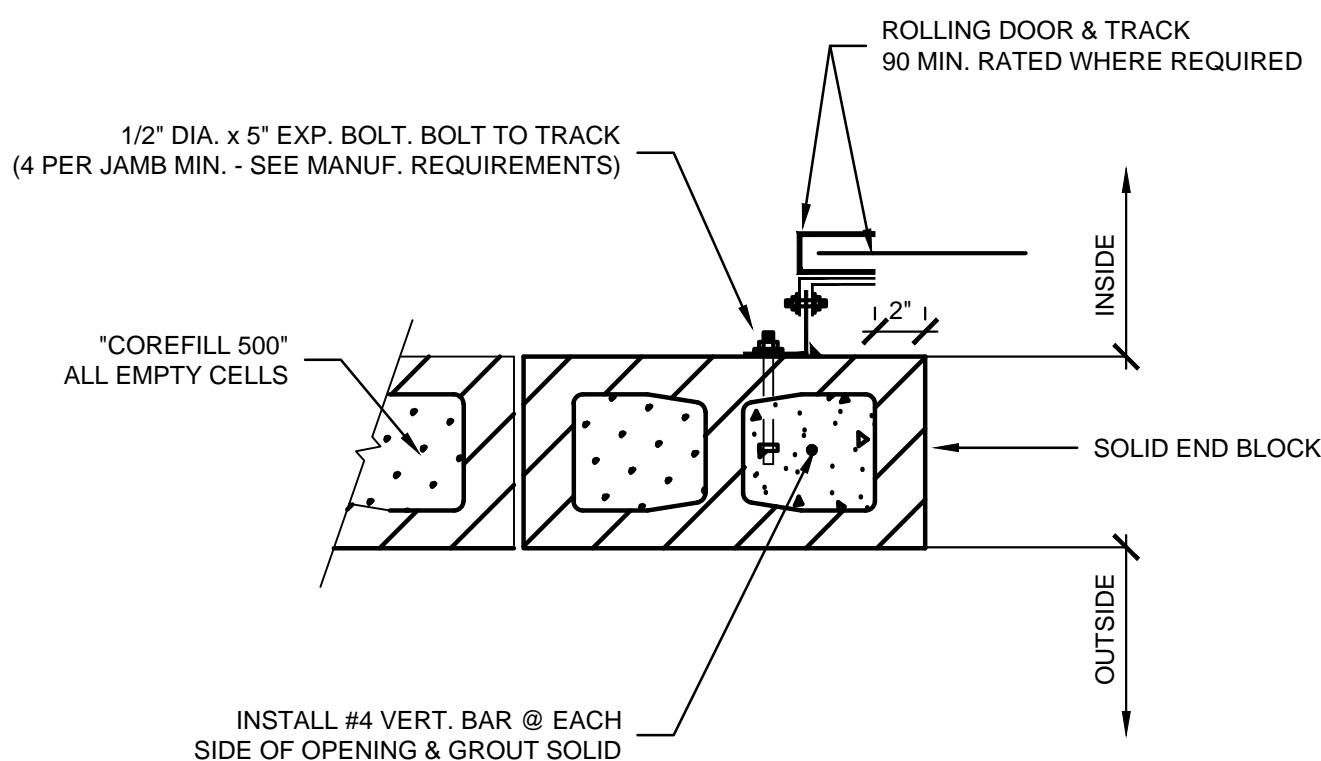
**07 HOLLOW METAL DOOR HEAD**  
SCALE: 1-1/2" = 1'-0"



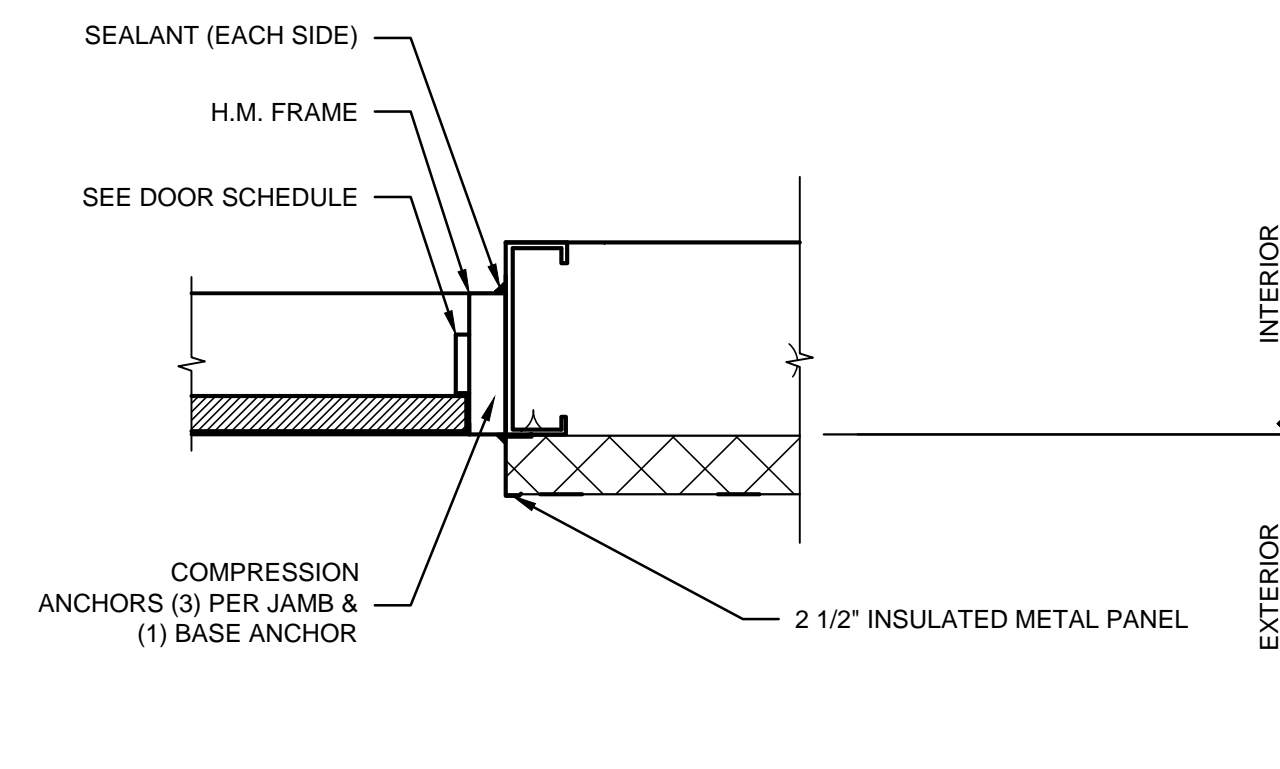
**08 OVERHEAD DOOR HEAD**  
SCALE: 1-1/2" = 1'-0"



