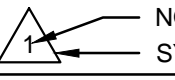


# RENOVATIONS TO LEXINGTON PEDDLERS MALL

1205 E. NEW CIRCLE ROAD  
LEXINGTON, KY 40505

ISSUE DATE:	01/05/2023
REVISIONS:	 NOTE SYMBOL

## ARCHITECT:

KEYES ARCHITECTS AND ASSOCIATES  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213  
PH: (502) 636-5113  
CONTACT: NICK MCCART - PROJECT MANAGER  
EMAIL: NMCCART@KEYESARCHITECTS.COM  
ARCHITECT: CHARLES J. KEYES III

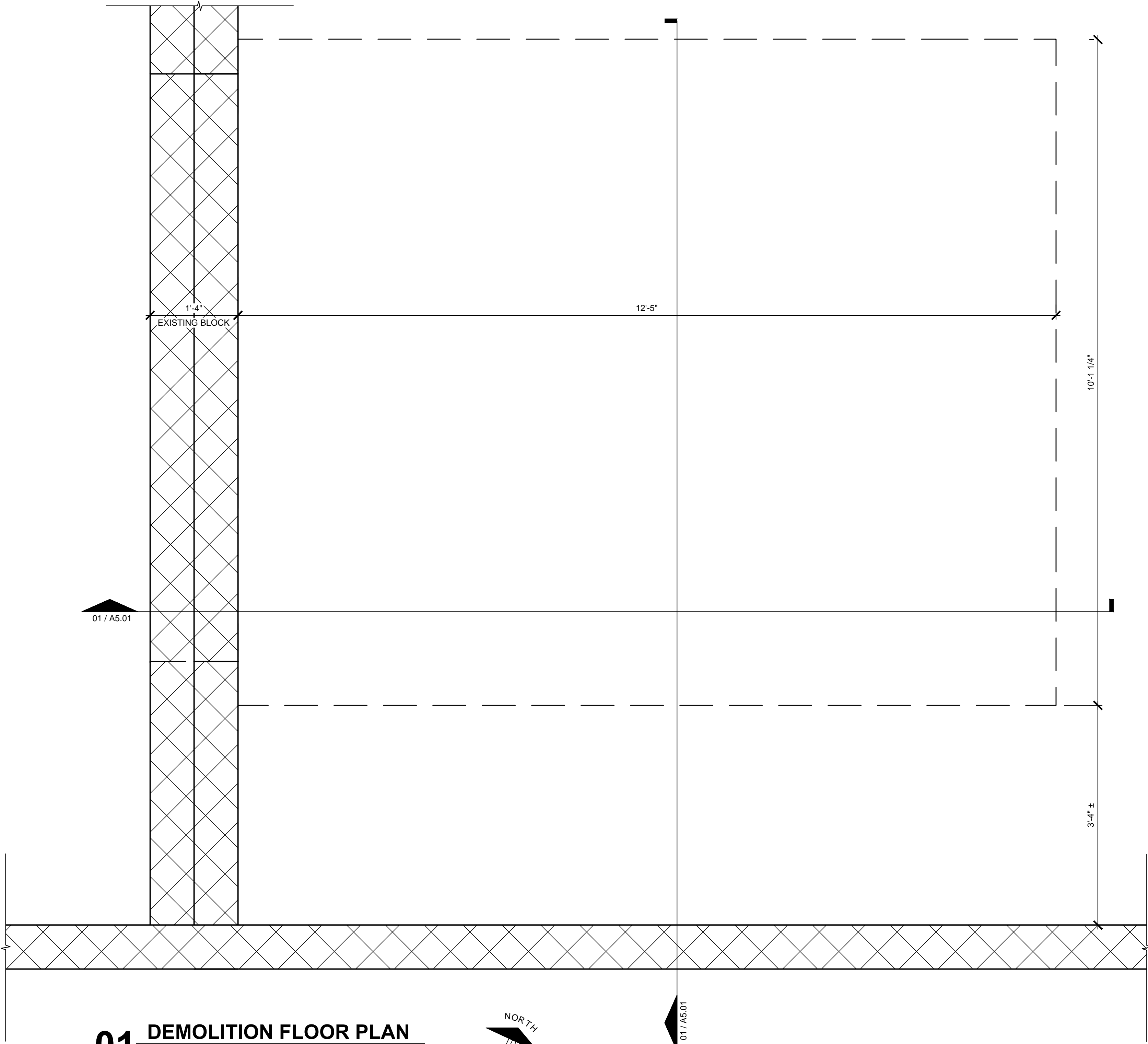
## OWNER / CONTRACOR :

BCD  
1962 FILIATREAU LANE  
BARDSTOWN, KY 40004  
PH: (502) 348-2305  
CONTACT: JASON HARROD  
EMAIL: JHARROD@BARDSTOWN.COM

PROJECT INFORMATION			
<u>APPLICABLE BUILDING CODES</u>			
BUILDING CODE		YEAR	
ACCESSIBILITY CODE		YEAR	
ENERGY CODE		YEAR	
<u>USE AND OCCUPANCY:</u> B - BUSINESS			
<u>CONSTRUCTION TYPE:</u> II-B			
<u>BUILDING INFORMATION</u>			
EXISTING BUILDING:		s.f.	
BUILDING ADDITION:		s.f.	
TOTAL BUILDING SIZE:		s.f.	
FIRE SUPPRESSION:			
OCCUPANCY ALLOWANCE			
FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANCY
TOTAL OCCUPANCY ALLOWANCE:			###

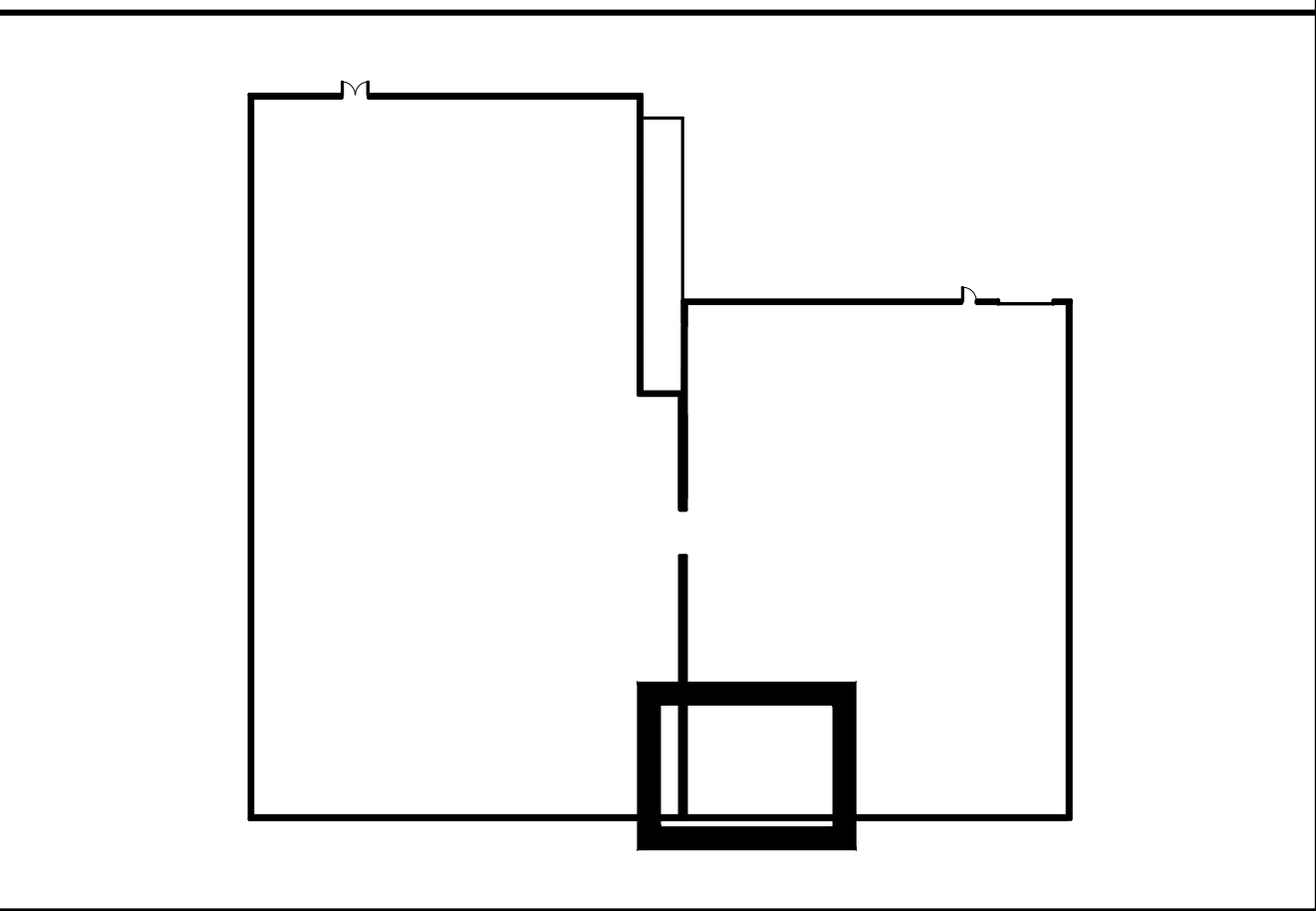
## Sheet List Table

Sheet Number	Sheet Title
T1.01	Title Sheet
<u>Demolition Plans &amp; Details</u>	
D1.01	Demolition Plan
<u>Foundation Plans &amp; Details</u>	
F1.01	Foundation Plan
F2.01	Foundation Details
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A1.01	Vestibule Entry Floor Plan
A1.02	Elevator Pit Floor Plan
A1.03	Elevator First Floor Plan
A1.04	Elevator Second Floor Plan
<u>Schedules and Standards</u>	
A3.01	Commercial ADA-Ansi Guidelines
<u>Details &amp; Sections</u>	
A5.01	Demolition Building Section
A5.02	Demolition Building Section
A5.03	Elevator Section
A5.04	Elevator Section
A5.05	Wall Sections
A6.01	Elevator Details
A6.02	Door and Window Details
<u>Specifications</u>	
SP1.01	Specifications



**01 DEMOLITION FLOOR PLAN**  
SCALE: 1" = 1'-0"

**BUILDING KEY : LOCATION OF WORK**  
NOT TO SCALE



**SHEET NOTES:**

- 1 SAW CUT AND EXCAVATE 12'-5" x 9'-2" PIT FOR NEW ELEVATOR
- 2
- 3
- 4
- 5

NOTE SYMBOL

**PATCH AND REPAIR NOTES**

PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.

WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.

RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.

PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE WHERE DEMOLISHED WALLS OR PARTITIONS EXTEND ONE FINISHED AREA INTO ANOTHER. PROVIDE A FLUSH AND EVEN SURFACE OF UNIFORM COLOR AND APPEARANCES.

**SELECTIVE DEMOLITION NOTES**

REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.

REMOVE ITEMS INDICATED, CLEAN SURFACE, AND OTHERWISE REPAIR THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.

PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY THE ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTED DEMOLITION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.

IDENTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER SUBSURFACE STRUCTURAL ELECTRICAL OR MECHANICAL CONDITIONS. DOCUMENT THESE UTILITIES ON RECORD DRAWINGS PROVIDED TO ARCHITECT UPON COMPLETION OF PROJECT.

**PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACE AND AREAS.**

**COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT HAVE NOT BEEN REMOVED.**

BY SELECTIVE DEMOLITION OPERATIONS. RETURN AREAS TO CONDITION EXISTING BEFORE START OF NEW WORK.

DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. DISPOSAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. SWEEP THE AREA OF WORK BROOM CLEAN ON COMPLETION OF SELECTIVE DEMOLITION OPERATION.

**PROTECTION OF PEDESTRIANS SHALL BE PROVIDED DURING CONSTRUCTION, REMODELING, AND DEMOLITION ACTIVITIES AS REQUIRED BY STATE BUILDING CODE. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC DURING DEMOLITION. CONSTRUCTION AND REMODELING.**

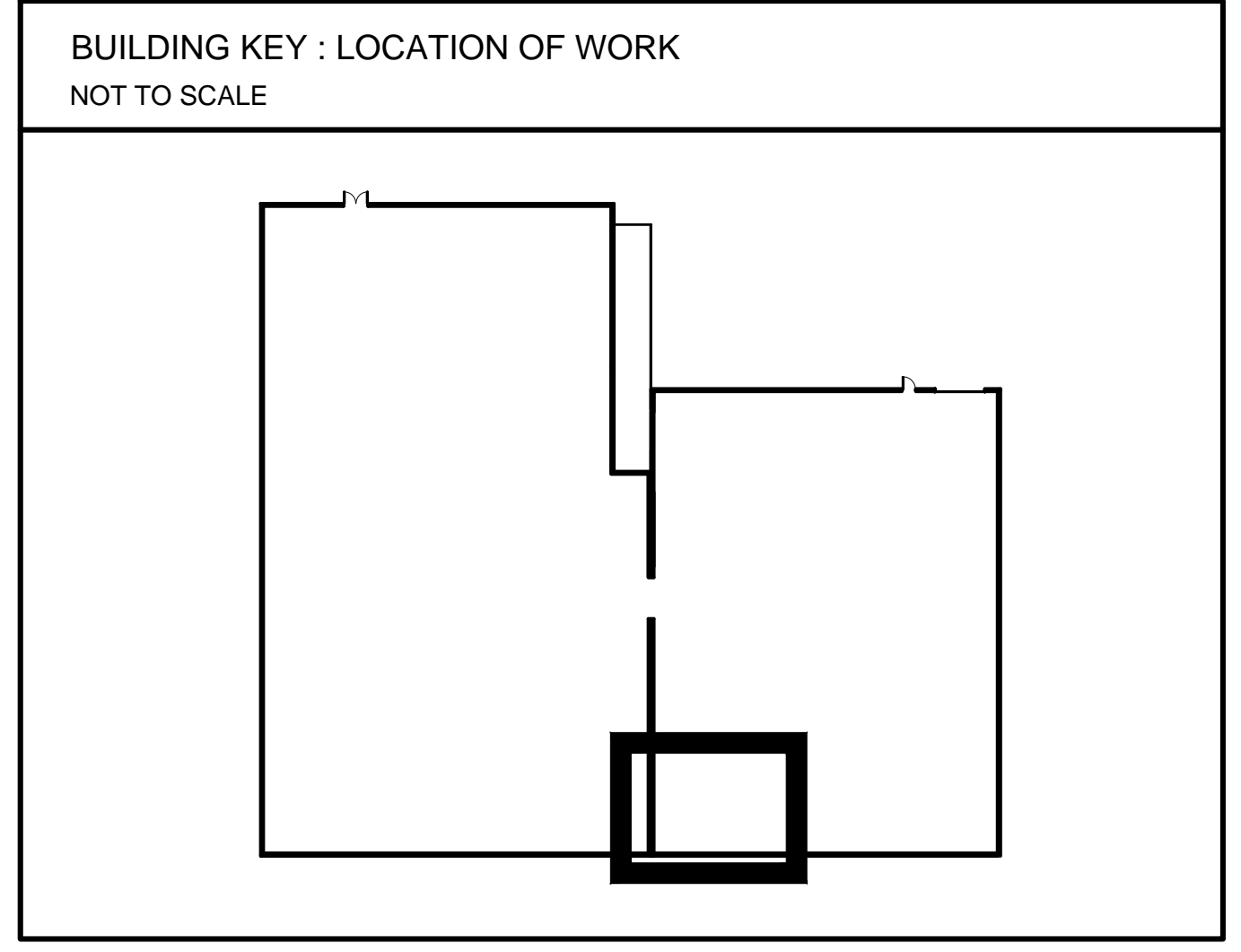
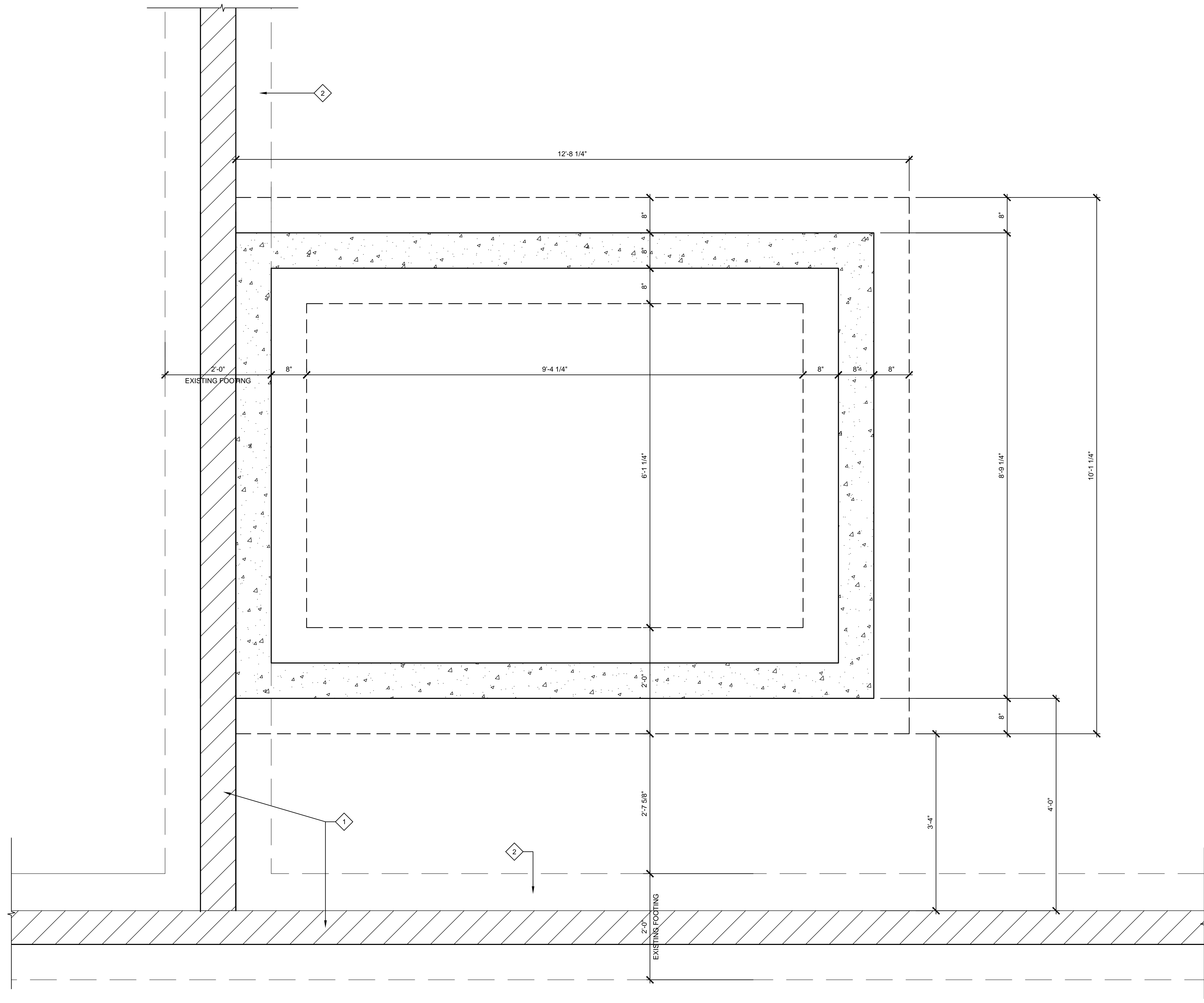
IF BUSINESS WILL REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION COORDINATE ACTIVITIES WITH OWNER TO MINIMIZE OR ELIMINATE DISRUPTION TO THE OPERATION OF THE BUSINESS.

**NOTE:** ALL DIMENSIONS ARE TO FACE OF STUD

**NOTE:** GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER

**NOTE:** ELECTRICAL, HVAC AND PLUMBING TO BE RELOCATED PER FEDERAL, STATE AND LOCAL CODES. GENERAL CONTRACTOR TO COORDINATE.