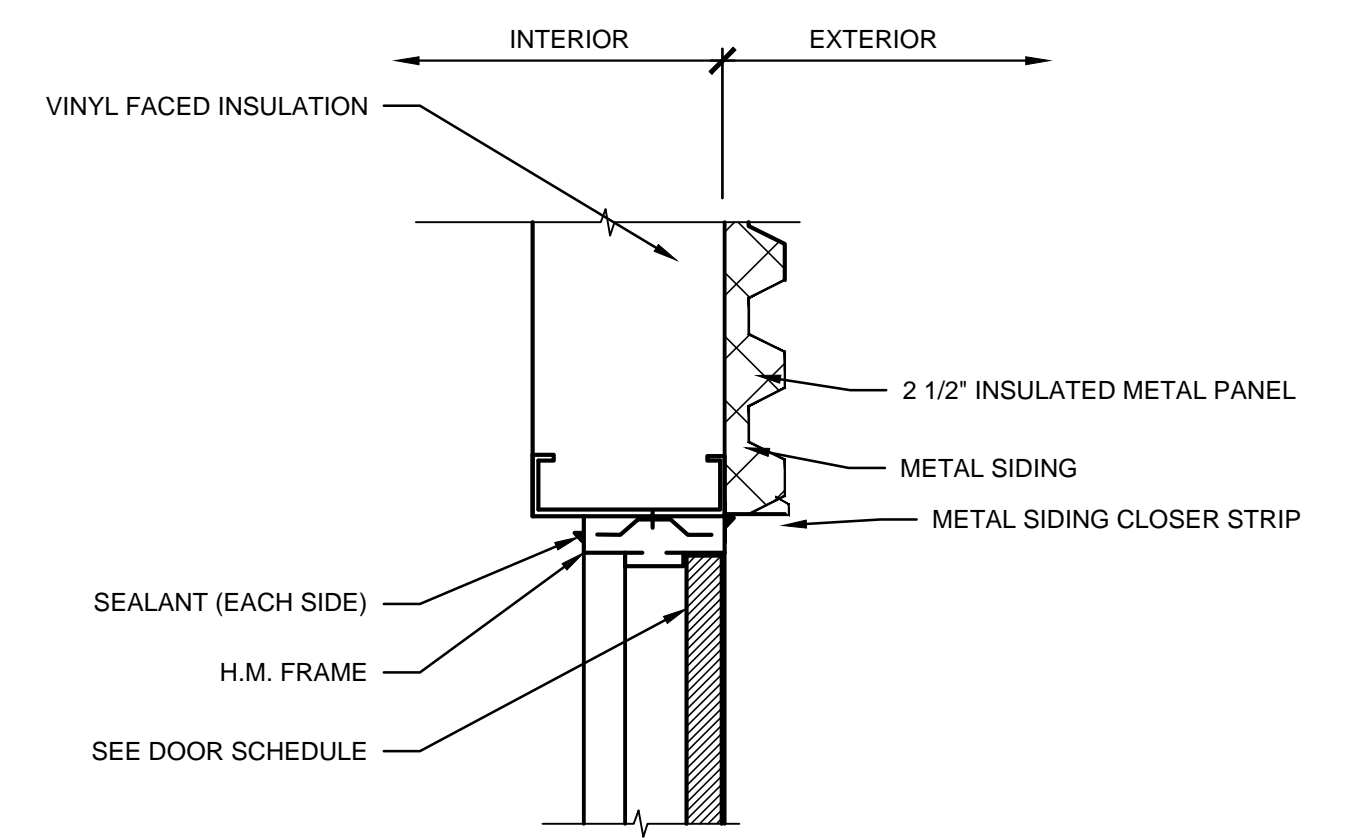
**09 OVERHEAD DOOR JAMB**  
SCALE: 1-1/2" = 1'-0"



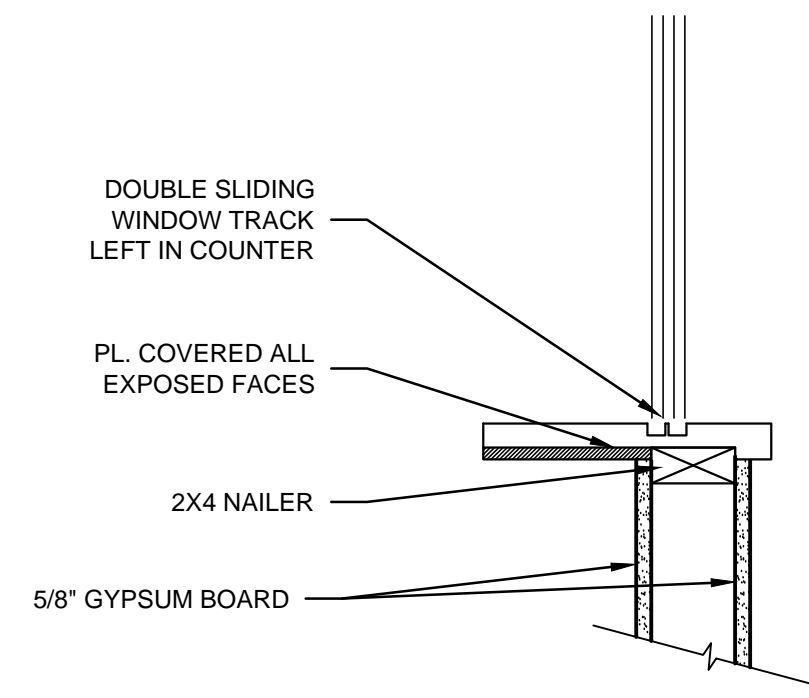
**10 OVERHEAD DOOR MASONRY JAMB**  
SCALE: 1-1/2" = 1'-0"



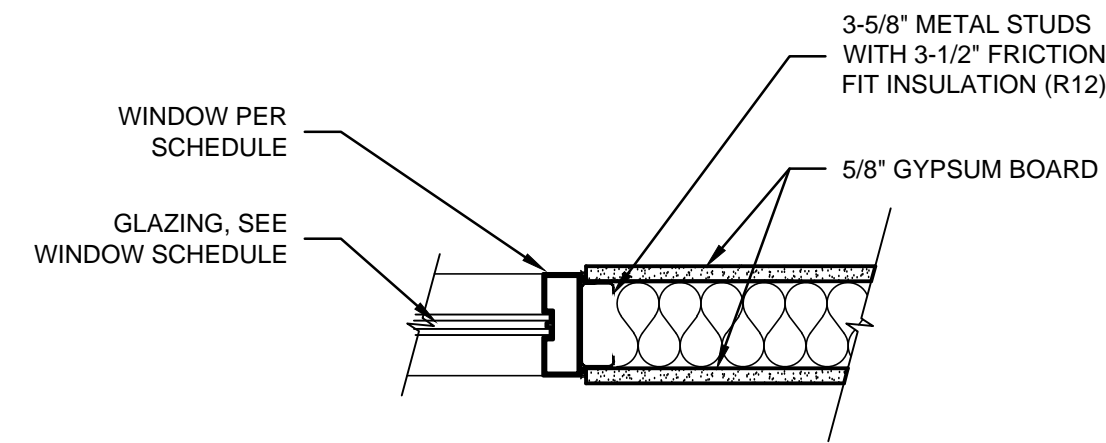
**11 HOLLOW METAL DOOR JAMB**  
SCALE: 1-1/2" = 1'-0"



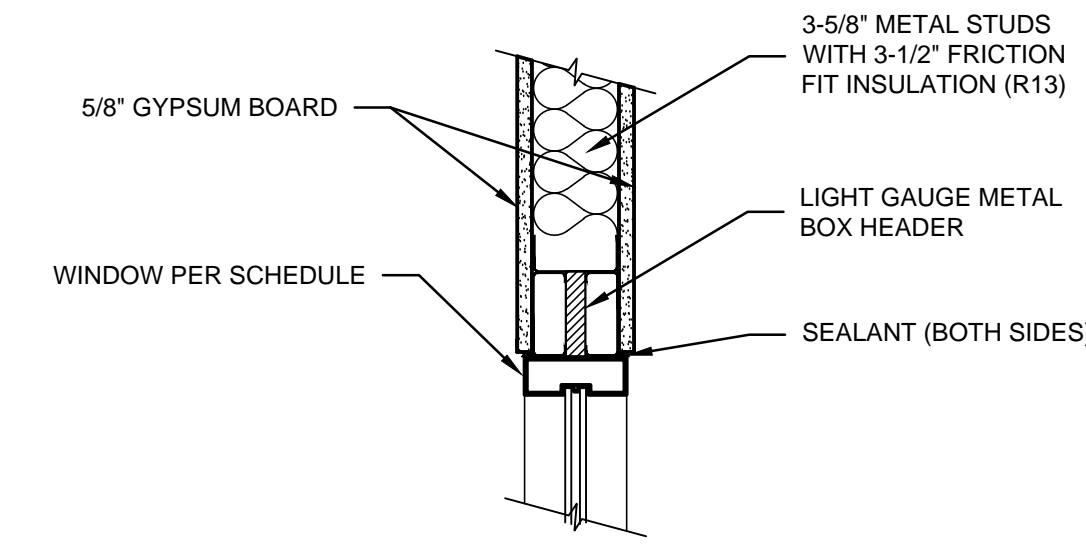
**12 HOLLOW METAL DOOR HEAD**  
SCALE: 1-1/2" = 1'-0"



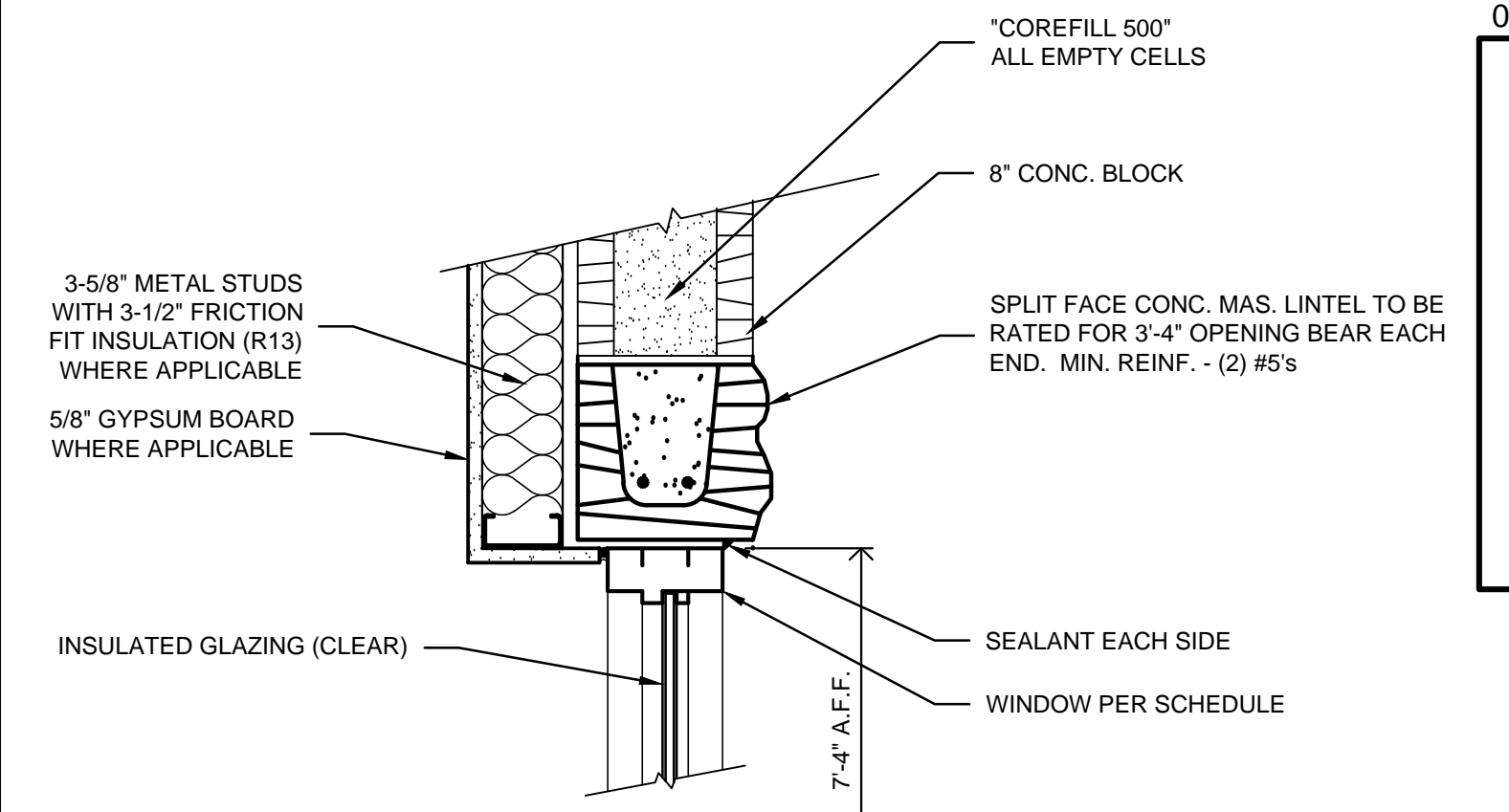
**01 VINYL SLIDING WINDOW SILL**  
SCALE: 1-1/2" = 1'-0"



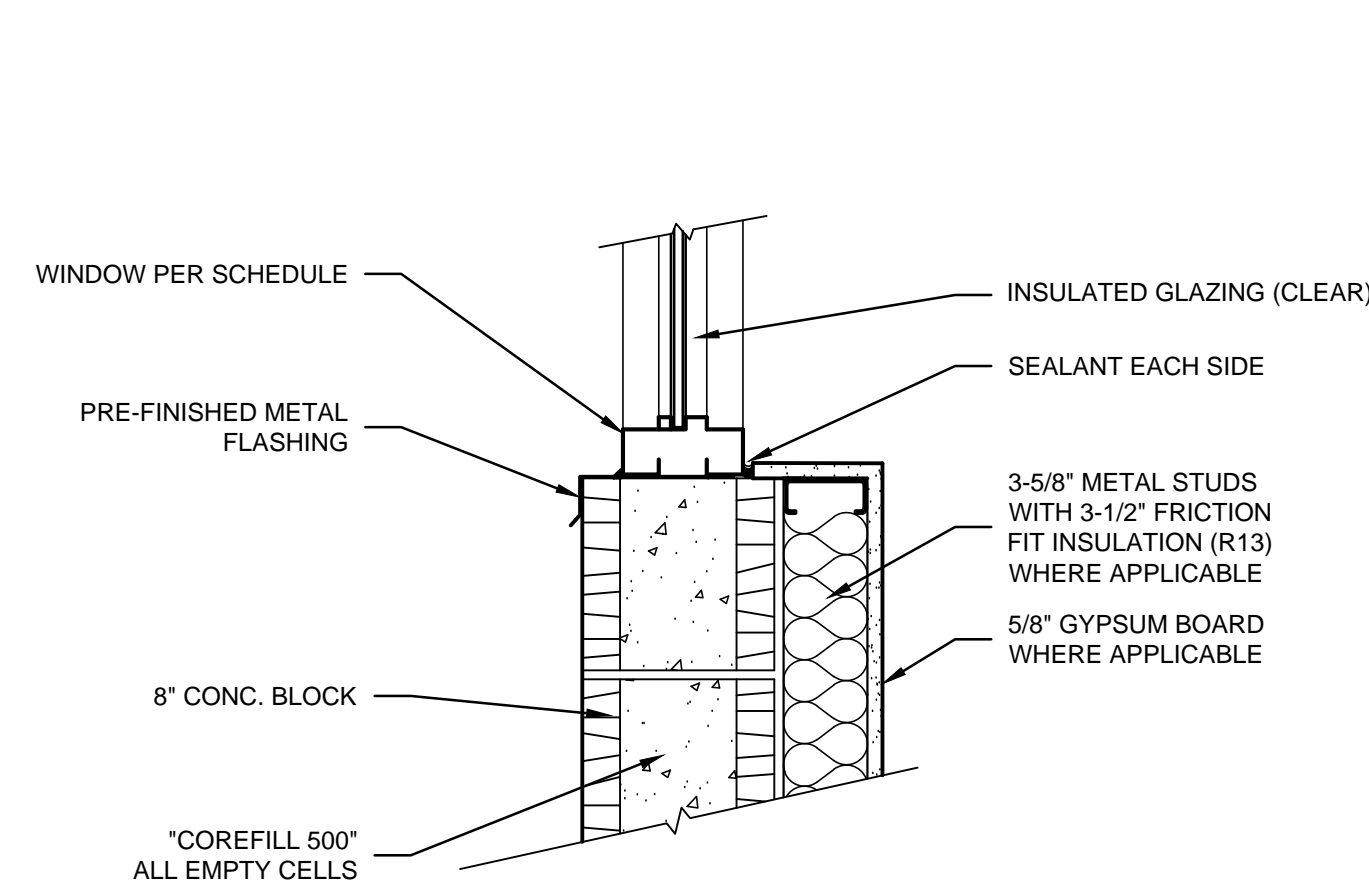
**02 VINYL SLIDING WINDOW JAMB**  
SCALE: 1-1/2" = 1'-0"