PRELIMINARY : - - - -



**SHEET NOTES:**

1 EXISTING FOUNDATION WALL

2 ASSUMED LINE OF FOUNDATION FOOTING - TO BE VERIFIED IN FIELD

**FOUNDATION NOTES**

- 1) CONCRETE CONTRACTOR MUST VERIFY LOCATION, SIZES AND PLACEMENT OF ANCHOR BOLTS USING BUILDING MANUFACTURER'S DATA. CONTRACTOR MUST VERIFY IN FIELD.
- 2) ALL CONCRETE TO BE 4,000 P.S.I.
- 3) BUILDING FOUNDATIONS ARE DESIGNED FOR 1,500 P.S.F. SOIL BEARING CAPACITY. VERIFY BEFORE CONSTRUCTION.
- 4) FOOTING TO REST ON UNDISTURBED SOIL.
- 5) VERIFY FOUNDATION SIZE AND DEPTH OF EXISTING BUILDING BEFORE CONSTRUCTION. NOTIFY ARCHITECT IF THEY ARE NOT AS SHOWN.

PRELIMINARY : - - -

**01 ELEVATOR FOUNDATION PLAN**  
SCALE: 1" = 1'-0"



**NOTE:** GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER

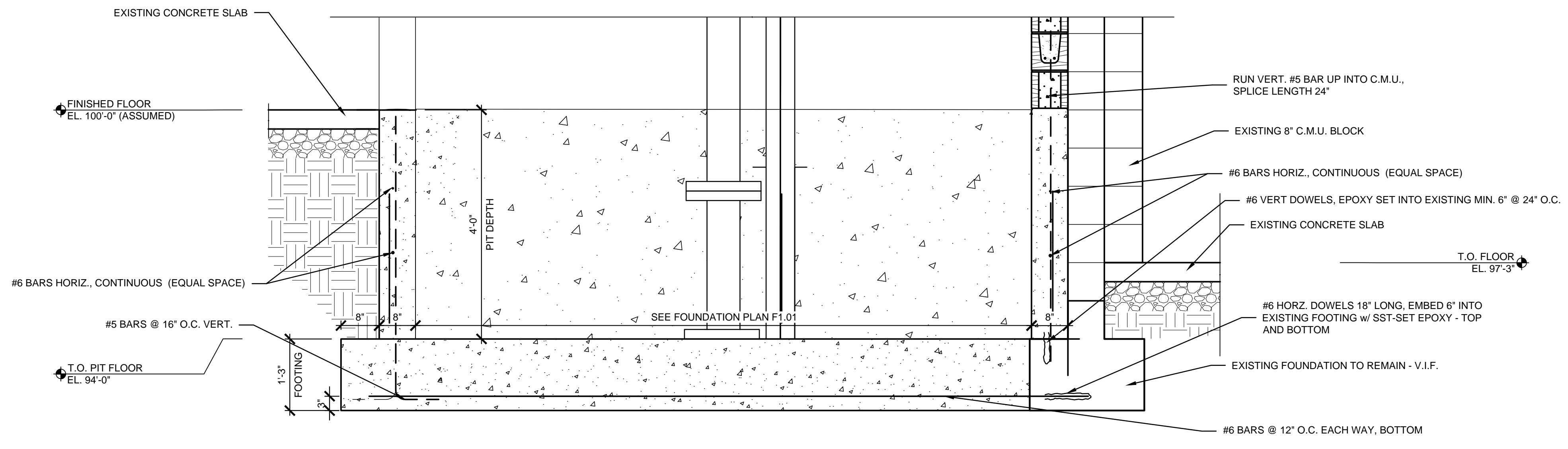
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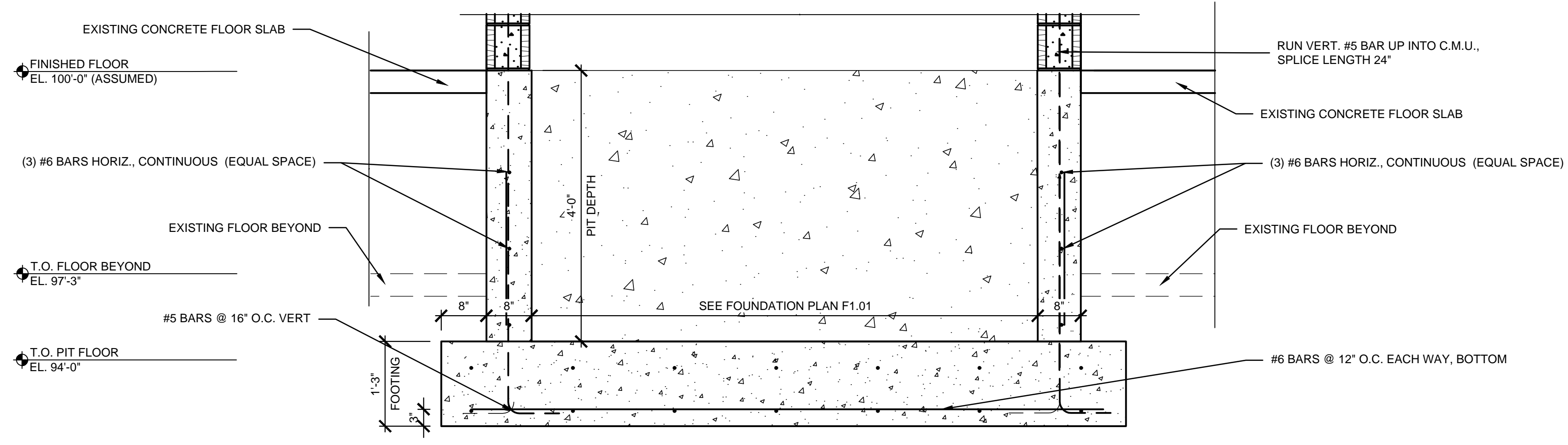
RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
1205 E. NEW CIRCLE ROAD  
LEXINGTON, KY 40505

**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

FOUNDATION PLAN  
**F1.01**



**01 PIT FOOTING @ EXISTING**  
SCALE: 3/4" = 1'-0"

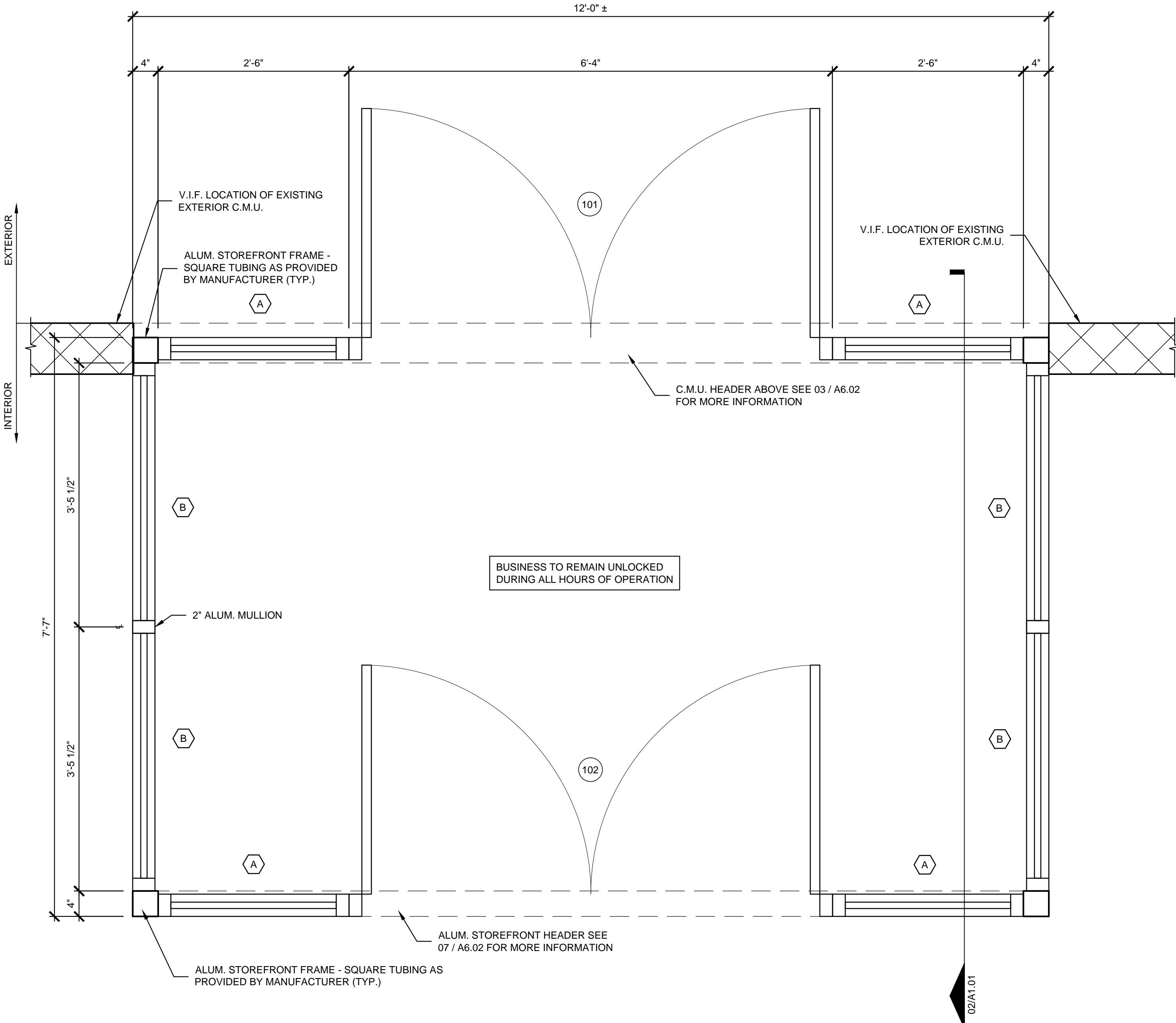


**02 PIT FOOTING**  
SCALE: 3/4" = 1'-0"

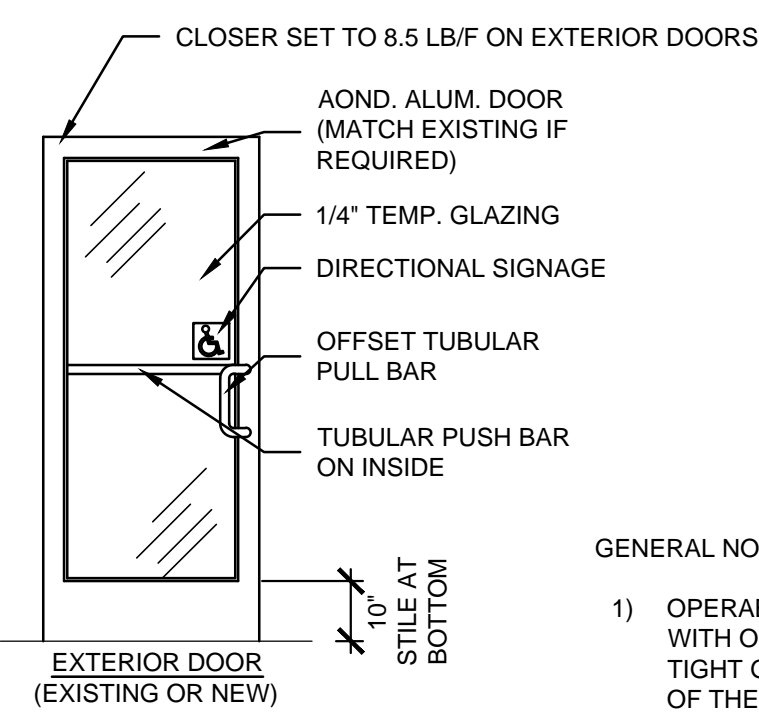
PRELIMINARY : - - - -

**PROCONSTRUCTION**  
**KEYES ARCHITECTS & ASSOCIATES**  
 4717 PRESTON HIGHWAY  
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RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
 1205 E. NEW CIRCLE ROAD  
 LEXINGTON, KY 40505



**01 VESTIBULE ENTRY FLOOR PLAN**  
SCALE: 1" = 1'-0"



**03 DOOR SIGN / DOOR DETAIL**  
SCALE: 3/8" = 1'-0"

- GENERAL NOTES:
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
  - THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM.

WINDOW SCHEDULE						
LETTER	SIZE	SILL HEIGHT	GLAZING	FRAME	DETAILS	REMARKS
A	2'-2" x 13'-4"	-	LOW-E	ALUM.	-	1, 2
B	3'-2-1/2" x 13'-4"	-	LOW-E	ALUM.	-	1, 2

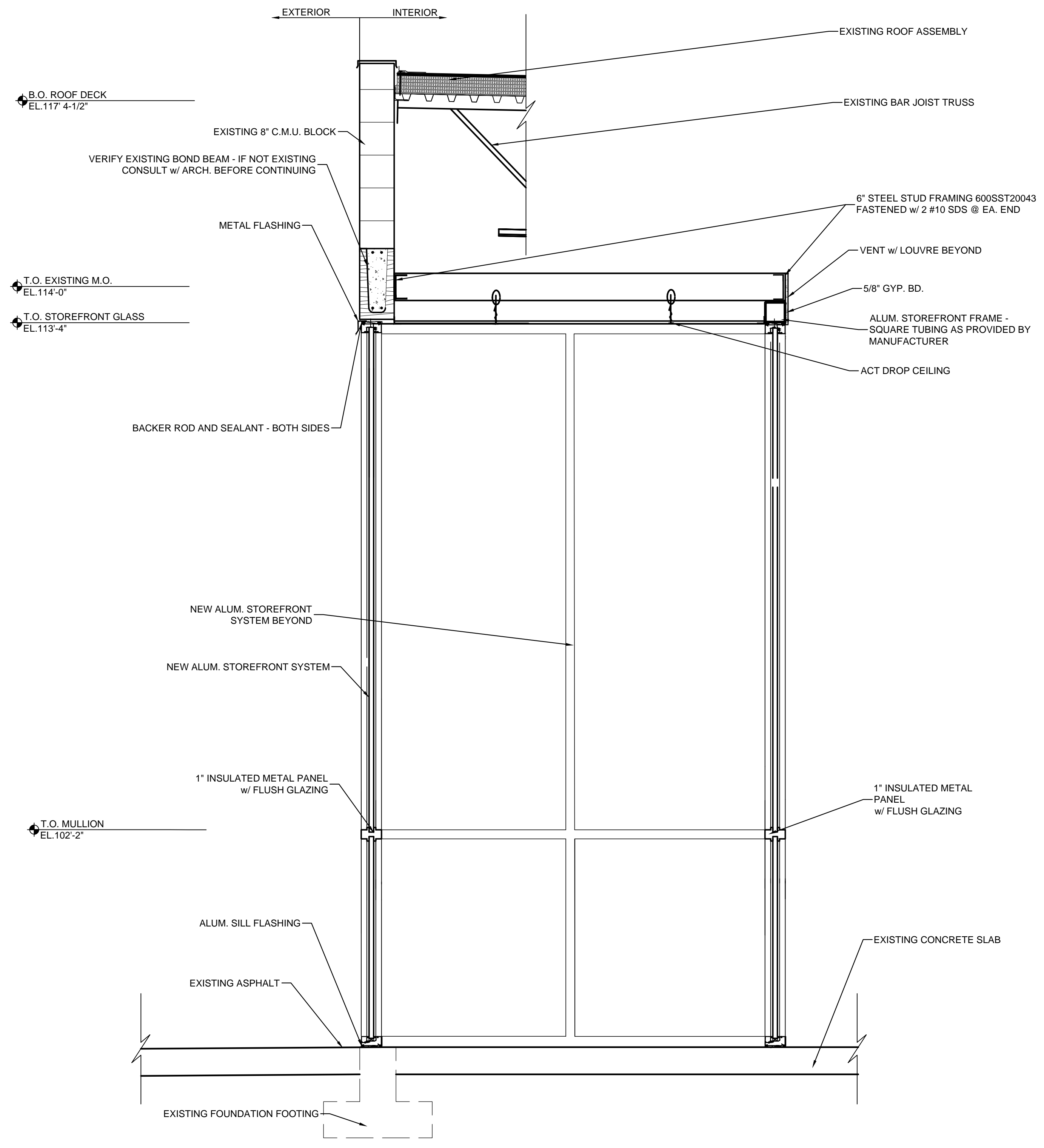
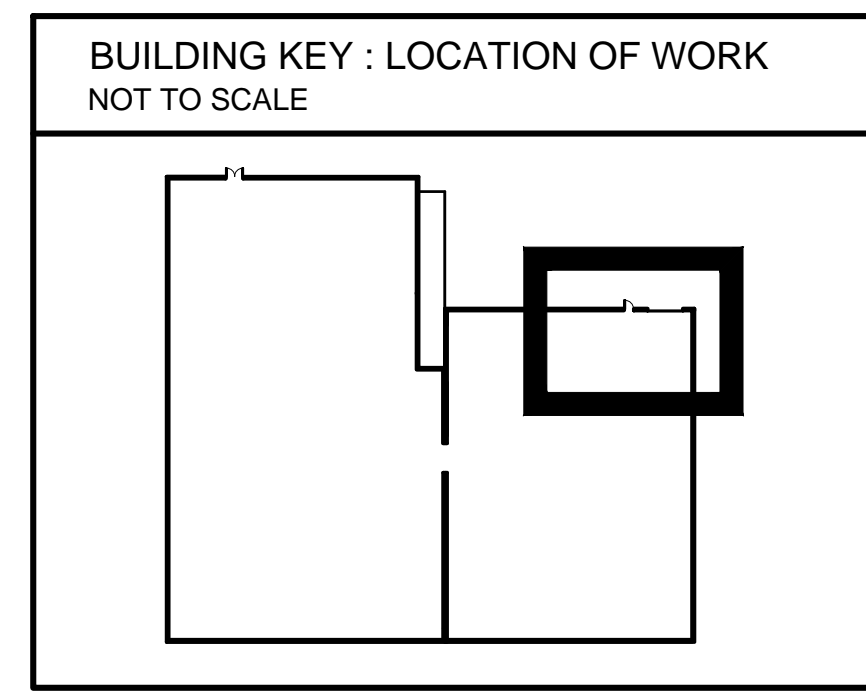
- WINDOW SCHEDULE REMARKS
- PART OF THE STOREFRONT SYSTEM
  - V.I.F.