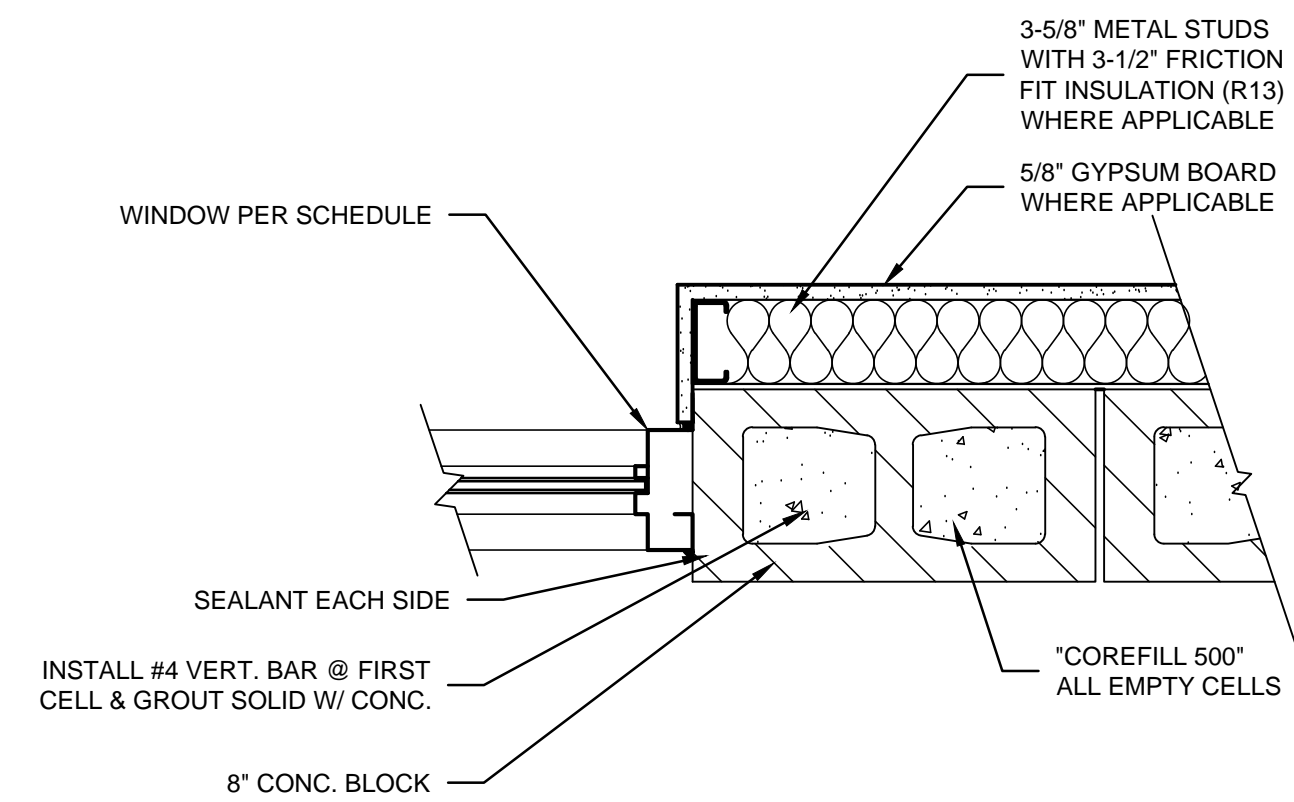
**03 VINYL WINDOW HEAD**  
SCALE: 1-1/2" = 1'-0"



**04 ALUMINUM WINDOW HEAD**  
SCALE: 1 1/2" = 1'-0"

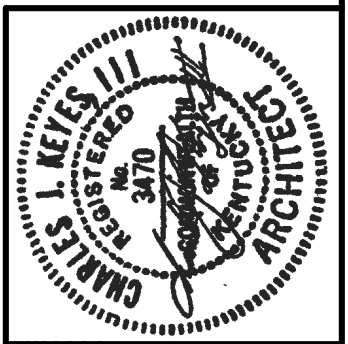


**05 ALUMINUM WINDOW SILL**  
SCALE: 1 1/2" = 1'-0"



**06 ALUMINUM WINDOW JAMB**  
SCALE: 1 1/2" = 1'-0"

CONSTRUCTION DRAWINGS



**KEYES ARCHITECTS & ASSOCIATES**  
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NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

BCD, INC.

Project #: 22-4350 MONIN WAREHOUSE

GENERAL NOTES AND SPECIFICATIONS

01000 GENERAL

- A. These drawings and specifications are for general guidance, with the understanding that the Owner will negotiate directly with a contractor for proper execution of work to assure completeness and code compliance.
- B. All contractors are to guarantee their work for a minimum of one year from date of acceptance and turnover of a completed project. Longer guarantees are required where specified elsewhere in these documents .
- C. Contractor to verify the information contained in these plans in field (V.I.F.) and immediately notify the Architect of any discrepancies.
- D. The Contractor shall carefully study and compare these contract documents and shall at once report and discovered items to the Owner and Architect any errors, inconsistency , or omissions that cannot be resolved by standard industry practices. Do not proceed with work until clarifications have been made by the Architect and notification has been given to proceed .
- E. Keyes Architects & Associates has a set number of drawing sets that we have guaranteed the owner / client by contract. These documents are the owner's / client's to use as they see fit but it was intended for their use to create additional documents and for permitting purposes. In addition, Keyes will supply at no additional charge a PDF set of the supplied paper set of drawings to the owner / client. Any additional sets beyond the sets supplied will be considered extras and will be billed accordingly by Keyes Architects & Associates current rates table. It is the responsibility of the General Contractor to acquire this PDF set from the owner for the purposes of making additional sets and to pay for all needed construction sets.
- F. Before bidding, General Contractor and all Subcontractors are responsible for obtaining all bid documents including but not limited to construction documents and specifications. Contractor is responsible for reviewing other trades work that directly affects their trade, to ensure that no conflict is present. Should a conflict arise as a result of design difference with other trades, subcontractor should use industry standard practices to bid and create a product to accomplish the design intent of the construction documents and include it as part of their bid. Then the General Contractor shall be notified of the intended changes in order that these changes can be discussed with the architect and coordinated with other trades that are affected.
- G. Where drawings do not specifically show how work is to be executed, the subcontractor responsible for the work will be responsible for figuring out and bidding an acceptable industry standard method of completing the work.
- H. Where plans and specifications conflict, specifications shall supersede plans. Where plans and details conflict, the more detailed (larger scaled) item will take precedence. If it is unclear as to the intent of the work due to the conflict, notify the Architect immediately before proceeding.
- I. Contractors are not to scale the plans for missing or unclear information. Where plans are unclear, verify with architect before proceeding .
- J. All Subcontractors shall obtain any specific permits and code review for their trade. General Contractor will obtain overall construction permit.
- K. The Owners may have other contractors, workers and suppliers engaged on this project. Verify exact limits of responsibility during bidding and coordinate with all work being conducted under other contracts.
- L. For all sections in these documents where multiple colors, finishes, and/or material choices occur and where the owner can only make these choices after the contract has been awarded , this contract is to include the most restrictive and/or expensive of the choices given so the owner can make a choice at a later time without change orders. Should the owner make a choice that is less expensive than what were bid, then the owner is to be credited back the difference between what was specified and what was selected .

02000 SITE-WORK/FOUNDATIONS

- A. Perform all excavations, backfilling and grading, as well as paving, required to complete work shown. Contractors shall take this data and submit in their bid any changes necessary for completion of the project. Provide positive drainage throughout the site from the parking areas and away from the building.
- B. Protect against damage to any lawns, shrubs, trees, roads, walks, signs, underground tanks , etc., and other work that is to remain in place.
- C. Materials to be excavated are assumed to be earth or other materials that can be removed by power shovel or other normal excavating equipment, but not requiring the use of explosives or drills. If other conditions are encountered within the limits of the excavation, notify Architect immediately.
- D. All building and column footings shall bear directly on undisturbed soil, unless specifically designed otherwise herein to bear on other subsurface.
- E. Assumed bearing capacity as indicated by Owner is 1,500 lbs. s.f., unless otherwise note on the plans or by Geotechnical reporting. If this bearing capacity is not encountered at the depth shown on drawings, the site contractor shall notify the general contractor. The general contractor, architect, engineer, and other parties will then establish an additional volume of excavation.
- F. Building slab areas, drives, walks and parking areas that require undercutting or fill are to be backfilled with lean clay or granular fill, uniformly compacted to at least 95% standard proctor (ASTM D698). Periodic field density testing to be performed during construction if required and paid for by the Owner.
- G. General Contractor to include additional cost breakout in their initial bid for either the trench excavation or mass excavation of rock if it is determined to be necessary. Bids are to include all markup, overhead, disposal , and grading at lower areas of this site.
- H. Furnish and install all site items as shown on the drawings or list herein .
- I. Seed and straw all disturbed earth areas.
- J. Contractor to include all erosion control measures necessary. Erosion control measures are to follow those policies, standards and practices as set forth by the civil plan and/or all federal, state, and local requirements. The contractor will be responsible for maintaining all erosion control measures and maintaining all documentation as required. Any penalties occurred as a result of failure to maintain these controls shall be the responsibility of the contractor and the owner shall bare no responsibility for these penalties unless there is documented proof that these penalties were as a result of neglect from the owner or his representatives.
- K. Landscaping to be determined, see site.
- L. All existing excavated material that cannot be used as fill will be wasted on site in areas as directed by owner. The material will be spread, compacted, smoothed and disced. The excavated material will then be seed and straw as indicated above.
- M. Foundation excavation

1. Follow OSHA and local requirements for determining the angle of repose. No angle of repose can be assumed when soil is under adverse moisture conditions. Use forms where concrete surfaces are shown vertical or steeper than the angle of repose.
2. Cut earth neatly for grade beams and footings, excavate by hand if necessary, to remove all loose material and disturbed earth.
3. Replace disturbed earth and over-excavated locations with fill concrete.

4. Keep excavations constantly shored and dewatered.
  5. Pour footings only after excavations have been individually inspected and approved.
  6. After inspection and approval, place concrete promptly before any change in excavation conditions occur.
- N. Trenching and backfilling for drain pipes
1. Commence from low point so excavation and pipe can be kept drained at all times.
  2. Width to be sufficient to make joints and compact backfill under pipe.
  3. Final excavation to be done by hand so pipe rests continuously on solid earth except where backfilled with cement stabilized sand.
  4. After placing pipe, immediately place some backfill to hold the pipe; compact sufficient backfill under the pipe to hold it securely against any possible movement: do not cover until inspected.

03000 CONCRETE

- A. Concrete to be dimensions shown on drawings and reinforced as detailed.
- B. Concrete shall develop a minimum compressive strength of 4000 psi at 28 days.
- C. Concrete samples shall be taken per Special Inspections contractor's requirements. Samples to be labeled, dated and stored on site in the same environment as the concrete placed. Owner, architect or construction manager may call for testing of these samples at any time. Owner will pay for testing as needed.
- D. Interior floor slabs are to receive smooth trowel finish.
- E. Exterior concrete drives, walks and stoops are to be light broom finished in the direction of water flow, unless noted otherwise.
- F. Unless specified above, all concrete slabs are to receive a densifying product applied per manufacturer's recommendations that will work with the finished floor. The selected product will need to be certified to work with the floor finish being applied in that area, see Room Finish Schedule for floor finishes.
- G. All exposed concrete floors listed in the Room Finish Schedule, are to receive a Class 'A' vapor retarder / barrier as specified under the latest ASTM E 1745. A class 'A' vapor retarder will be installed under the concrete, have a minimum of 0.03 permeability, 5lb puncture resistance, and 45.0 lb./in tensile strength. Retarder to be installed per manufacturer's recommendations and specifications.
- H. Materials and construction methods shall conform to the latest requirements of ACI 318-83.
- I. All exposed 90-degree edges of vertical and horizontal corners of concrete shall have tooled edges, unless indicated otherwise.
- J. Reinforcing steel shall be A615-83 Grade 60. Contractor may use Fibermesh equivalent reinforcing in 4" slabs on grade, but elevated slabs must have wire reinforcing as shown.
- K. Welding of or to reinforcing bars without prior approval of engineer is prohibited except where specified on the drawings.
- L. All reinforcing bars are to be supported in the form and spaced with wire bars supports meeting the requirements of the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition). Welded Wire Mesh in slabs on grade shall be supported by wire slab bolsters spaced 24" o.c., height as required so that mesh is positioned in upper 1/3 of slab thickness but minimum of 2" below top of slab.
- M. All detailing, fabrication and erection of reinforcing bars, unless otherwise noted, must follow the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition).
- N. Concrete walks shall have molded expansion joint material as shown. Final joint layout to be approved by Owner.
- O. Control joints (C.J.) shall be saw-cut a minimum of 1/4 of slab thickness and with a maximum spacing as shown on the drawings.
- P. Isolation joints (I.J.) if required shall receive 1/2" thick expansion joint filler extending from bottom of slab to 1/2" below top of slab and the top 1/2" filled with Polyurethane joint sealant, unless otherwise noted.
- Q. All dimensions and grades shall be verified in the field (V.I.F.) by the contractor and any discrepancies or interferences shall be reported to the Architect before proceeding with affected work.
- R. Where shown, all junctions of walls, piers and floors to have 1/2" wide expansion joints, filled with elastic expansion joint material.
- S. Concrete Contractor to place all exterior equipment pads unless otherwise directed during bidding. Coordinate final size, details and locations with the applicable sub-trades.

04000 MASONRY

- A. Mortar to be type "M or S" complying with ASTM C-90-97. If Concrete block or veneer contains an integral water repellent, then the mortar is to receive a water repellent additive as approved by the block / veneer manufacturer.
- B. Provide 3/8" thick mortar joints between units with full mortar coverage on the vertical and horizontal face shells only, except for this first bed course shall be laid in a full mortar bed.
- C. Concrete block to be split face and standard common light weight concrete masonry units (C.M.U.) in 8" thickness . Unless noted on the plans otherwise, all blocks to include an integral water repellent. See architectural plans and details for selected size and finishes.
- D. Provide manufactured smooth face or split face corner block , toothed in at front corners as required.
- E. All concrete masonry units to have galvanized #9 wire reinforcing, Hohmann & Barnard's Lox All Truss-Mesh, at every second course and every course below floor line.
- F. All self-supporting and load bearing concrete masonry walls to have vertical reinforced cells as shown.
- G. Unless otherwise noted on these plans, all self-supporting or load bearing concrete masonry walls are to have a 8" high bond beam at the top coarse and all walls over 15' tall are to have an intermediate 8" high bond beam at 10'-0" on center. Bond beam to have (2) #4 bars continuous and slush full.
- H. Unless otherwise noted on these plans, all concrete masonry opening heads are to receive a precast concrete masonry lintel with minimum (4) #5 bars and #3 stirrups @ 12" on center. Lintel to be sized so to have a minimum 8" bearing each end.
- I. Masonry subcontractor to be responsible for water-tightness of his work.
- J. Workmanship, including joint reinforcement and cold weather installation shall comply with National Masonry Associations applicable recommendations.
- K. Masonry contractor to brush clean final surfaces and prepare exterior faces for paint or sealer as called out.
- L. Provide control joints as indicated on elevations, with backer rod and paintable elastomeric caulk.