DOOR SCHEDULE							
NUMBER	SIZE	FIRE	MATERIAL	FRAME	HARDWARE	DETAILS	REMARKS
101	PR. 3'-0" x 7'-0"	N/A	ALUM.	ALUM.	1	03, 04, 05 / A6.02	1, 2
102	PR. 3'-0" x 7'-0"	N/A	ALUM.	ALUM.	1	06, 07, 08 / A6.02	1, 2

- DOOR HARDWARE SCHEDULE
- 2 PR. PIVOTS
  - 2 PR. PUSH/PULLS
  - 1 DEADBOLT (THUMB TURN INSIDE)
  - 1 PR. FLUSH BOLTS
  - 2 CLOSERS
  - 1 WEATHERSTRIP SET
  - 1 THRESHOLD
- DOOR SCHEDULE REMARKS
- PART OF THE STOREFRONT SYSTEM
  - PROVIDE SAME KEY / LOCK FOR DOOR 101 AND DOOR 102

WALL LEGEND	
	3-5/8" METAL STUD WALL
	8" CMU BLOCK WALL

\*ALL MATERIALS ARE SIZES LISTED IN THIS LEGEND UNLESS OTHERWISE DIMENSIONED ON THIS PLAN OR SPECIFIED IN THE DETAILS AT A DIFFERENT SIZE



**02 VESTIBULE ENTRY WALL SECTION**  
SCALE: 3/4" = 1'-0"

**NOTE:** ALL DIMENSIONS ARE TO FACE OF STUD

**NOTE:** GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND REQUIREMENTS BY OWNER

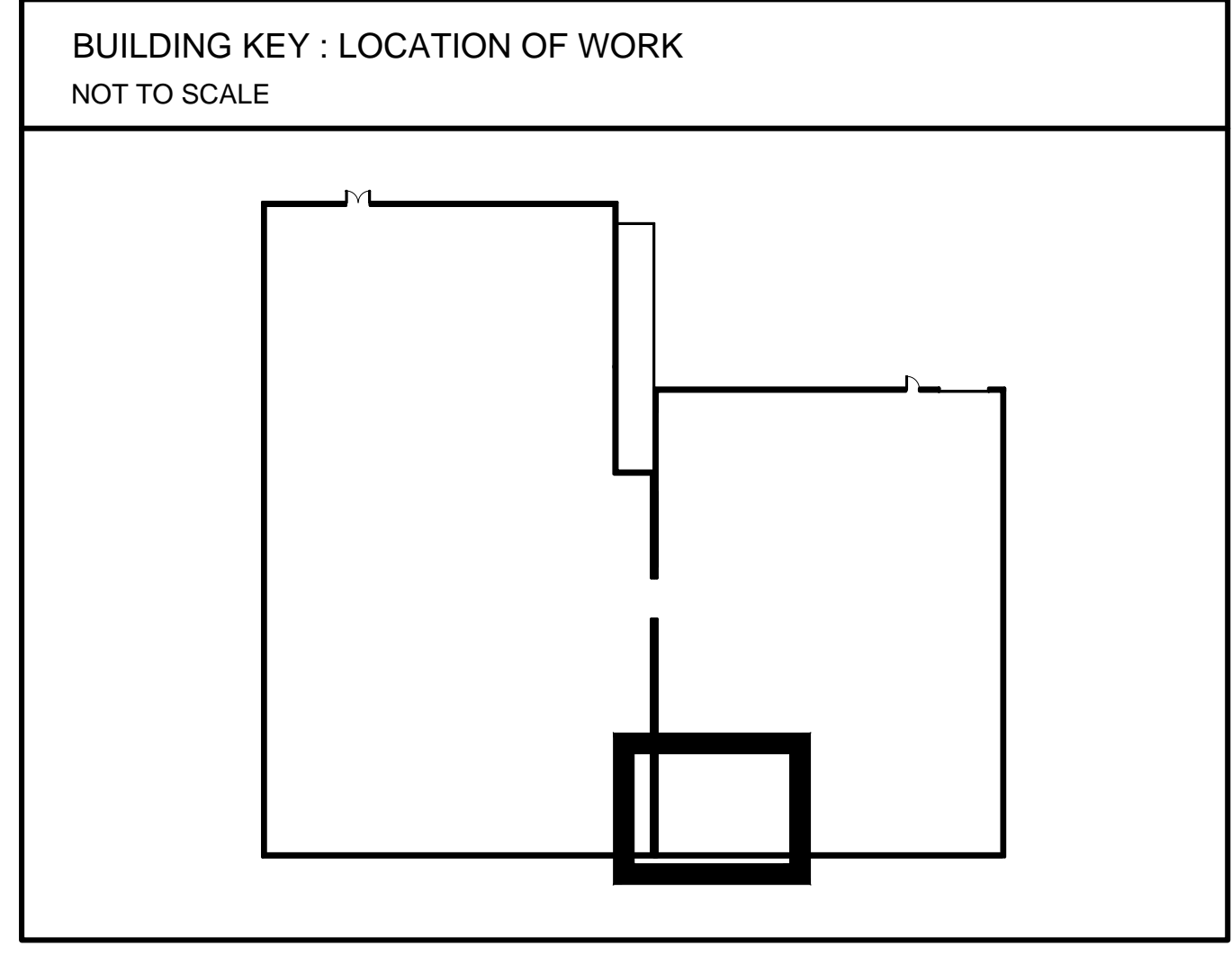
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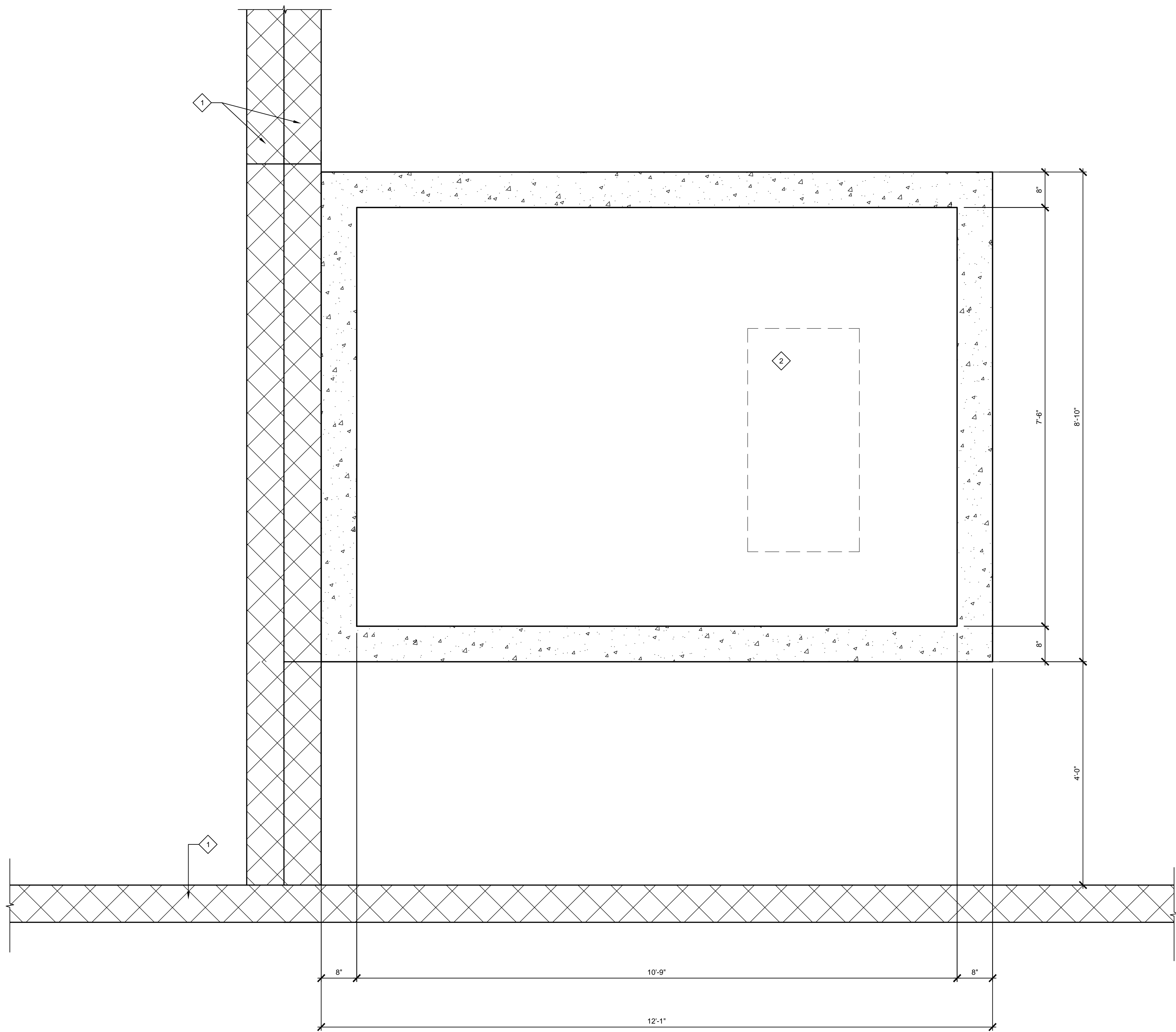
**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
1205 E. NEW CIRCLE ROAD  
LEXINGTON, KY 40505



**SHEET NOTES:**

	NOTE SYMBOL
1	EXISTING C.M.U. BLOCK WALL
2	PIT REFUGEE SPACE



**01** NEW ELEVATOR PIT LAYOUT  
SCALE: 1" = 1'-0"



PRELIMINARY : - - - -

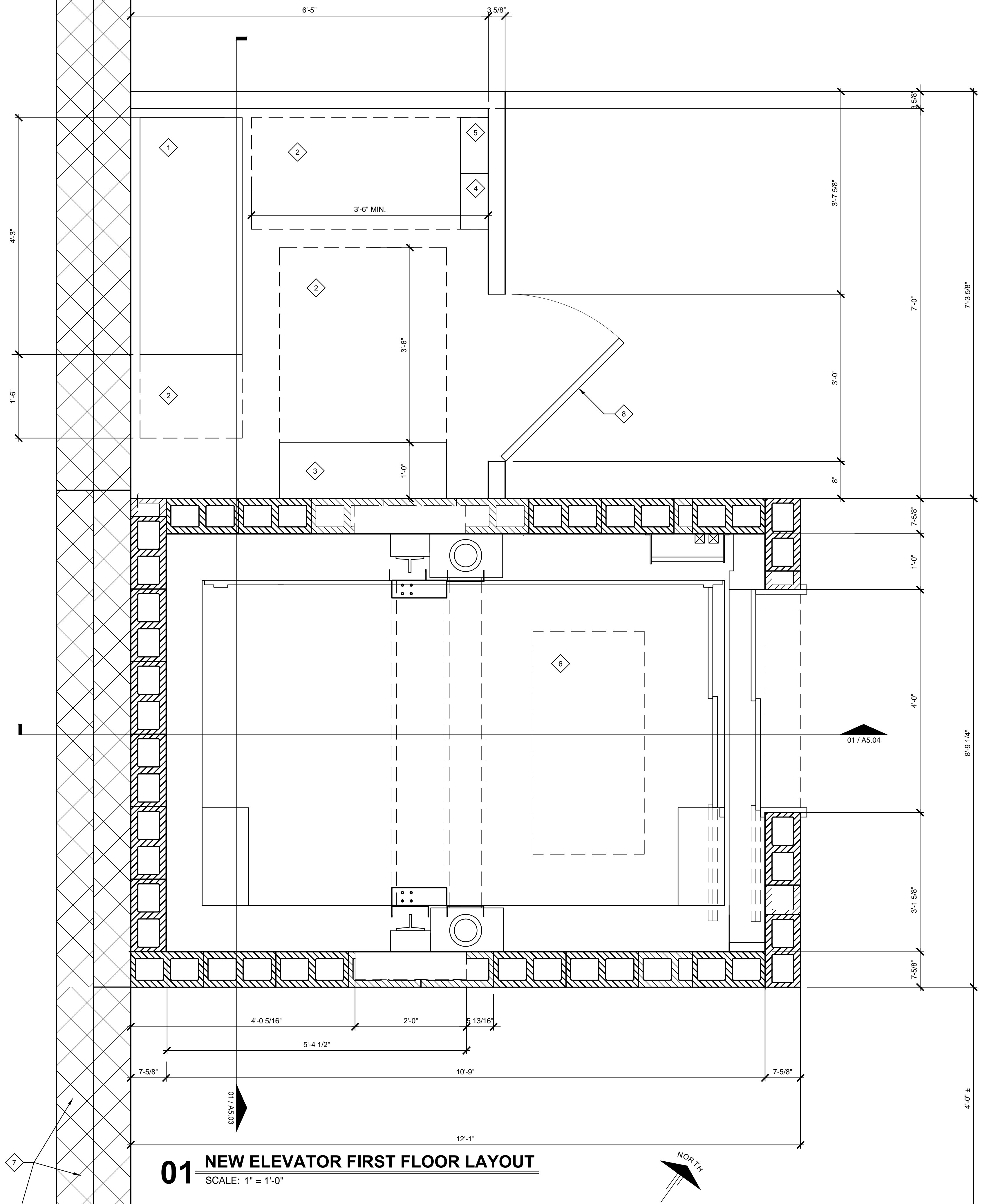
RENOVATIONS TO  
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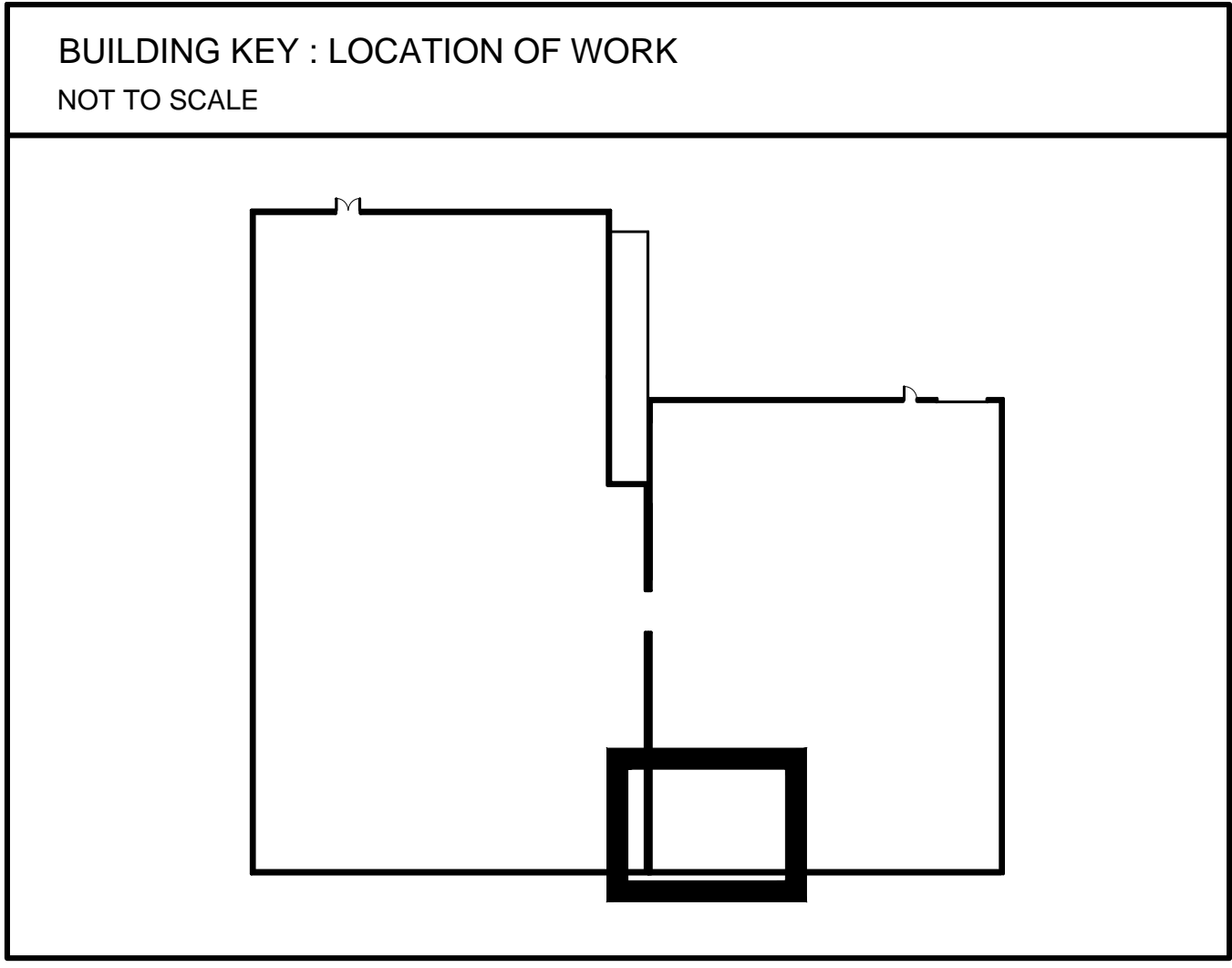
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ELEVATOR PIT FLOOR PLAN

**A1.02**



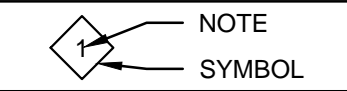
**01 NEW ELEVATOR FIRST FLOOR LAYOUT**  
SCALE: 1" = 1'-0"

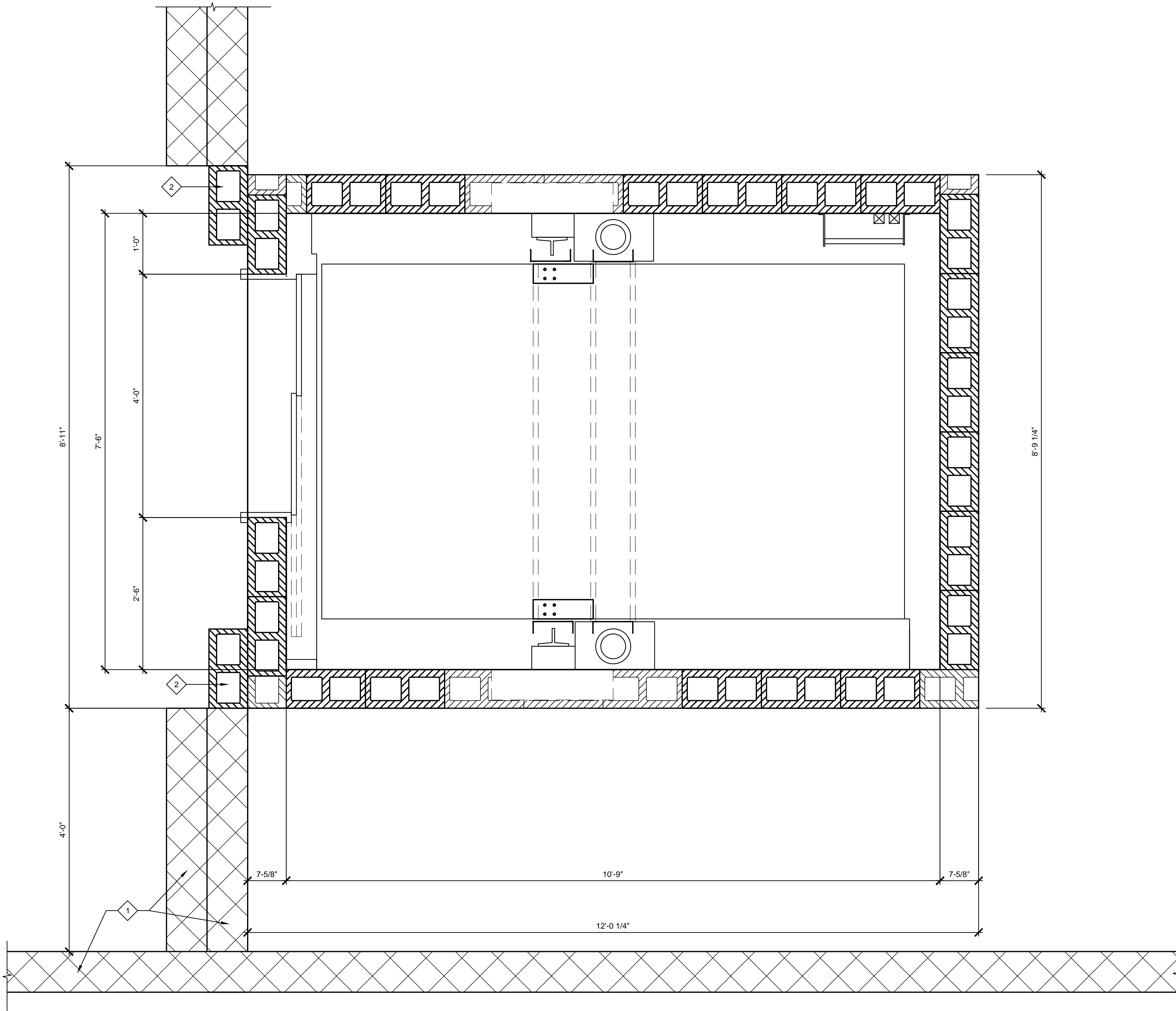


NOTE: SEE ELEVATOR LAYOUT PE-1 PROVIDED BY DC ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION

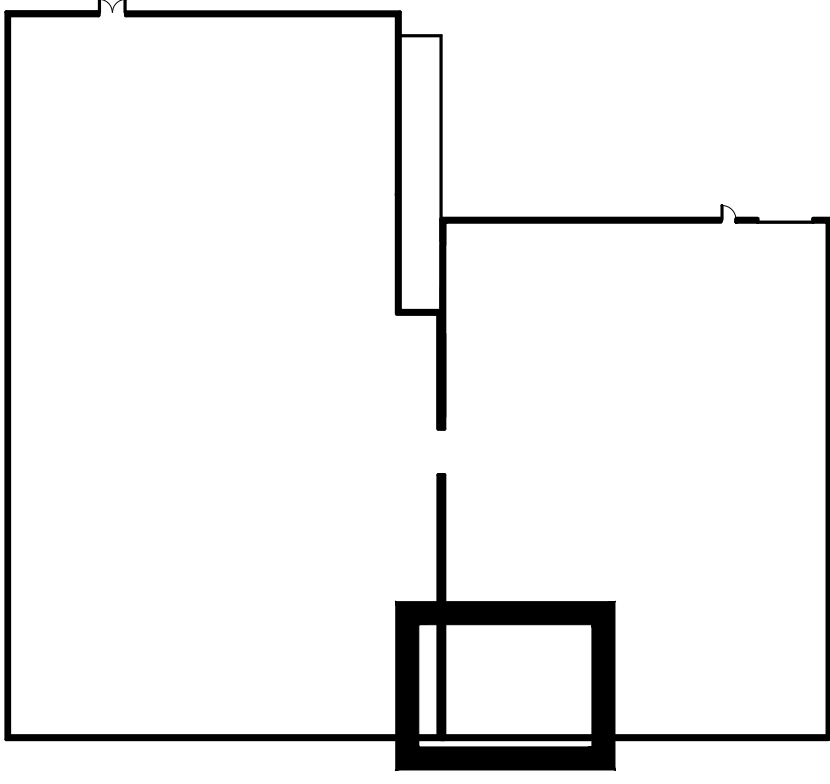
**SHEET NOTES:**

- 1 51" x 22" x 24" - PUMP UNIT
- 2 CLEARANCE SPACE
- 3 36" x 12" - CONTROLLER
- 4 MAIN ELECTRICAL - PROVIDE 110 VAC SERVICE - TO BE IN ACCORDANCE WITH ANSINFPFA 70
- 5 C / L - PROVIDE A FUSED DISCONNECT SWITCH FOR ELEVATOR WITHIN MACHINE ROOM
- 6 PIT REFUGEE SPACE
- 7 EXISTING C.M.U. BLOCK WALL
- 8 4 MIN. RATED DOOR