05000 METALS

- A. Provide structural and miscellaneous metal items as shown on drawings, and as required to complete the project.

- B. Furnish shop drawings to satisfy local code requirements, fabricate materials and install all metal work as needed. This shall include structural steel and miscellaneous steel items.
- C. Take field measurements prior to fabrication. Subcontractor shall be responsible for the accuracy of all such measurements and the precise fitting and assembly of the finished products.
- D. Use materials of size and thickness indicated or, if not indicated, as required to develop the maximum loads in the member. Weld corners and seams continuously, complying with AWS recommendations. Provide for anchorage of type shown, coordinated with supporting structure. Fabricate and space anchoring devices to provide adequate support for intended use.
- E. Clean and Shop paint miscellaneous metal work, except members or portions of members to be embedded in concrete or masonry, surfaces and edges to be field welded unless otherwise indicated.
- F. Furnish bent or otherwise custom fabricated, plates, anchors, hangers, dowels and other miscellaneous steel shapes as required.
- G. Provide loose bearing and leveling plates for steel items bearing on masonry, concrete construction, or other portions of the structure as indicated.
- H. Provide miscellaneous steel elements, framing and supports that are not a part of structural steel framework, as required to complete work.
- I. Provide anchorage devices and fasteners where necessary for securing miscellaneous metal fabrications to in-place construction; including, threaded fasteners for concrete and masonry inserts, toggle bolts, through-bolts, lag bolts, wood screws and other connectors as required.
- J. Provide A-325 bolts as shown on the plans or as required to develop the maximum capacity of the connection shown.
- K. Perform cutting, drilling and fitting required for installation of miscellaneous metal fabrications.
- L. Field Welding shall comply with AWS Code for procedures of manual shielded metal-arc welding, appearance and quality of welds made, and methods used in correcting welding work.
- M. Set loose leveling and bearing plates on wedges, or other adjustable devices. After the bearing members have been positioned and plumbed, tighten anchor bolts. Do not remove wedges or shims, but if protruding, cut-off flush with the edge of the bearing plate before packing with grout. Use metallic non-shrink grout in concealed locations where not exposed to moisture; use non-metallic non-shrink grout in exposed locations, unless otherwise indicated. Pack grout solidly between bearing surfaces and plates to ensure that no voids remain.
- N. Touch-Up Painting immediately after erection, clean field welds, bolted connections, and abraded areas of shop paint, and paint exposed areas with same material used for shop painting. Apply by brush or spray to provide a minimum dry film thickness of 2.0 mils.
- O. Miscellaneous Items:
  1. Steel Plates, Shapes and Bars: ASTM A-36
  2. Cold formed Steel Tubing use ASTM A-500
  3. Hot-rolled Steel Tubing use ASTM A- 501
  4. Hot-rolled Structural Steel Sheet use ASTM A-570 . Class 1 or grade required for design loading.
  5. Cold-rolled Structural Steel Sheet use ASTM A-611 . Class 1 or grade required for design loading.
  6. Non-Shrink Metallic Grout to be pre-mixed, factory-packaged, non- staining, non-corrosive, non-gaseous grout complying with CE CRD-C588. Provide grout specifically recommended by manufacturer for interior and exterior applications.
  7. Zinc-coated fasteners for exterior use or where built into exterior walls. Select fasteners for the type, grade and class required.

05400 \_ LIGHT GAUGE METAL FRAMING

- A. The work included under this Section consists of providing all materials, equipment and labor required to install walls.
- B. All work shall be carefully and properly executed in such manner as to insure the greatest stability and support. A sufficient number of fasteners and hangers shall be used to insure the rigidity of all parts of the work.
- C. Quality assurance product numbers specified are based off U.S. Gypsum products to establish basis of design. Acceptable manufacturers are to U.S. Gypsum, Inryco/Milcor, and Dale Industries.
- D. General Supplier to design and fabricate system to support the weight as shown on the plans . All structural members shall be designed in accordance with American Iron and Steel Institute (AIS) "Specification for the Design of Cold Formed Steel Structural Members" latest edition.
- E. All studs and/or joists shall be formed from corrosion resistant steel, corresponding to the requirements of ASTM A446, and ASTM C645 with a min. yield of 40ksi for members, 33ksi for runners.
- F. All framing components shall be cut squarely for attachment to perpendicular members or as required for an angular fit against abutting members.
- G. Fastening of components shall be by means of self-drilling screws or welding. Screws or welds shall be of sufficient size to insure the strength of the connection. Wire tying of components shall not be permitted. All welds shall be touched up with a zinc rich paint.
- H. Clean Up , Remove all scrap and debris generated by this work from the project site.
- I. Install all materials per manufacturer's installation instructions and details.
- J. At gypsum board ceilings, position and level joists for proper ceiling heights.
- K. Provide clearance as required between joists and abutting walls or partitions.
- L. Install joists at as shown on plans.
- M. Add additional channels or supports to insure stability at ceiling openings for lighting, grilles, and etc. Coordinate additional required framing for all surfaces mounted and recessed items such as lighting fixtures. Verify all drawing sheets for additional supports .

06410 WOOD CASEWORK AND TOPS

- A. Furnish and install a complete system for cabinets and casework following the standards set forth by AWI and millwork best practices.
- B. Tops to be square edge, plastic laminate covered, scribe fit. Colors to be selected by owner from standard lines.
- C. Provide elevations and shop drawings for review by owner.

07000 MOISTURE PROTECTION

- A. Insulation:
  1. Roll glass fiber insulation to be thickness and type shown on drawings for specific uses, to be "Fiberglass" or "Celotex".
  2. Blown-In Fiberglass Insulation:
    - a) Insulation to be thickness shown on drawings for the specified uses. Product to meet ASTM C764,

- Mineral Fiber Loose-Fill Thermal Insulation Type 1 or better standards. Product to be by CertainTeed, Owens Corning or Approved Equal.
- 3. Rigid below grade insulation at foundation and basement walls to be extruded, expanded polystyrene 2" thick (R-value: 10), unless otherwise noted on the plans.
- 4. Exterior concrete masonry units to receive "Core-fill 500" foamed in place system or approved equal.
- B. Caulking:
  1. Use Sherwin Williams 950A siliconized acrylic latex caulk, GE Silicone II or approved equal. Color to match surrounding area being caulked. Caulk all exterior joints and both sides of all door and window frames.
  2. All Equipment, Mechanical, Plumbing and Electrical Contractors shall supply all flashings and curbs for roof or wall penetrations to the building erector. Building erector shall install and flash all building penetrations as part of their bid project.
  3. Where called out on the drawings, fire caulk to meet all ASTM requirements for fire and smoke barrier. Product to be 3M Fire Barrier Sealant CP 25WB+ or approved equal .
- C. All exterior masonry to receive stain or sealer and paint as per finishes in section 9.000.

07400 METAL SIDING - INSULATED FLAT PANELS

- A. Metal wall panels to be:
  1. 2 1/2" thick Metl-Span Santa Fe Insulated Wall Panels with heavy stucco-embossed exterior face, Aluminum-Zinc Alloy-Coated Steel Sheet meeting ASTM A 792/A 792M, and pre-painted by the coil-coating process per ASTM A 755/A 755M or unpainted Galvalume Plus coating, as specified on the plans.
  2. Flat exterior profile, concealed fastener panels.
  3. Minimum 26ga. material, unless specified elsewhere in these documents.
- B. Manufacturers to be Metl-Span or approved equal.
- C. Panel system to be installed per manufacturer's recommendations and instructions.
- D. Final finish to be selected by owner before ordering, from as standard set of manufacturer's colors.

08000 DOORS AND WINDOWS

- A. Doors, frames, windows and glazing to be as shown on drawings. Finish hardware to comply with building code.
- B. All door and window glazing to conform to section 08800 Glazing.
- C. Egress doors shall be able to be opened from inside without a key or special knowledge.
- D. All exterior outward swinging hinged doors are to have Non-Removable Pin (NRP) hinges, unless otherwise specified on the drawings.
- E. Hollow metal frames shall be standard profile, 16ga. shop primed. Three (3) anchors each side, one (1) at head. Use wrap around frames at Gypsum board partitions.
- F. Hollow metal doors shall be flush, 18 GA., 1 3/4" thick, exterior and interior doors to be insulated with rigid bd. insulation. Head of doors to be solid and flush. Doors to be shop primed.
- G. Special hardware shall be medium grade commercial products by Stanley, Schlage, Von Duprin, Yale or an approved equal. Finish to be selected by owner. U.L. rated and Handicapped accessible hardware as required. See door schedule.

08380 SECTIONAL OVERHEAD DOOR SYSTEM

- A. Sectional overhead doors (upward acting) to be by Crawford, Overhead Door, or approved equal . Install door per manufacturer's instructions and recommendations.
- B. Door to be electrically operated with chain hoist backup.
- C. Operator to be medium duty, commercial grade, 3/4 h.p motor, unless otherwise noted on the plans. See door schedule for final sizes.
- D. Provide (1) wired 3-button (open, close and stop) controller station to be located by owner.
- E. Panels to be insulated section, 2" compressed fiberglass blanket, 24 GA galvanized front and back panels. Use standard stiles and rails.
- F. Tracks to be 2" galvanized steel with standard hardware.
- G. Verify lift clearance before ordering.
- H. Provide neoprene or vinyl weather stripping on entire perimeter.
- I. Door to have electrically controlled photo eye that stops and reverses if senses an obstruction.
- J. All doors and accessories not galvanized shall be factory primed. Interior and exterior door paint shall be selected later.
- K. Glazing to as specified on construction documents, where listed and to conform to section 08800 Glazing; verify glazed panel sizes prior to ordering doors.

08410 ALUMINUM STOREFRONT SYSTEM

- A. Exterior frame are to be thermally broken aluminum frames.
- B. Frames to be black, bronze, white or clear anodized (as selected by owner).
- C. Aluminum storefront system to be "Kawneer 451T" or approved equal .
- D. Glazing contractor shall be responsible to securely anchor units to framing or masonry as needed to transfer loads to the building.
- E. All glazing to conform to section 08800 Glazing.

08800 GLAZING

- A. Unless specified herein, all glazing is per door and window schedules located on the construction documents.
- B. All glazing to comply with safety glazing laws. Installer to verify requirements before ordering and installing all glazing.
- C. All insulated glazing units, Low-E finishing and glaze tinting are to carry a minimum of a 10 year warranty from date of acceptance of project.
- D. Where glazing is specified to be Low-E and Tinted, glazing is to be tempered as per glazing types below.
- E. All glazing to follow Standard Specifications for ASTM C 1036, ASTM C 1048 and ASTM E 774.
- F. Glazing to be by PPG, LOF, Guardian Industries, Ford Glass, Hordis Brothers Inc., or equal. Provide all tinted and Low-E glass from the same manufacturer for the entire project.
- G. Glazing:

PROJECT NO:  
22-4350  
DRAWN BY:  
DES/  
DATE:  
09-02-2022

CONSTRUCTION DRAWINGS



**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

NEW CONSTRUCTION  
**MONIN WAREHOUSE**  
1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

SPECIFICATIONS

SP1.01

PROJECT: MONIN WAREHOUSE - FILE: SP1.03 Specifications.dwg - DATE: Sep 02, 2022 4:36PM - BY: DOUG STURGEON

1. Exterior glazing to be 1", double layer insulated glazing.
2. Interior glazing to be 1/4", single layer.

H. Glazing Types:

1. Annealed: Clear float glass conforming to ASTM C 1036, Type I, Class 1, quality q3.
2. Tempered: As specified for clear annealed except fully tempered to conform to ASTM C 1048, Kind FT.
3. Clear Wire: 1/4 inch (6 mm) thick, clear rolled glass conforming to ASTM C-1036, Type II (flat), Class I, Form 1 (wired and polished both faces), wired with welded polished wires, 1/2 inch (13 mm) x 1/2 inch (13 mm) square pattern, smooth wires vertical, manufactured by Hordis Bros., Sierracin/Transtech, or equal.

I. Glazing Finish Types:

1. Obscure: Conforming to ASTM C 1036, Type II, Class I, Form 3, Finish 1, pattern p3 "hammered" texture glass.
2. Low-E: PPG "Sungate 500(2)" or equal, clear float glass with transparent reflective coating on inboard (No. 2) surface, conforming to glass type.
3. Low-E Tinted: PPG "Sungate 1000(2)" or equal, tinted float glass with transparent reflective coating on inboard (No. 2) surface, conforming to tempered glass type .

J. Tint Finish Types - Glare reducing float glass to be: PPG "Solargray", gray color , PPG "Solarbrnze", bronze color, or equal.

K. Configuration to be per Window Schedule located in the Construction Documents .

L. Glazing materials and accessories shall be fully compatible with the materials and finishes with which they are in contact. Neoprene and EPDM materials shall not come in contact with silicone sealant materials. Silicone rubber spacers, setting and edge blocks and gaskets shall be either Type I (designed to prevent adhesion) or Type II (designed for adhesion) as per glazing system manufacturer's recommendations for each condition of use.

09000 FINISHES

A. All finishes shall be as called for and specified on drawings.

B. Ceramic floor tile to be 12"x12"x5/16" thin set tile by StonePeak or approved equal, with cap tile along edges and base. Install with C-cure grout, 100% epoxy additive. Install per manufacturer's recommendations and installation instructions. Tile and grout colors to be selected by owner from standard architectural line (maximum three tile colors).

C. VCT or VET (Vinyl Enhanced Tile) Floor Tile to be 12"x12"x1/8" Azrock by Johnsonite , or approved equal. Owner to select maximum of three colors from full architectural line.

D. Vinyl base to be 4" high, 1/8" thick by Johnsonite, Roppe , or approved equal. Use coved at vinyl floor tile. Colors as selected by Owner from standard architectural line. Installed per manufacturer's instructions.

E. Floor transitions shall be vinyl as recommended for the specific material transitions. Material shall be by Johnsonite, Roppe or approved equal selected from full architectural color lines.

F. Coating Schedule:

1. Surfaces not to be painted are floor coverings , items with factory applied final finish , concealed ducts , pipes and conduit , acoustical ceiling tiles, items with pre-finished surfaces, aluminum windows and door frames , and all items called not to be painted on plans.