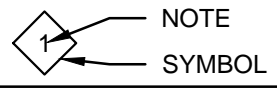


BUILDING KEY : NTS



SHEET NOTES:

- 1 EXISTING BLOCK WALL
- 2 ADD C.M.U. BLOCK TO EACH SIDE OF EXISTING OPENING



**01** NEW ELEVATOR SECOND FLOOR LAYOUT

SCALE: 1" = 1'-0"



PROJECT: LEXINGTON PEDDLERS MALL - FILE: A1.04 Elevator Second Floor Plan.dwg - DATE: Jan 18, 2023 12:42PM - BY: BRIDGETTE FERGLUSON

RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
1205 E. NEW CIRCLE ROAD  
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**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
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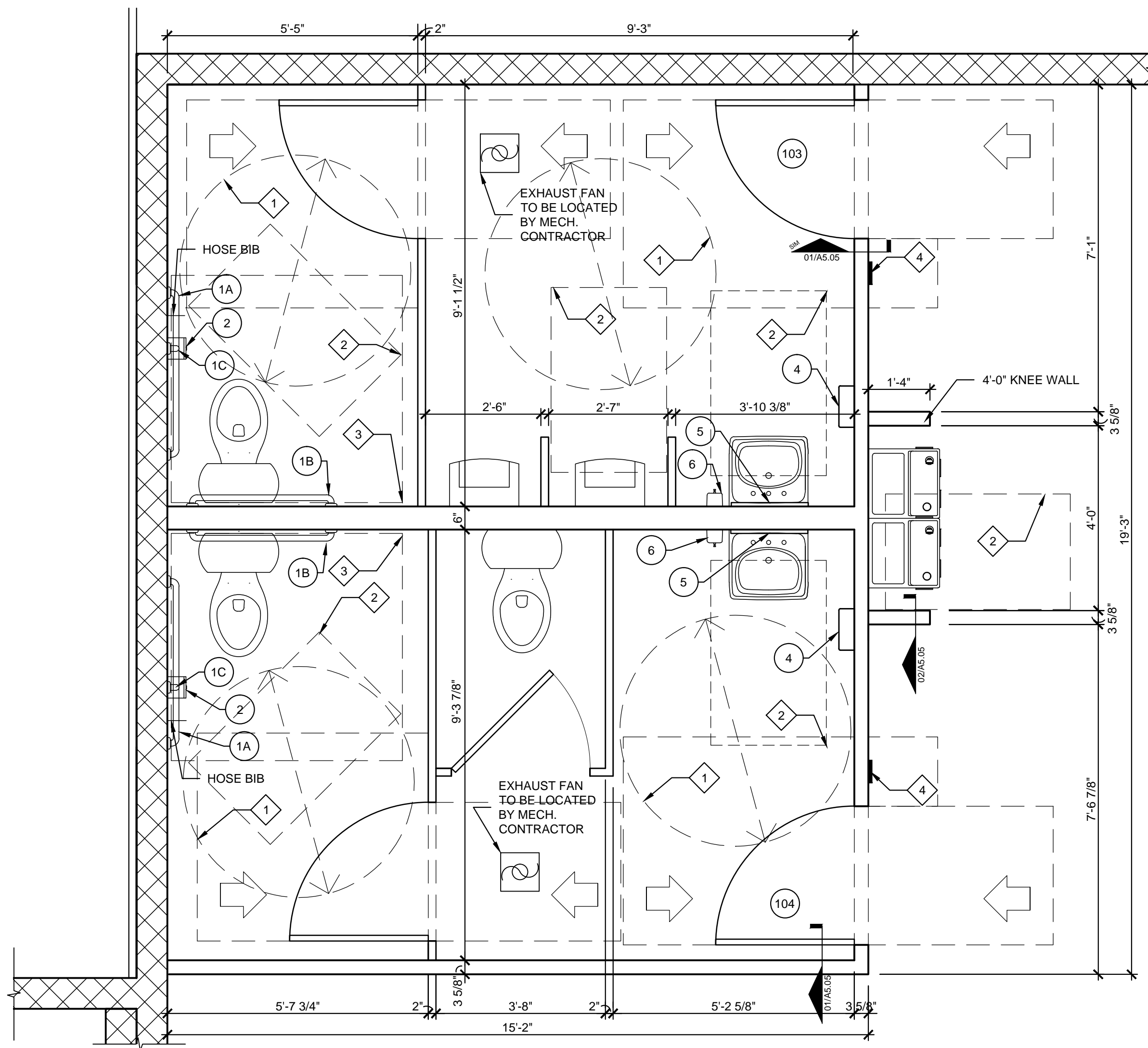
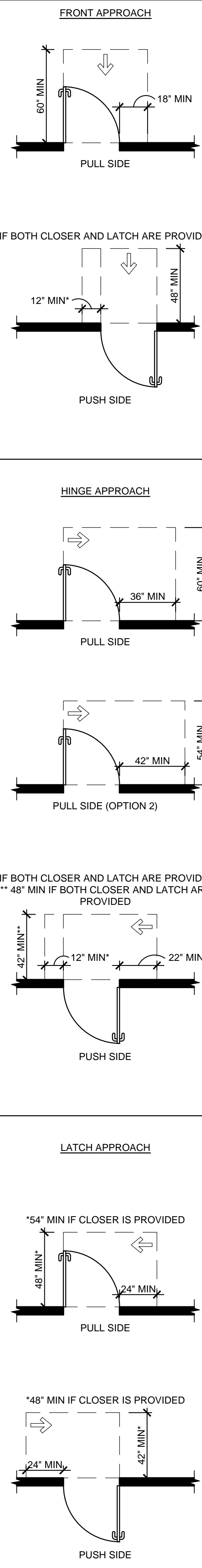
ELEVATOR SECOND FLOOR PLAN

**A1.04**

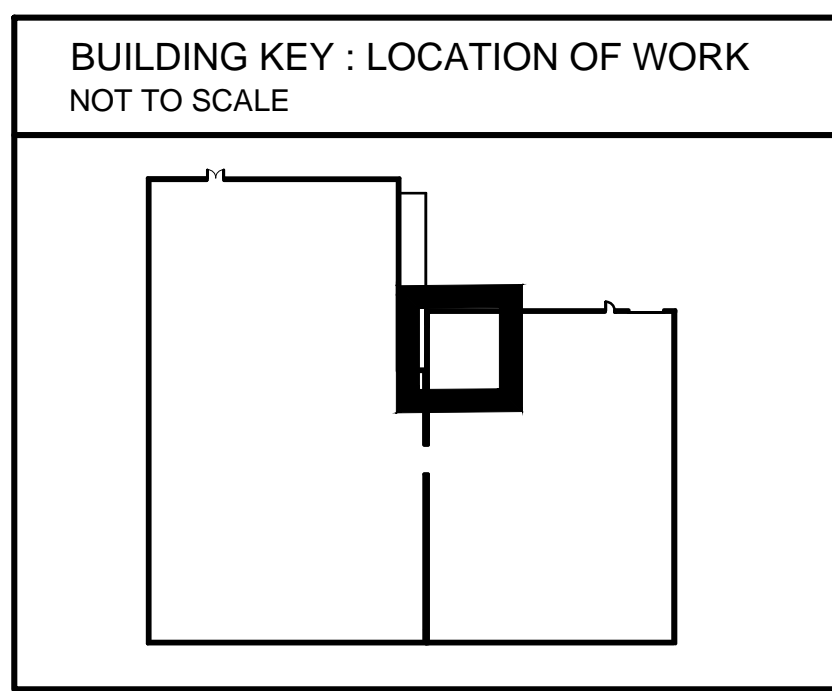
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**REQUIRED DOOR ACCESSIBLE CLEAR FLOOR SPACE**



**01 NEW MEN AND WOMEN BATHROOM PLAN**  
SCALE: 1/2" = 1'-0"



**REQUIRED ACCESSIBLE CLEAR FLOOR SPACE**

TYPICAL CLEAR FLOOR SPACES

1	TURNAROUND / TURNING CIRCLE: 60" DIAMETER CLEAR FLOOR SPACE (TYP.)
2	EQUIPMENT / FIXTURE: 30"x48" CLEAR FLOOR SPACE
3	TOILET IN TOILET PARTITION ROOM WITH 9" TOE CLEARANCE: 60"x60" CLEAR FLOOR SPACE
4	ACCESSIBLE SIGNAGE - SEE DETAIL 04/A3.01 FOR MORE INFORMATION

**DOOR SCHEDULE**

NUMBER	SIZE	FIRE	MATERIAL	FRAME	HARDWARE	DETAILS	REMARKS
103	3'-0" x 7'-0"	N/A	S.C. WOOD	H.M.	1	01, 02 / A6.03	1
104	3'-0" x 7'-0"	N/A	S.C. WOOD	H.M.	1	01, 02 / A6.03	1

**DOOR HARDWARE SCHEDULE**

1	1-1/2 PR. HINGES
1	1 PASSAGE SET
1	1 WALL STOP
1	1 KICK PLATE

**DOOR SCHEDULE REMARKS**

1) VERIFY PRIOR TO CONSTRUCTION IF DOORS 103 AND 104 WILL REQUIRE LOUVRE VENTS FOR MECH.

MEETS THE STRICTEST INTERPRETATION OF BOTH THE ANSI 117.1 AND 2010 FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN

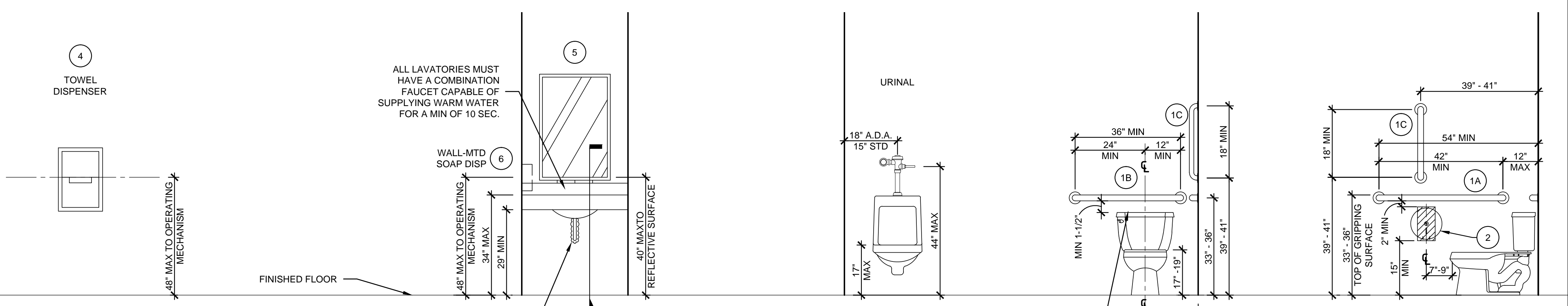
NOTE: NOT ALL ITEMS LISTED ON THIS SHEET WILL APPLY TO THIS PROJECT. IF THERE ARE ANY QUESTIONS OR COMMENTS CONTACT KEYES ARCHITECTS AND ASSOCIATES.

**RESTROOM ACCESSORIES SCHEDULE**

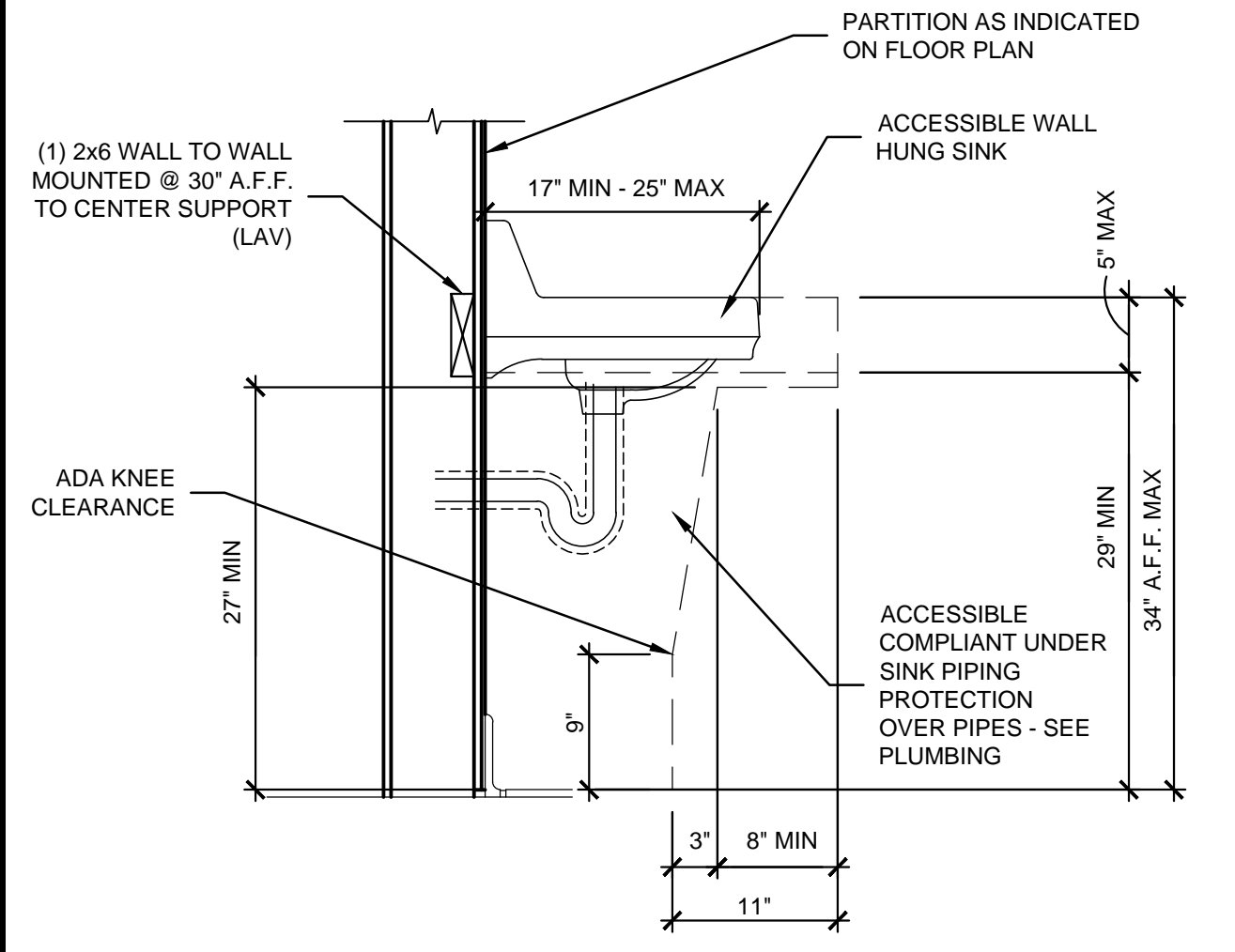
ITEM (SEE NOTE 2)	MODEL #	SUPPLIER	BACKUP SUPPORT (SEE NOTE 3)
1A	GRAB BAR 42"	SEE SPECS. FOR RECOMMENDED MANUFACTURERS	MOUNTED PER MANUFACTURER'S RECOMMENDATIONS
1B	GRAB BAR 36"	SEE SPECS. FOR RECOMMENDED MANUFACTURERS	MOUNTED PER MANUFACTURER'S RECOMMENDATIONS
1C	GRAB BAR 24" (18" MIN)	SEE SPECS. FOR RECOMMENDED MANUFACTURERS	MOUNTED PER MANUFACTURER'S RECOMMENDATIONS
2	TOILET TISSUE DISPENSER, DOUBLE, SURFACE MOUNTED (SEE NOTE 4)	SEE SPECS. FOR RECOMMENDED MANUFACTURERS	MOUNTED PER MANUFACTURER'S RECOMMENDATIONS
3	NOT USED	-	-

ITEM (SEE NOTE 2)	MODEL #	SUPPLIER	BACKUP SUPPORT (SEE NOTE 3)
4	TOWEL DISPENSER & WASTE RECEPTACLE, INDIVIDUAL RECESSED (OPTIONAL)	SEE SPECS. FOR RECOMMENDED MANUFACTURERS	MOUNTED PER MANUFACTURER'S RECOMMENDATIONS
5	MIRROR, CHANNEL FRAME	SEE SPECS. FOR RECOMMENDED MANUFACTURERS	MOUNTED PER MANUFACTURER'S RECOMMENDATIONS
6	SOAP DISPENSER, WALL-MOUNTED	SEE SPECS. FOR RECOMMENDED MANUFACTURERS	MOUNTED PER MANUFACTURER'S RECOMMENDATIONS

- NOTES:**
- SEE BELOW FOR ACCESSORY MOUNTING HEIGHTS
  - CUT BACK-UP SUPPORTS BETWEEN STUDS SO FACE OF SUPPORT IS FLUSH WITH WALL STUD
  - HATCHED AREA SHOWN FOR MOUNTING LOCATION
  - 48" MAX TO TOP OF COAT HOOK

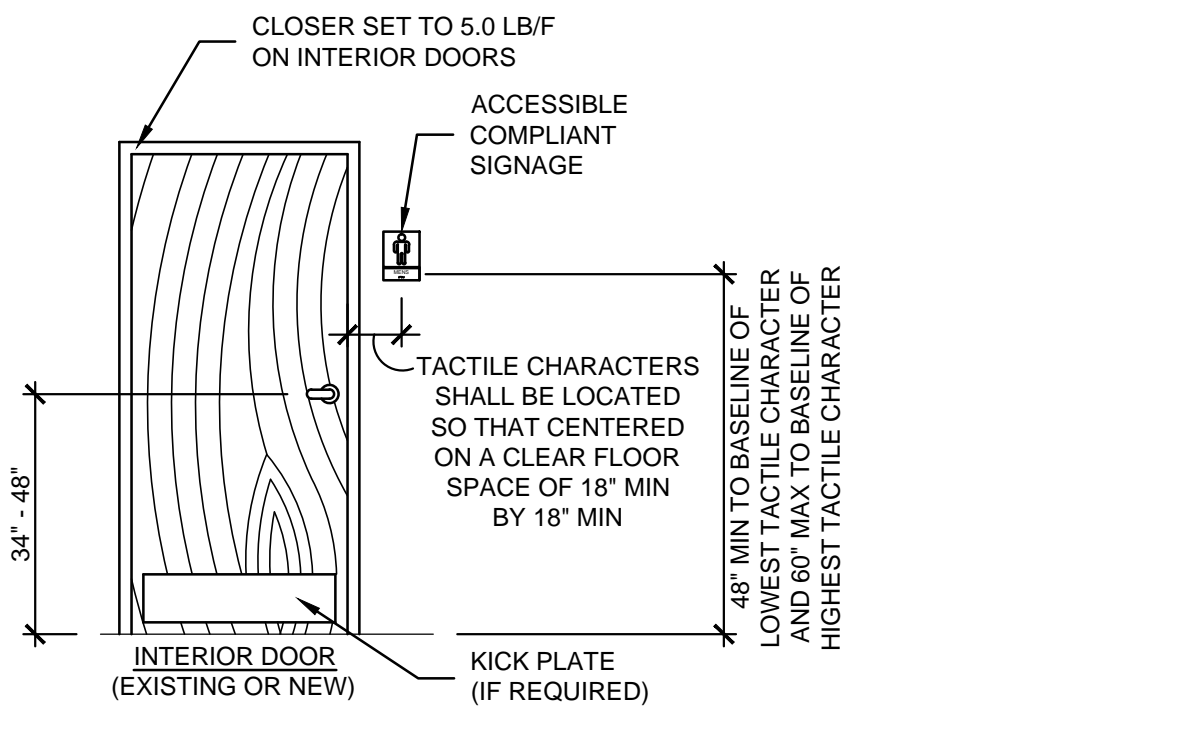


**04 TYPICAL ACCESSIBLE RESTROOM DETAILS**  
SCALE: 1/2" = 1'-0"

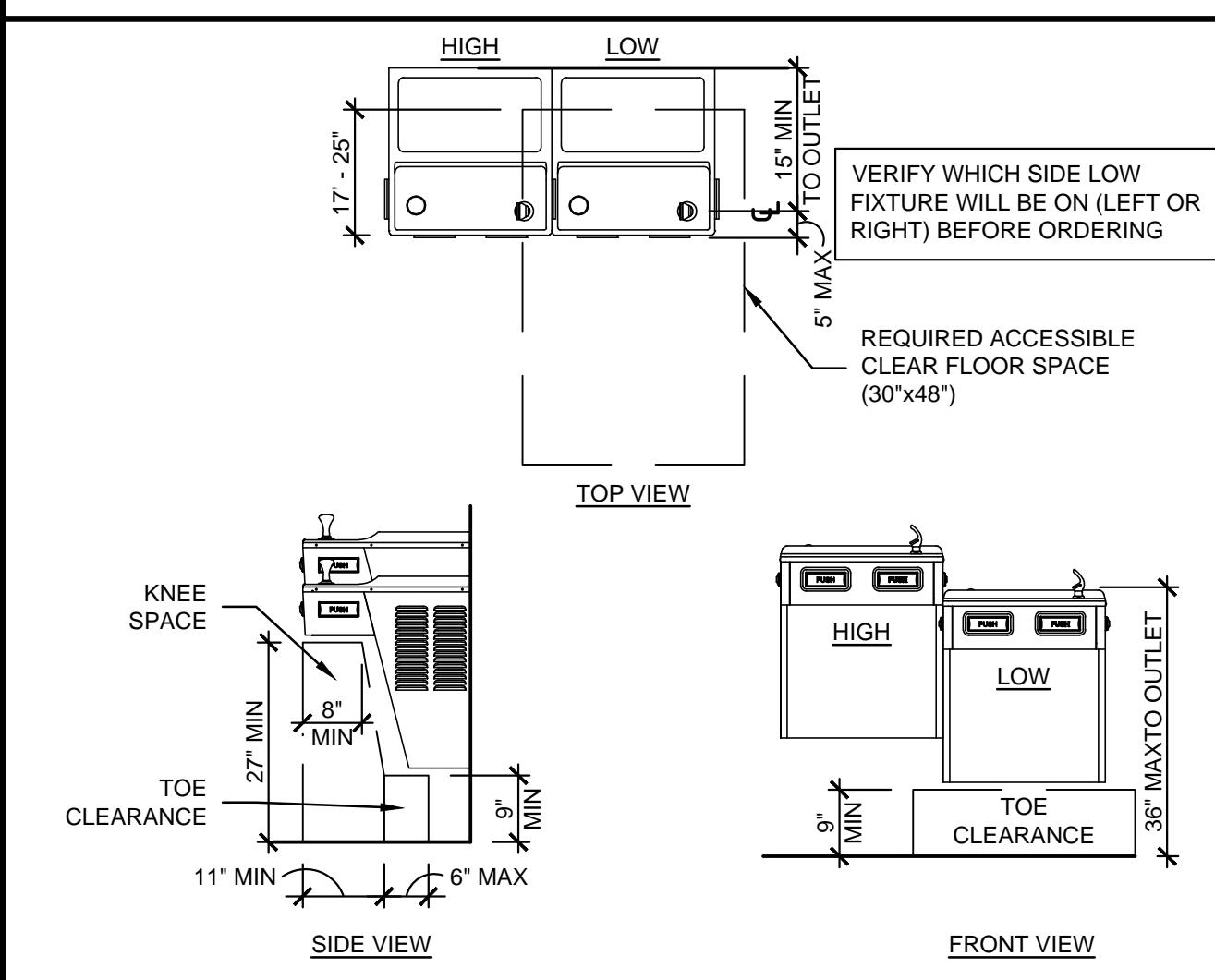


**02 LAVATORY DETAIL**  
SCALE: 1" = 1'-0"

- GENERAL NOTES:**
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
  - THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM.



**03 DOOR SIGN / DOOR DETAIL**  
SCALE: 3/8" = 1'-0"



**05 DRINKING FOUNTAIN DETAIL**  
SCALE: 1/2" = 1'-0"

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PROJECT NO:  
22-4407  
DRAWN BY:  
BF/  
DATE:  
01/05/2023



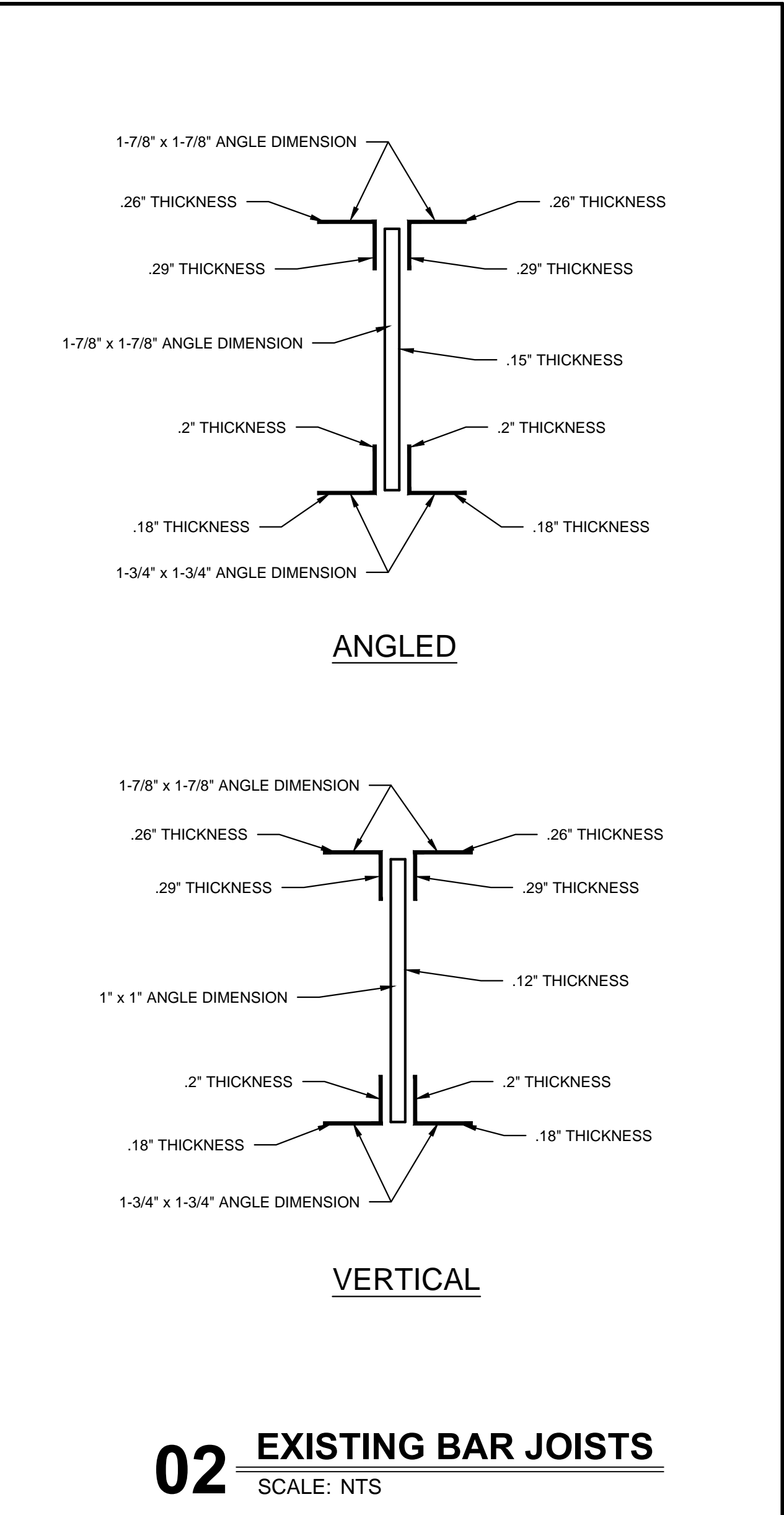
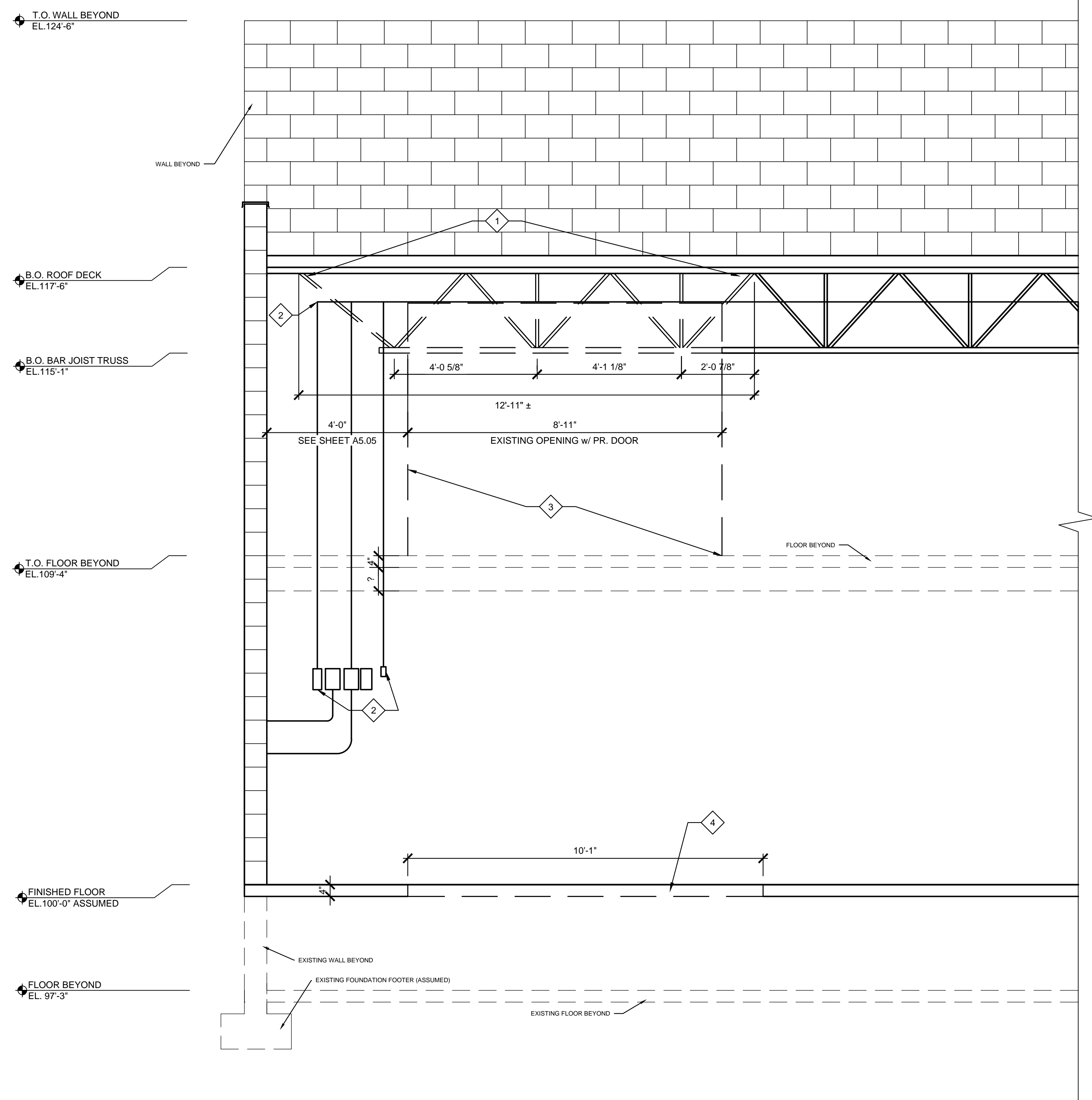
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LOUISVILLE, KENTUCKY 40213 (502) 636-5113

RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
1205 E. NEW CIRCLE ROAD  
LEXINGTON, KY 40505

COMMERCIAL ADA-ANSI GUIDELINES  
**A3.01**

PROJECT: LEXINGTON PEDDLERS MALL - FILE: A3.01 Commercial ADA-Ansi Guidelines.dwg - DATE: Jan 18, 2023 12:42PM - BY: BRIDGETTE FERGLUSON

- SHEET NOTES:**
- CUT (8) BARS FROM (6) EXISTING JOISTS TO CLEAR OPENING FOR NEW ELEVATOR
  - EXISTING ELECTRICAL TO BE RELOCATED IN PREPARATION OF NEW ELEVATOR
  - REMOVE EXISTING DOUBLE DOOR ON SECOND FLOOR
  - SAW CUT EXISTING CONCRETE SLAB IN PREPARATION FOR ELEVATOR FOUNDATION AND PIT SEE SHEETS F1.01 AND F2.01 FOR MORE INFORMATION



**02 EXISTING BAR JOISTS**  
SCALE: NTS

PRELIMINARY : - - - -

**01 DEMOLITION BUILDING SECTION FOR ELEVATOR**  
SCALE: 1/2" = 1'-0"

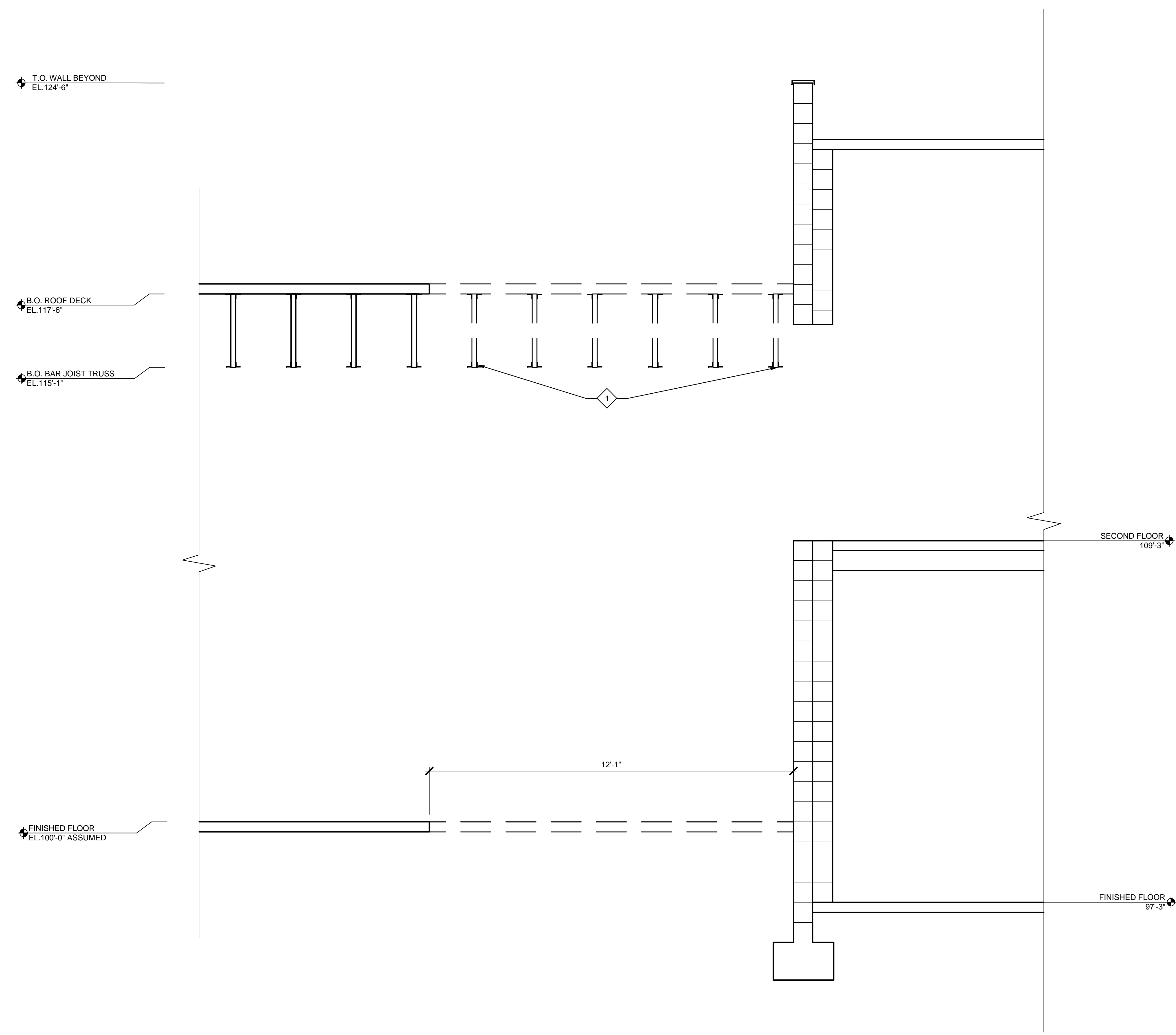
PROJECT: LEXINGTON PEDDLERS MALL - FILE: A5.01 Demolition Building Section.dwg - DATE: Jan 18, 2023 12:42PM - BY: BRIDGETTE FERGLUSON

RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
1205 E. NEW CIRCLE ROAD  
LEXINGTON, KY 40505

**KEYES ARCHITECTS & ASSOCIATES**  
4717 PRESTON HIGHWAY  
LOUISVILLE, KENTUCKY 40213 (502) 636-5113

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SHEET NOTES:	
NOTE SYMBOL	NOTE
1	CUT (6) EXISTING BAR JOISTS TO CLEAR OPENING FOR NEW ELEVATOR TOWER
2	SAW CUT EXISTING ROOF FOR NEW ELEVATOR TOWER
3	REMOVE EXISTING DOUBLE DOOR ON SECOND FLOOR
4	SAW CUT EXISTING CONCRETE SLAB IN PREPARATION FOR ELEVATOR FOUNDATION AND PIT - SEE SHEETS F1.01 AND F2.01 FOR MORE INFORMATION