2. Surfaces to be painted:

Note: consult with Owner for final colors and finishes.

a) Interior Metal:

- 1st coat: Metal Primer
- 2nd coat: Semi-Gloss Alkyd
- 3rd coat: Semi-Gloss Alkyd

b) Exterior Metal:

- 1st coat: Metal Primer
- 2nd coat: Semi-Gloss Alkyd Enamel
- 3rd coat: Semi-Gloss Alkyd Enamel

c) Exposed Interior Drywall:

- 1st coat: Latex Wall Primer
- 2nd coat: Latex Eggshell or Alkyd based enamel as called for
- 3rd coat: Latex Eggshell or Alkyd based enamel as called for

d) Painted Masonry:

- 1st Coat: Masonry Block Sealer
- 2nd Coat: Semi-gloss Alkyd Enamel
- 3rd Coat: Semi-gloss Alkyd Enamel

e) Stained Masonry:

- 1st coat: Transparent Block Stain (color as selected)
- 2nd coat: Clear Masonry Sealer
- 3rd coat: Clear Masonry Sealer

10000 SPECIALTIES

A. Fire extinguisher and cabinets to be by owner as required by code and by the fire inspector.

B. Toilet accessories: The following list of new items shall be furnished and installed:

- (3) Fixed standard mirror(s) 36"x36" - Bobrick B-165 B 3636
- (3) 18" vertical grab bar(s) - Bobrick B-6806x18
- (3) 36" horizontal grab bar(s) - Bobrick B-6806x36
- (3) 42" horizontal grab bar(s) - Bobrick B-6806x42
- (3) Toilet paper holder(s) - Bobrick B-2888
- (3) Wall mounted soap dispenser(s) - Bobrick B-60

10155 METAL TOILET PARTITIONS

A. All baked enamel metal toilet partitions and urinal screens shall be floor supported as manufactured by General Partitions Mfg. Corp., or approved equal. Provide handicapped systems as required.

B. Construction shall be 1" @ thick with two sheets, of galvanized and bonderized steel formed and, bonded together before attaching die drawn molding on all four sides of panels. Mitered reinforcements fused to corners for added structural strength. Fillers shall be Generals Ribcore sound-deadening insulation or approved equal.

C. Doors to be same construction as panels.

D. Pilasters-shall be 1-1/4" @ thick with two sheets of galvanized and bonderized steel, bonded before attaching die drawn molding to both sides and top, mitered reinforcements fused on both corners for added structural strength. Same construction as panel specification outlines above. Pilasters are to be anchored to floor with standard 3/8" threaded rod, hex nuts, and washers to provide vertical adjustment and necessary strength.

E. Use concealed latch, coat hooks, hinge brackets, doorstop and keeper, heavy casting nonferrous alloy, chrome-plated. Concealed hinge works on opposing nylon cams under spring tension. Top pivot pin, mounted within door having bearing points above and below hinge bracket.

F. Wall connection brackets for panels and pilasters to be high strength heavy chrome plated. Pilaster trim to be 3" high, 0.031" stainless steel. All hardware and fittings to be secured with chrome plated one-way vandal proof sex bolts or No. 14 plated steel metal screws of proper lengths.

111300 LOADING DOCK EQUIPMENT

A. Section includes Recessed Dock Levelers (mechanically operated and manually operated), Truck Restraints, Master Control Systems, Dock Lights, Dock Bumpers, and Dock Seals; Verify equipment to be included in this section.

B. Verify equipment sizes, capacity, dimensions, etc. prior to ordering materials or starting construction of foundations, floor slabs, etc.; coordinate all foundation/footing construction, electrical systems, etc., with dock equipment selected.

C. Equipment to be manufactured by Blue Giant Equipment Corporation, Pioneer Loading Dock Equipment, Rite-Hite Corporation, or approved equal.

12000 FURNISHINGS

A. Owner to furnish and install all furnishings not required or listed herein.

13000 SPECIAL CONSTRUCTION: PRE-ENGINEERED BUILDING PACKAGE

A. Owner to furnish any special construction not required or listed herein.

B. Building package to be generally as shown on drawings to include primary and secondary steel framing

C. Walls to be pre-painted 2-1/2" insulated wall panels unless otherwise note on plans.

D. Roof to be galvanized standing seam roof with thermal blocks (unless otherwise noted on plans) over 6" (min.) of vinyl faced insulation, with related flashing, gutters, downspouts, and trim.

E. Full design responsibility of package to be by manufacturer. Roof loads to be 20#/s.f. plus 5#/s.f. for equipment loads, plus dead load and additional collateral loads as designed by manufacturer. Manufacturer to provide additional reinforcing required for any snow build-up, framing at canopies and for all roof top units (verify weight with mechanical contractors). Wind load of 15#/s.f. on walls and UL 90 uplift on roof. Building manufacturer to comply with all requirements of the State Building Codes. This includes all bracing and connections required to transfer loads to foundations as shown, or required. (Note: Live Load Reductions are not allowed in steel weights).

F. All roof curbs to be min. 6" high, seamless welded up curb units. Profile of curbs to match the panel profiles and colors of the roof it occurs on, have a water diverter on the top side and be stitched into the roof system. Units to be manufacturer by "Custom Curb" or approved equal.

G. Weather tightness of pre-engineered building component systems to be responsibility of building manufacturer.

14000 CONVEYING SYSTEMS-Not Used.

SPECIAL NOTE:

A. Final detailed layout of Steel Structures, Plumbing, Mechanical, Fire Suppression and Electrical systems are by separate Engineers or installers, it is the responsibility of the owner and General Contractor to coordinate all work with affected other trades to assure completeness and code compliance.

B. It is the responsibility of the General Contractor and the Mechanical, Electrical, and Plumbing Contractors to ensure that all parts of their work is to be accessible as per Federal ADAAG Guidelines and all State / Local Guidelines. This includes but is not limited to Electrical Controls such as Thermostats or Lighting Controls, Light Switches, Outlet Plugs, Hand Dryers, and Faucet Controls. If there are concerns about how to determine reach ranges, equipment clearance or other accessibility items, contact the architect immediately before work begins for guidance.

15000 PLUMBING - NOT USED

15100 H.V.A.C. - NOT USED

15330 AUTOMATIC SUPPRESSION SYSTEM

A. Contractor to furnish and install a complete wet pipe sprinkler system per N.F.P.A. 13 and Factory Mutual requirements. System to be design to give full coverage as required by N.F.P.A. requirements for the specific use areas of this building.

B. Bid to be complete to provide all work required. Include dedicated fire suppression line to the street, new tap and P.I.V. or vault. Riser, compressor and alarm to be located as shown. Coordinate final locations, power, communications and service with all other trades.

C. Coordinate P.I.V. and Fire Department connection, location and pipe threads with local fire department. Sprinkler lines to be installed so as not to interfere with future crane, piping systems, mechanical systems and electrical systems or fixtures.

D. Provide shop drawings for approval before ordering materials. Design, stamped drawings and obtaining agency approvals of system to be responsibility of sprinkler subcontractor.

16000 ELECTRICAL - NOT USED

END OF SPECIFICATIONS

ABBREVIATIONS

These are abbreviations used on the plans and in these specifications. Not all items may be use and are for reference only.

ACT - Acoustical Ceiling Tile

AFF - Above Finished Floor

CJ - Control Joint

E.I.F.S. - Exterior Insulation and Finish System

FRP - Fiberglass Reinforced Panels

Gyp. Bd. - Gypsum Board

I.B.C. - International Building Code

MAX - Maximum

MIN - Minimum

NRP - Non-Removable Pin

O.C. - On Center

VCT - Vinyl Composite Tile

VET - Vinyl Enhanced Tile

V.I.F. - Verify In Field

PROJECT NO:

22-4350

DRAWN BY:

DES/

DATE:

09-02-2022

CONSTRUCTION DRAWINGS



KEYES ARCHITECTS & ASSOCIATES  
4717 PRESTON HIGHWAY  
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NEW CONSTRUCTION

MONIN WAREHOUSE

1501 NEW HAVEN ROAD  
BARDSTOWN, KENTUCKY 40004

SPECIFICATIONS

SP1.02