**01** DEMOLITION BUILDING SECTION @ DOOR OPENING  
SCALE: 1/2" = 1'-0"

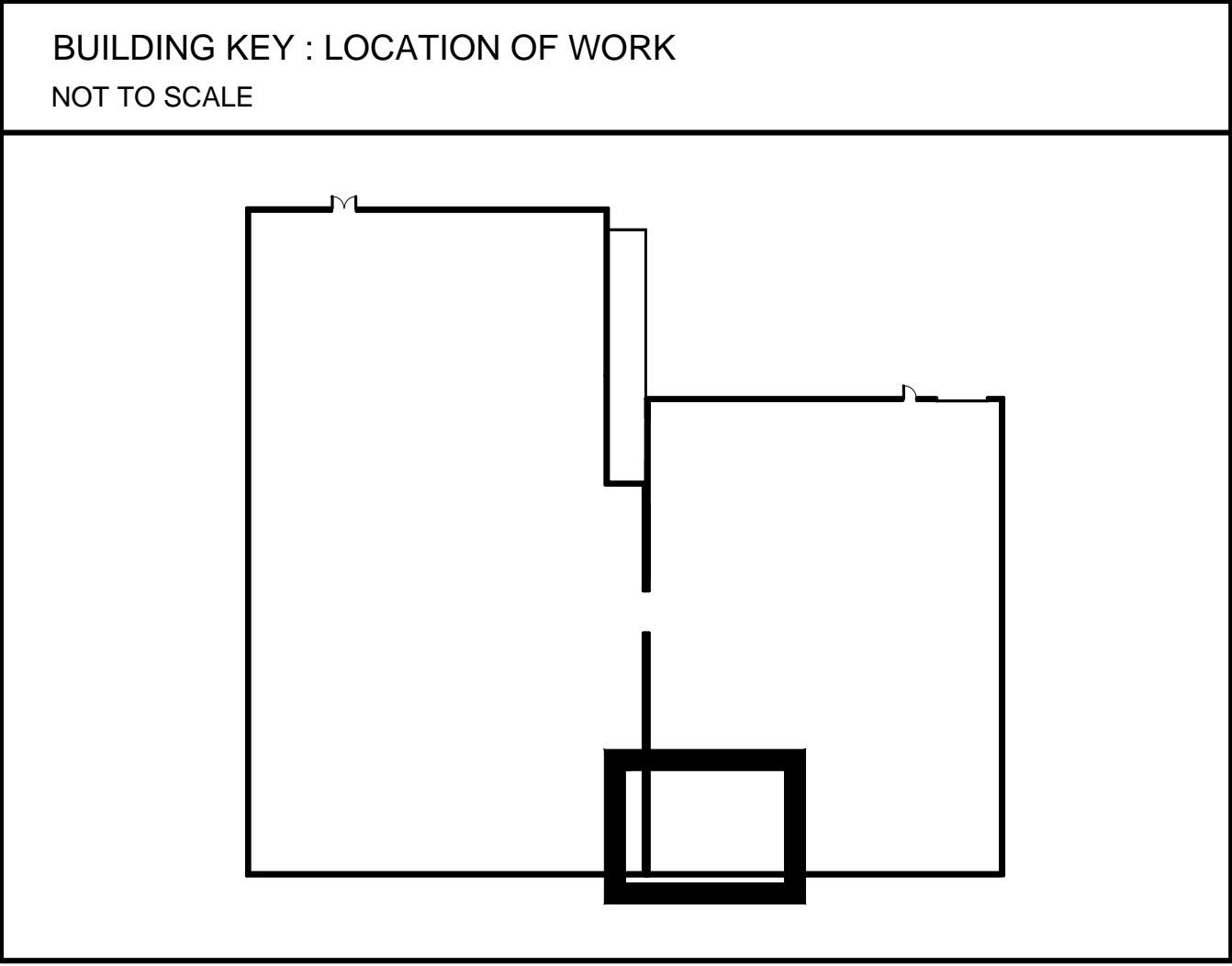
PROJECT: LEXINGTON PEDDLERS MALL - FILE: A5.02 Demolition Building Section.dwg - DATE: Jan 18, 2023 12:42PM - BY: BRIDGETTE FERGLUSON

RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
1205 E. NEW CIRCLE ROAD  
LEXINGTON, KY 40505

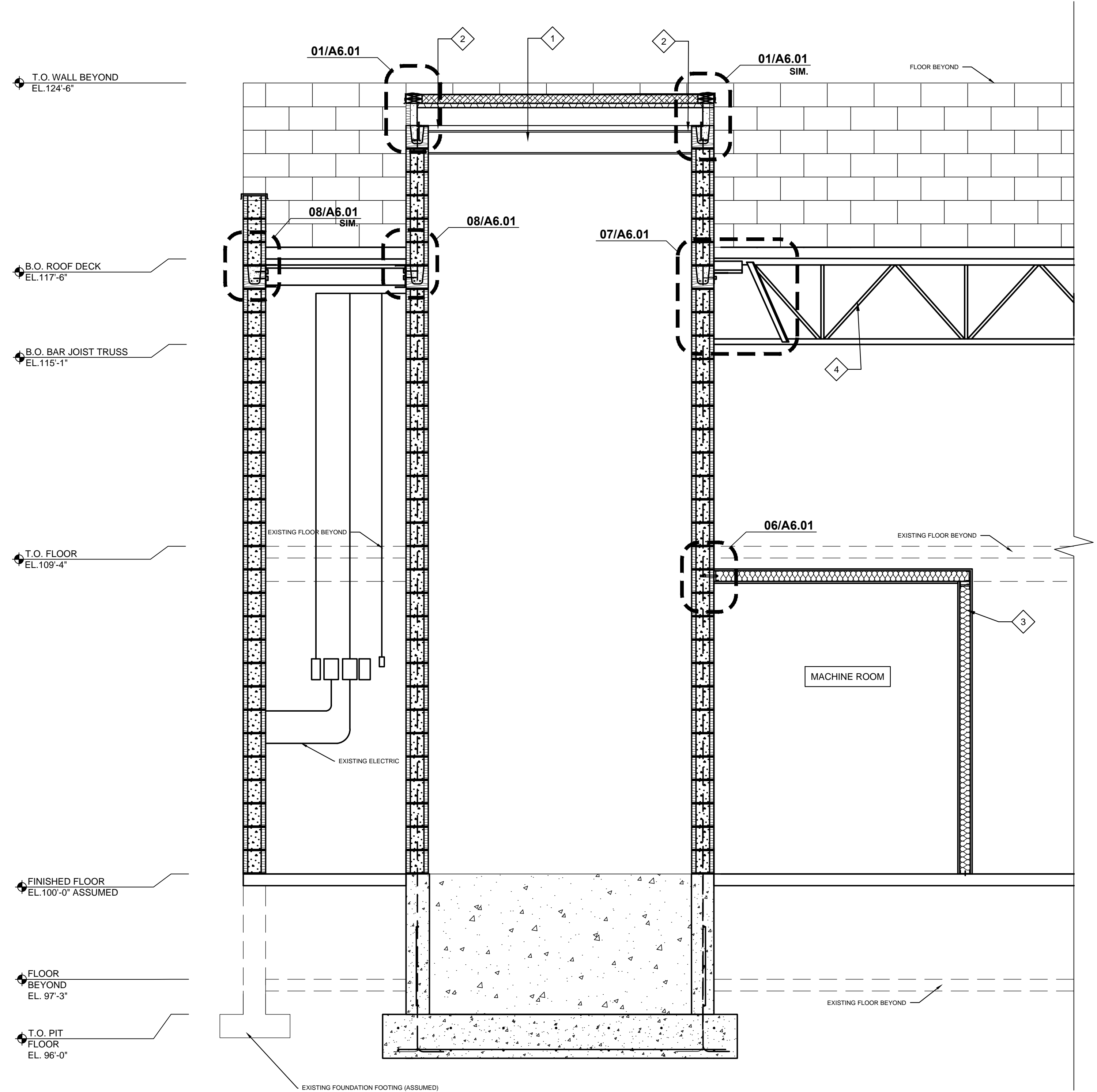
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DEMOLITION BUILDING SECTION  
**A5.02**



- SHEET NOTES:**
- |   | NOTE  | SYMBOL |
|---|---|--------|
| 1 | HOIST BEAM - LOCATED ON CENTERLINE OF GUIDES - OF SUFFICIENT STRENGTH TO SUPPORT THE CAR AND PLUNGER - 6000 LBS.  |        |
| 2 | TWO LIFELINE ATTACHMENT POINTS INDEPENDENT OF HOIST BEAM, LOCATED AT THE TOP OF THE HOISTWAY, MUST BE CAPABLE OF WITHSTANDING A 5,000 LB. LOAD PER OSHA 29 CFR 1926.502 |        |
| 3 | 3-5/8" METAL STUD w/ GYP. BD. BOTH SIDES - 1 HR RATED MACHINE ROOM  |        |
| 4 | EXISTING BAR JOISTS ARE CLEAR SPAN SPACING  |        |



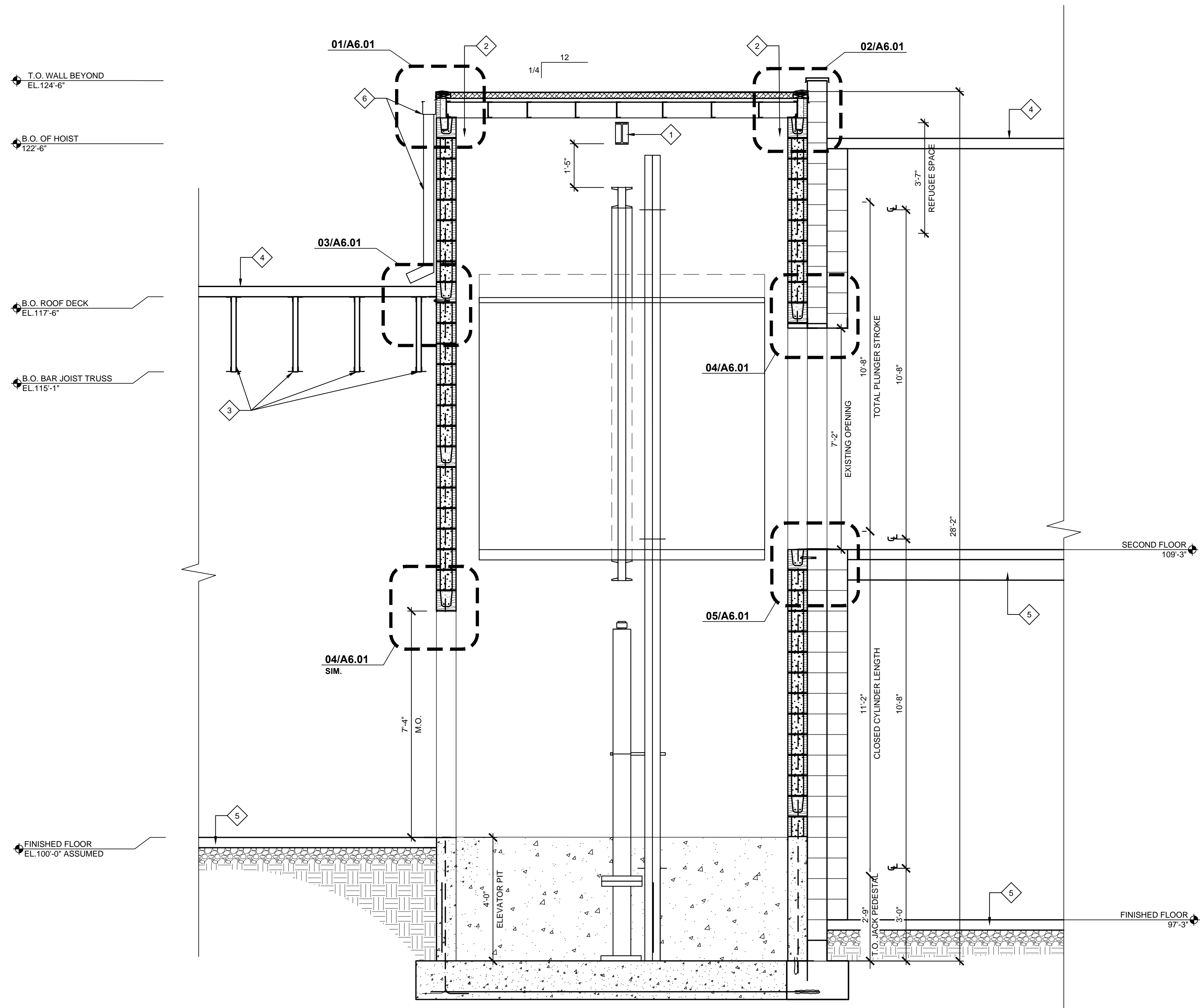
**01** ELEVATOR TOWER SECTION @ MACHINE ROOM  
SCALE: 1/2" = 1'-0"

PRELIMINARY : - - - -

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T.O. WALL BEYOND  
EL.124'-6"

B.O. OF HOIST  
122'-6"

B.O. ROOF DECK  
EL.117'-6"

B.O. BAR JOIST TRUSS  
EL.115'-1"

FINISHED FLOOR  
EL.100'-0" ASSUMED

- SHEET NOTES:**
- | NOTE SYMBOL | NOTE  |
|-------------|---|
| 1           | HOIST BEAM - LOCATED ON CENTERLINE OF GUIDES - OF SUFFICIENT STRENGTH TO SUPPORT THE CAR AND PLUNGER - 6000 LBS.  |
| 2           | TWO LIFELINE ATTACHMENT POINTS INDEPENDENT OF HOIST BEAM, LOCATED AT THE TOP OF THE HOISTWAY, MUST BE CAPABLE OF WITHSTANDING A 5,000 LB. LOAD PER OSHA 29 CFR 1926.502 |
| 3           | EXISTING BAR JOISTS   |
| 4           | EXISTING ROOF SYSTEM - V.I.F.   |
| 5           | EXISTING FLOOR - V.I.F.   |
| 6           | NEW PRE-PAINTED GUTTER AND DOWN SPOUT   |

NOTE: SEE ELEVATOR LAYOUT PE-1 PROVIDED BY DC ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION

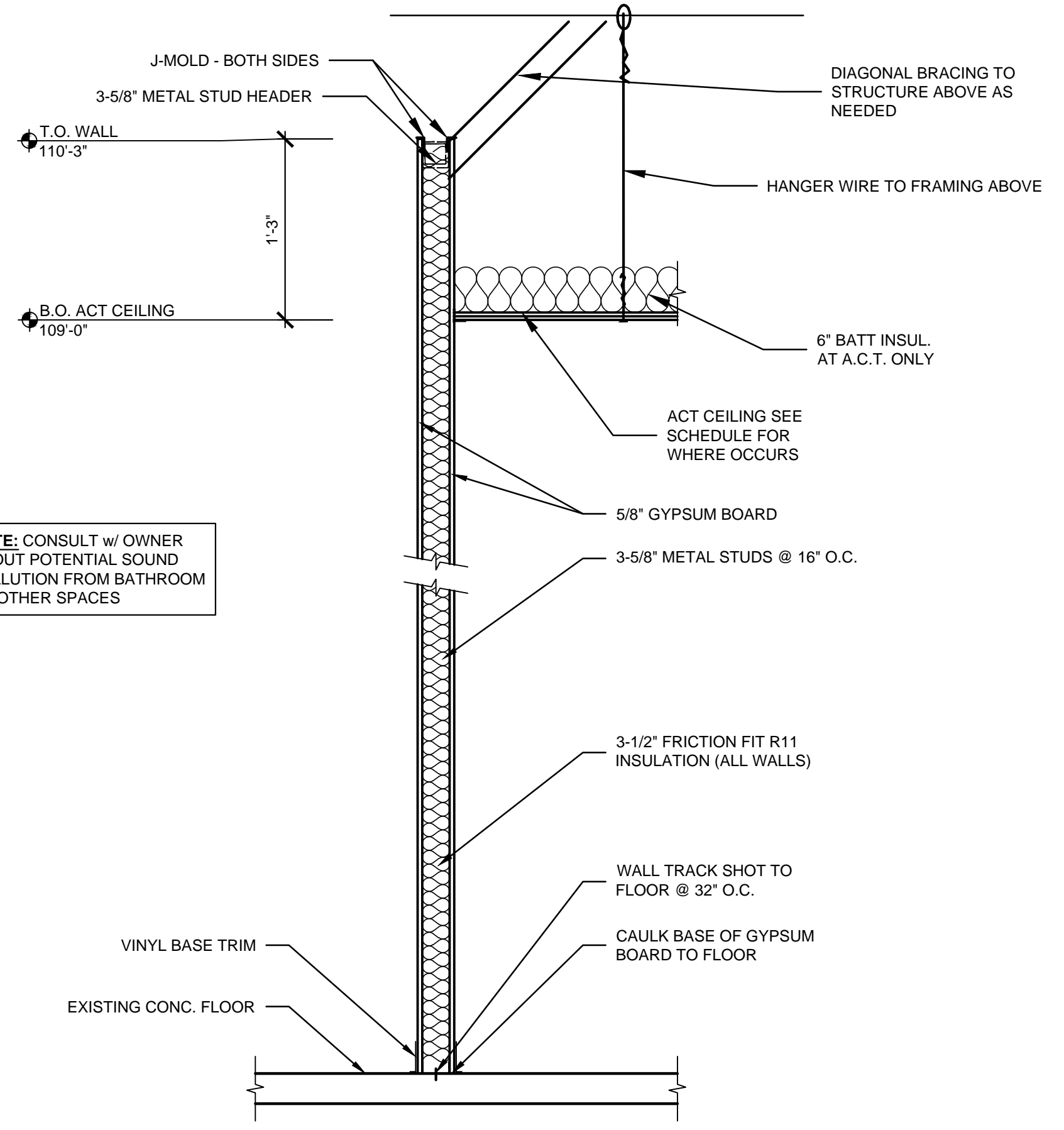
PRELIMINARY : - - - -

**01 ELEVATOR TOWER SECTION @ DOOR OPENING**  
SCALE: 1/2" = 1'-0"

PROJECT: LEXINGTON PEDDLERS MALL - FILE: A5.04 Elevator Section.dwg - DATE: Jan 18, 2023 12:43PM - BY: BRIDGETTE FERGUSON

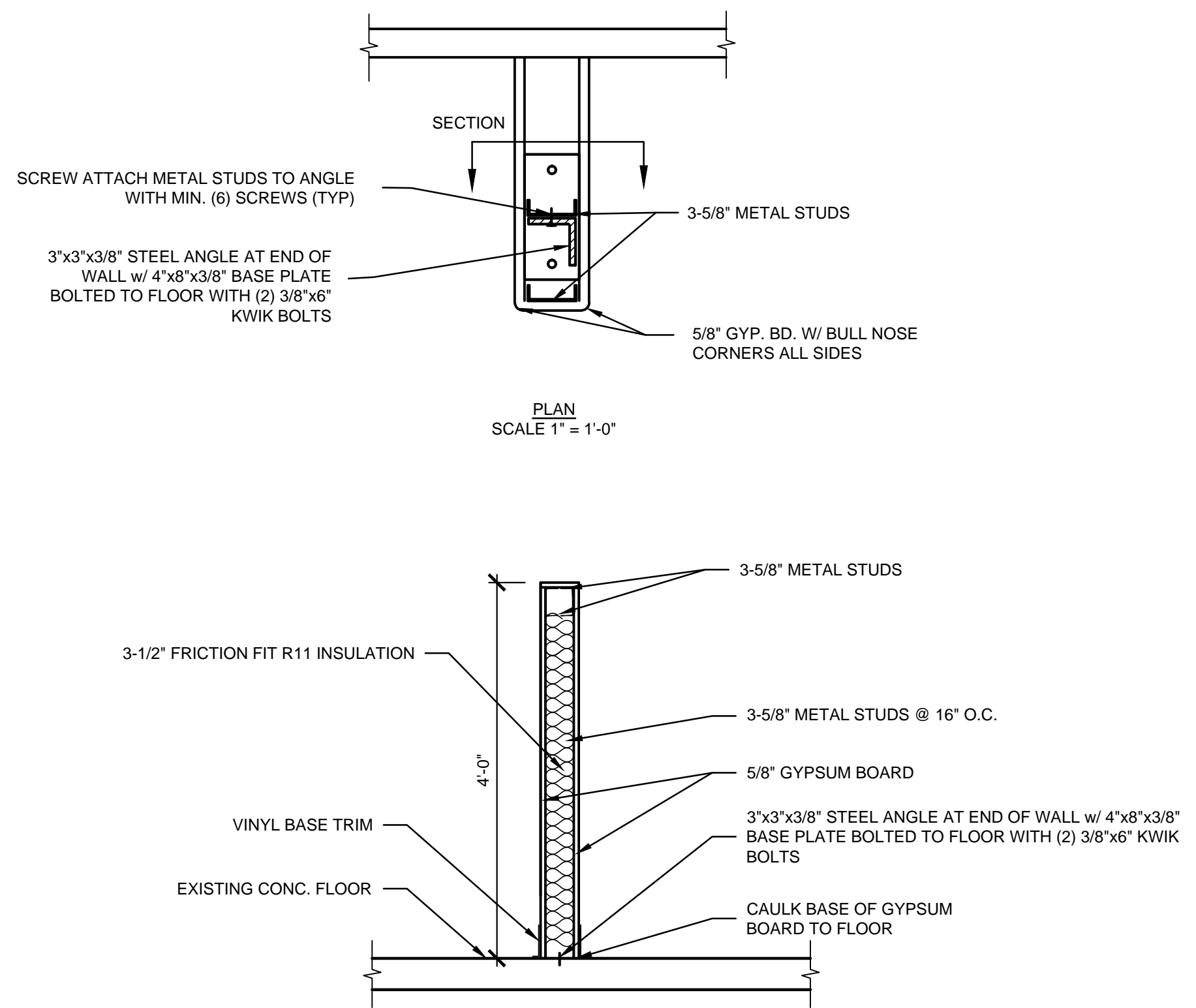
RENOVATIONS TO  
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**NOTE:** CONSULT w/ OWNER ABOUT POTENTIAL SOUND POLLUTION FROM BATHROOM TO OTHER SPACES

**01 WALL SECTION @ BATHROOM**  
SCALE: 3/4" = 1'-0"

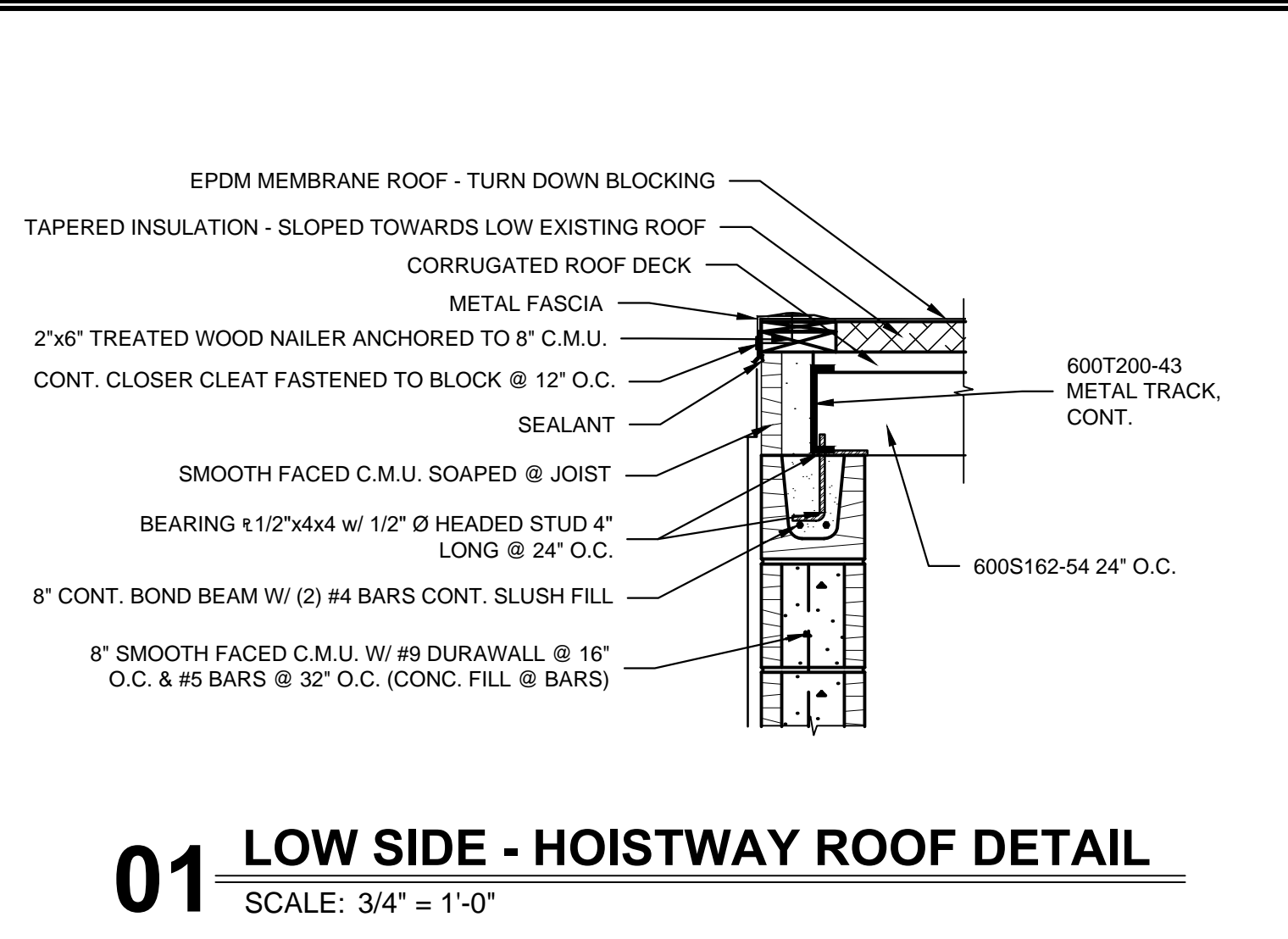


**02 KNEE WALL @ WATER FOUNTAIN**  
SCALE: 3/4" = 1'-0"

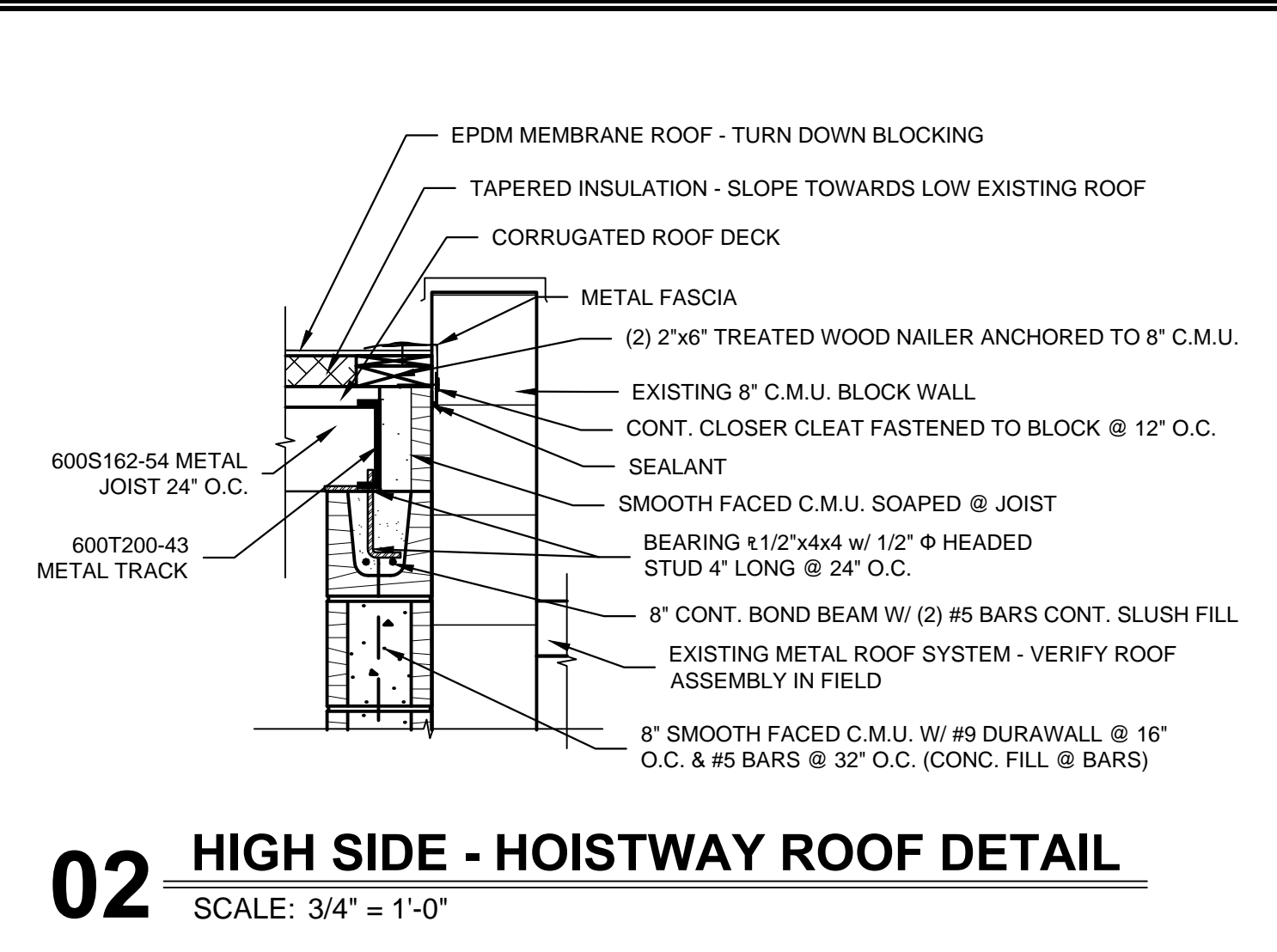


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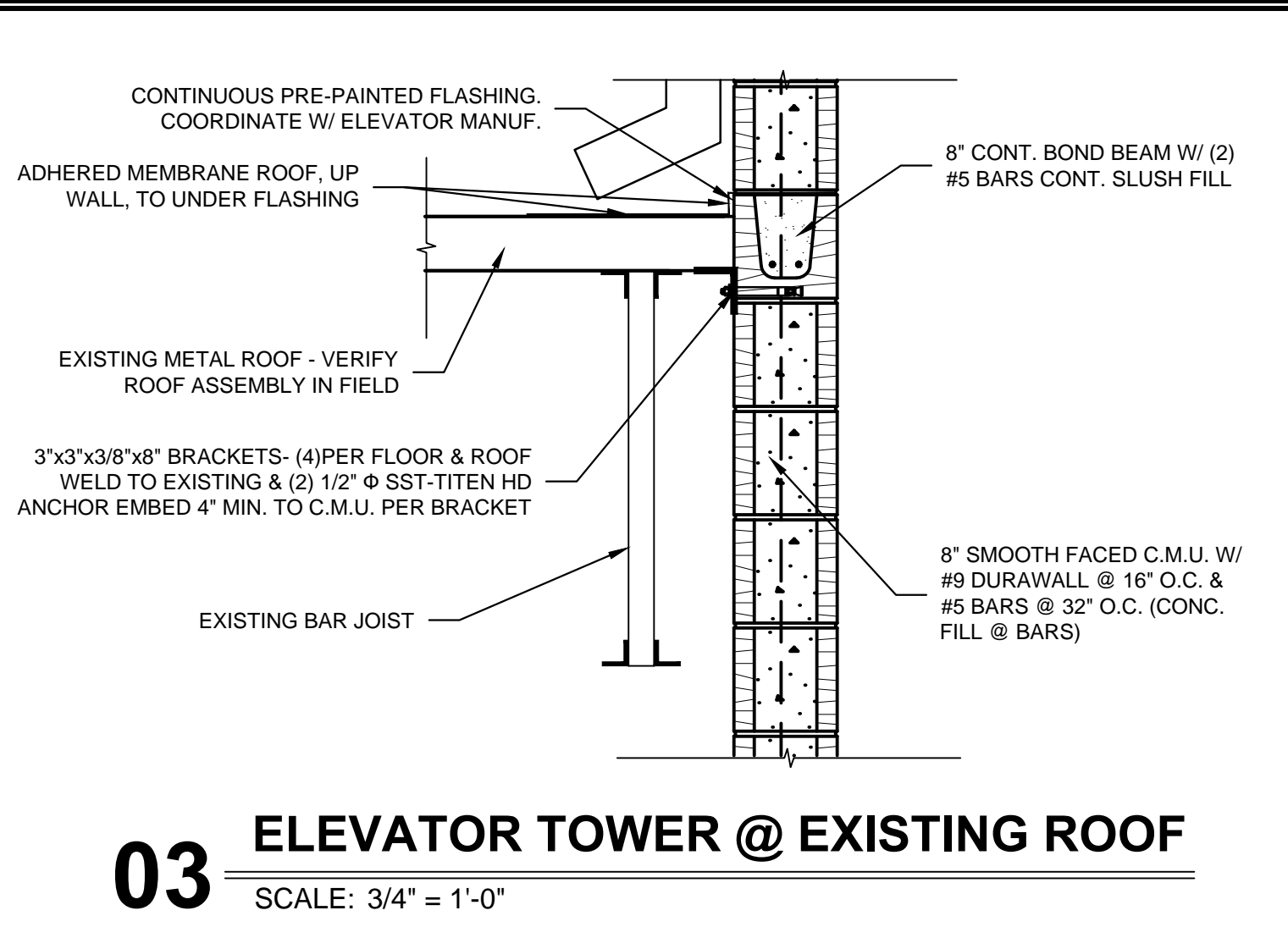
RENOVATIONS TO  
**LEXINGTON PEDDLERS MALL**  
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LEXINGTON, KY 40505



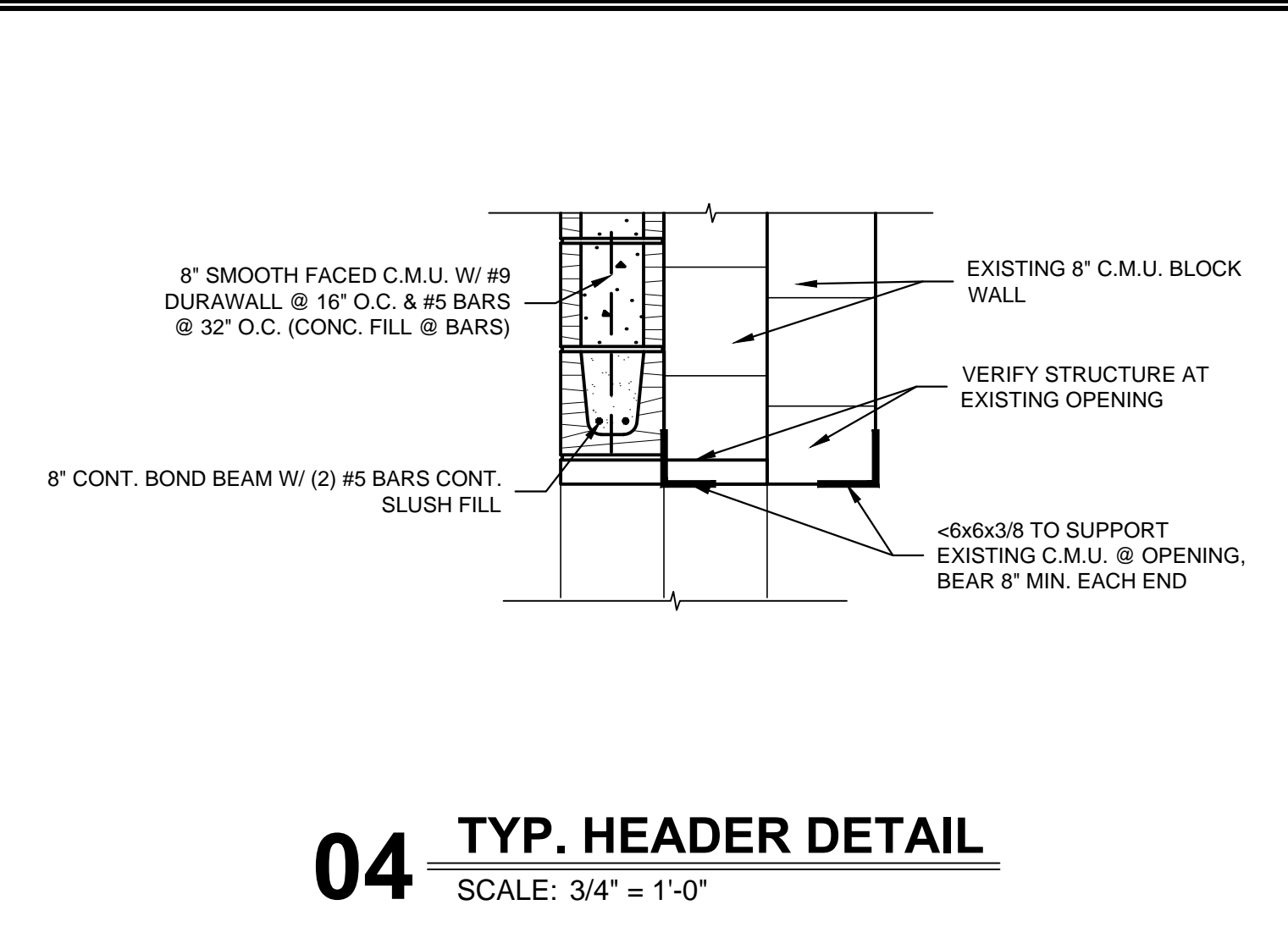
**01** LOW SIDE - HOISTWAY ROOF DETAIL  
SCALE: 3/4" = 1'-0"



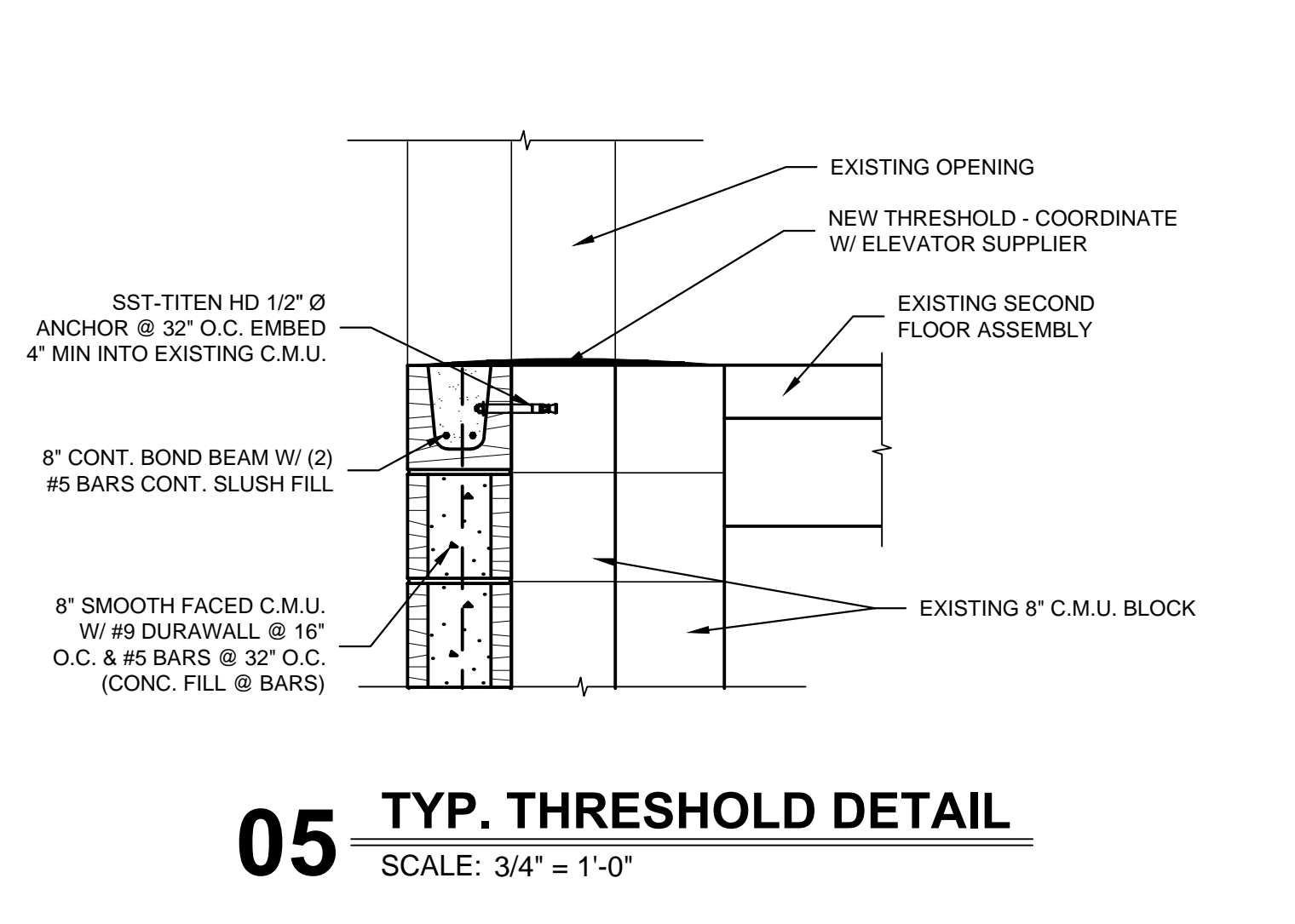
**02** HIGH SIDE - HOISTWAY ROOF DETAIL  
SCALE: 3/4" = 1'-0"



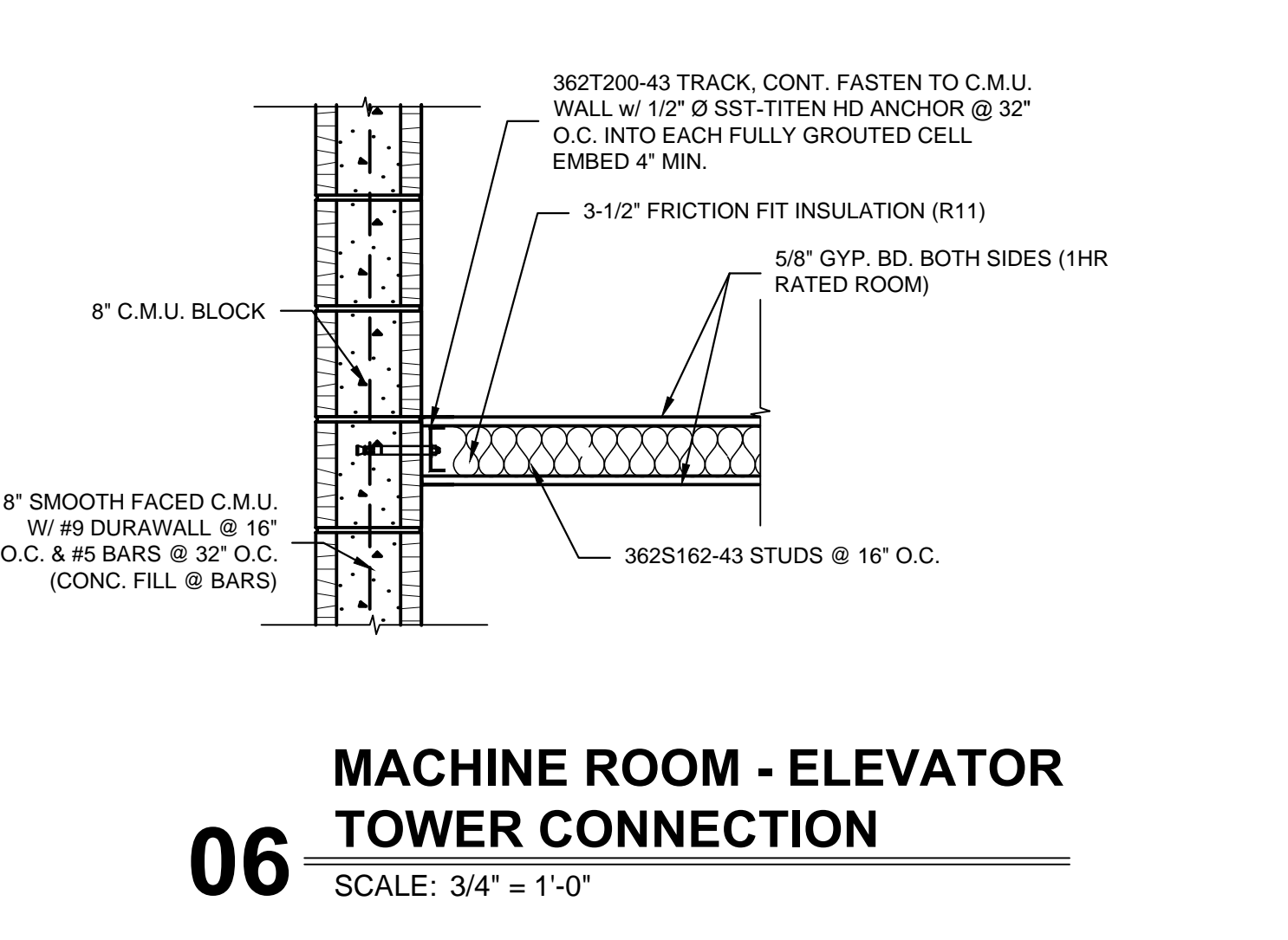
**03** ELEVATOR TOWER @ EXISTING ROOF  
SCALE: 3/4" = 1'-0"



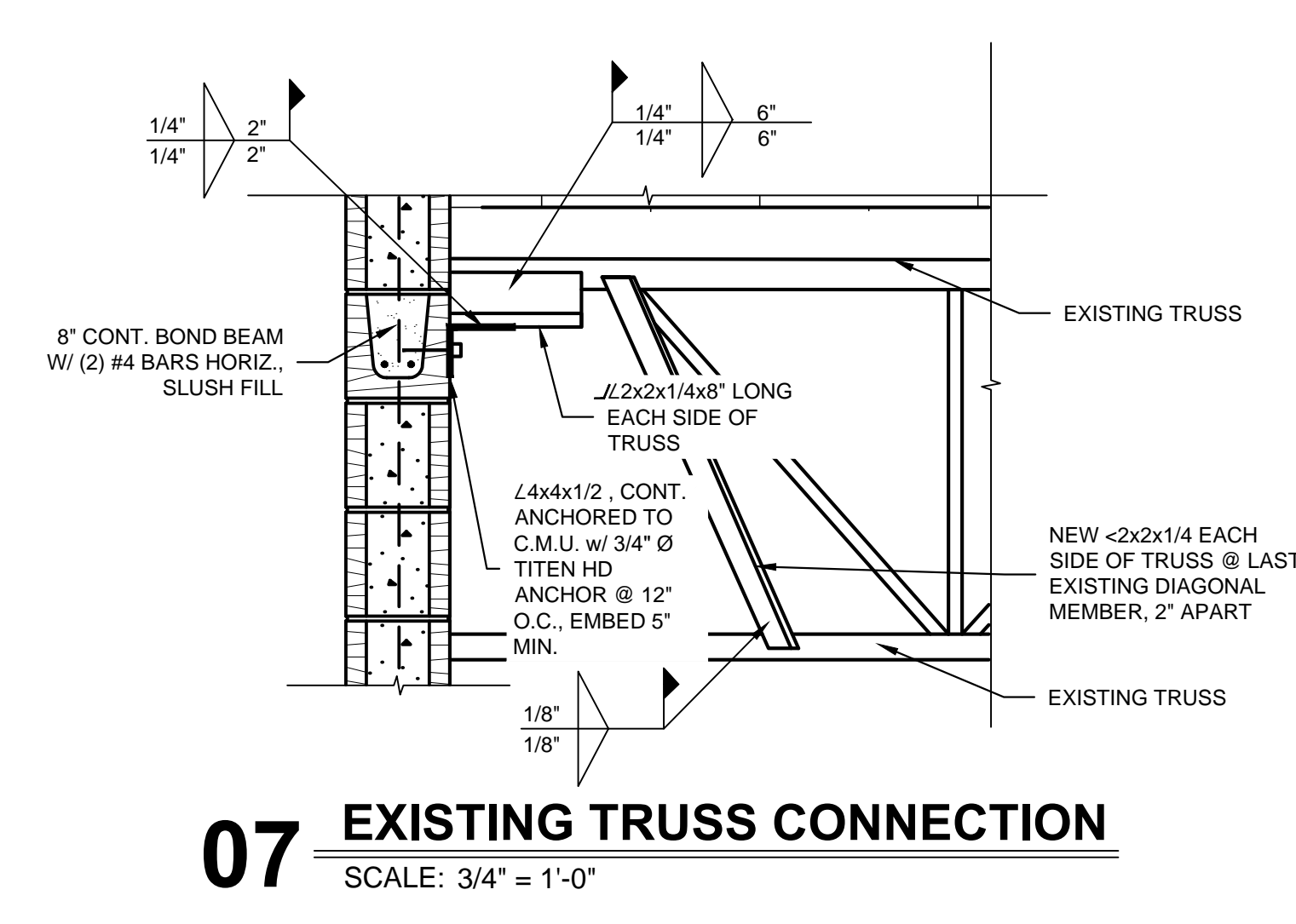
**04** TYP. HEADER DETAIL  
SCALE: 3/4" = 1'-0"



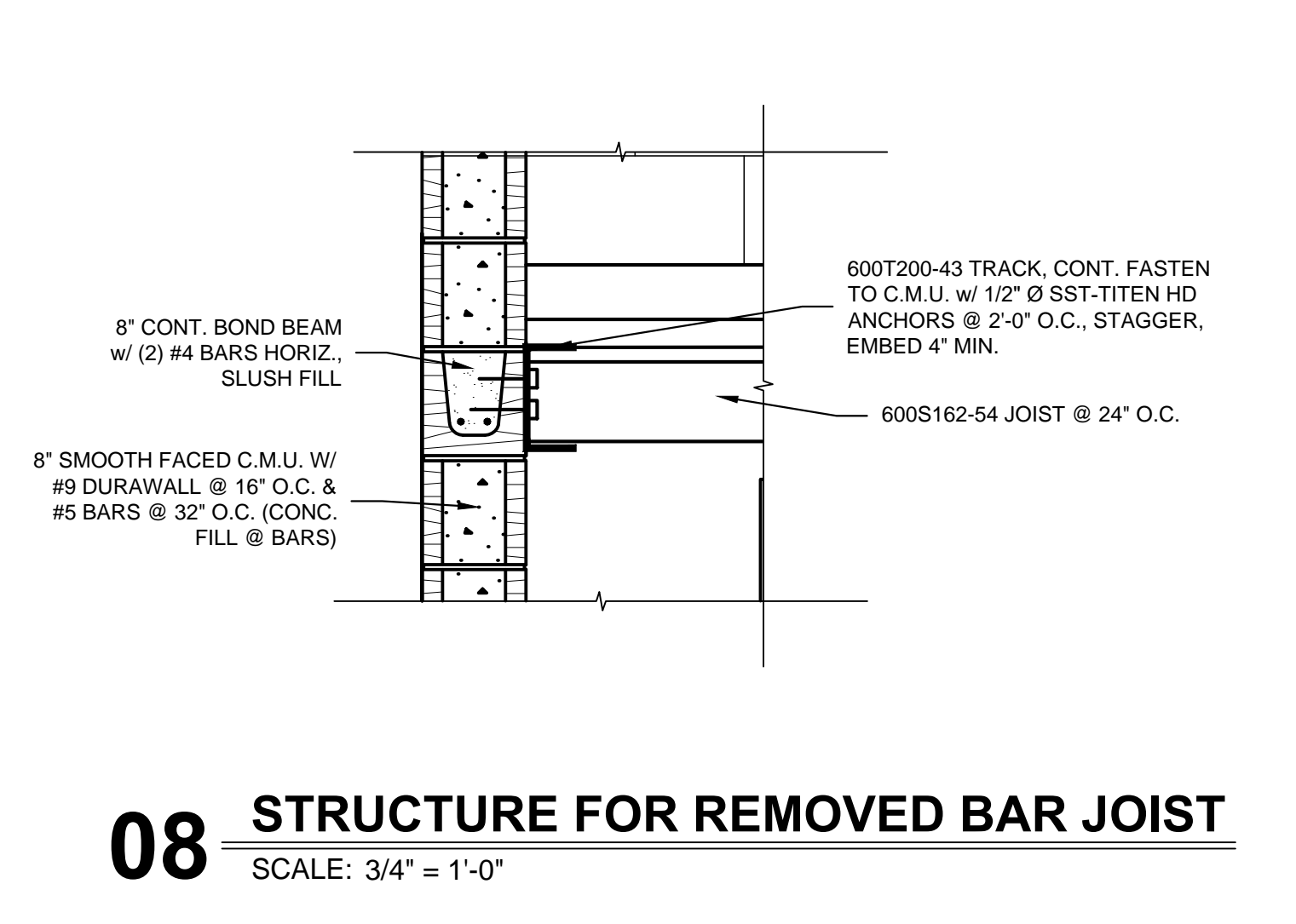
**05** TYP. THRESHOLD DETAIL  
SCALE: 3/4" = 1'-0"



**06** MACHINE ROOM - ELEVATOR TOWER CONNECTION  
SCALE: 3/4" = 1'-0"



**07** EXISTING TRUSS CONNECTION  
SCALE: 3/4" = 1'-0"



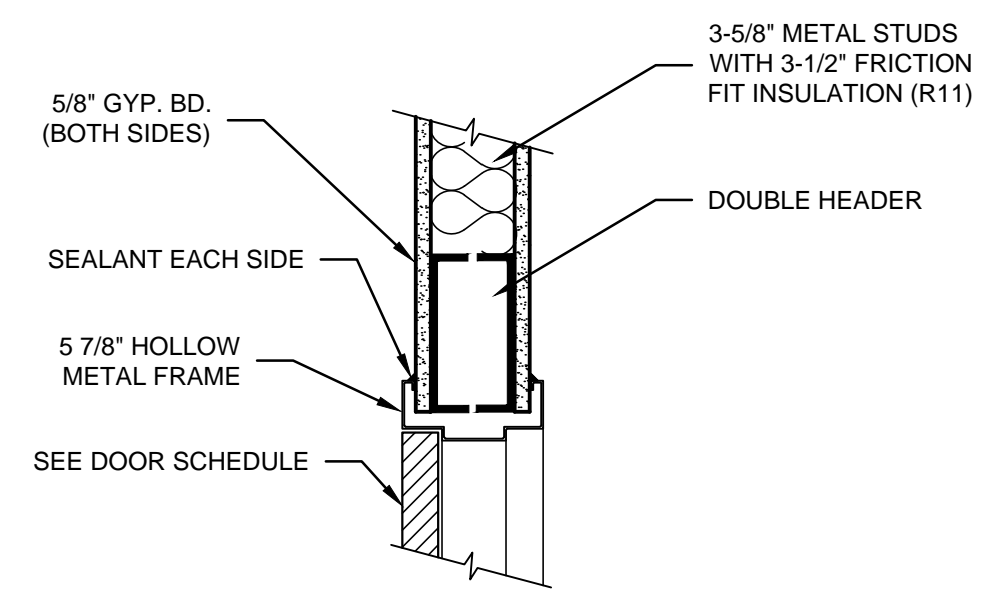
**08** STRUCTURE FOR REMOVED BAR JOIST  
SCALE: 3/4" = 1'-0"

PROJECT: LEXINGTON PEDDLERS MALL - FILE: A6.01 Details.dwg - DATE: Jan 18, 2023 12:43PM - BY: BRIDGETTE FERGUSON

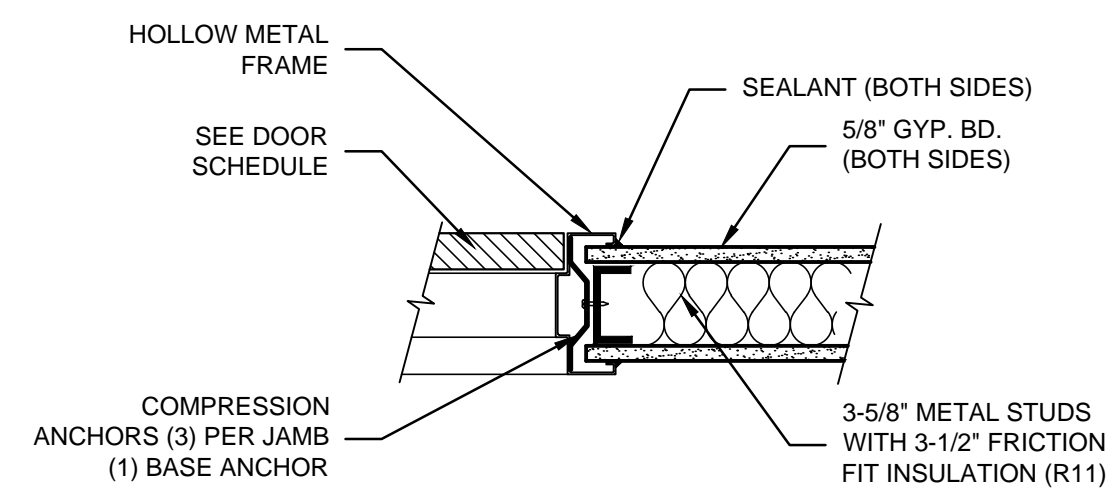
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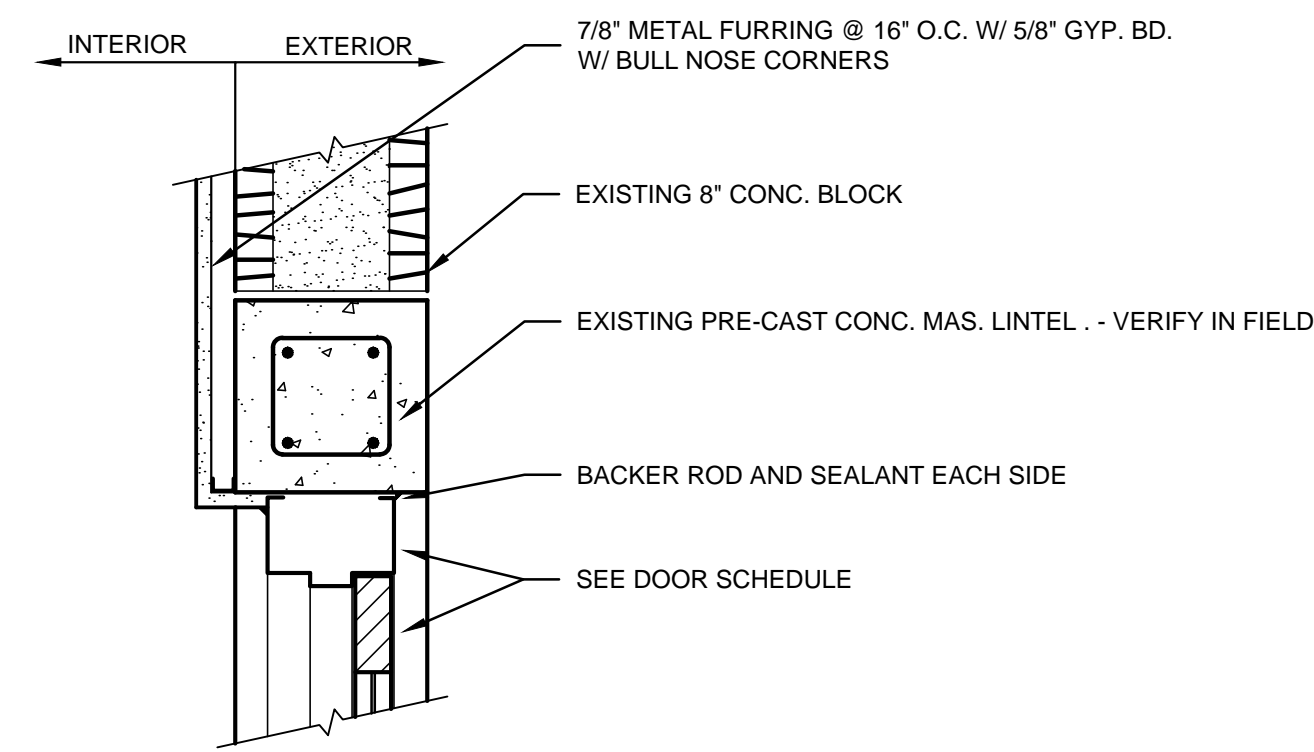
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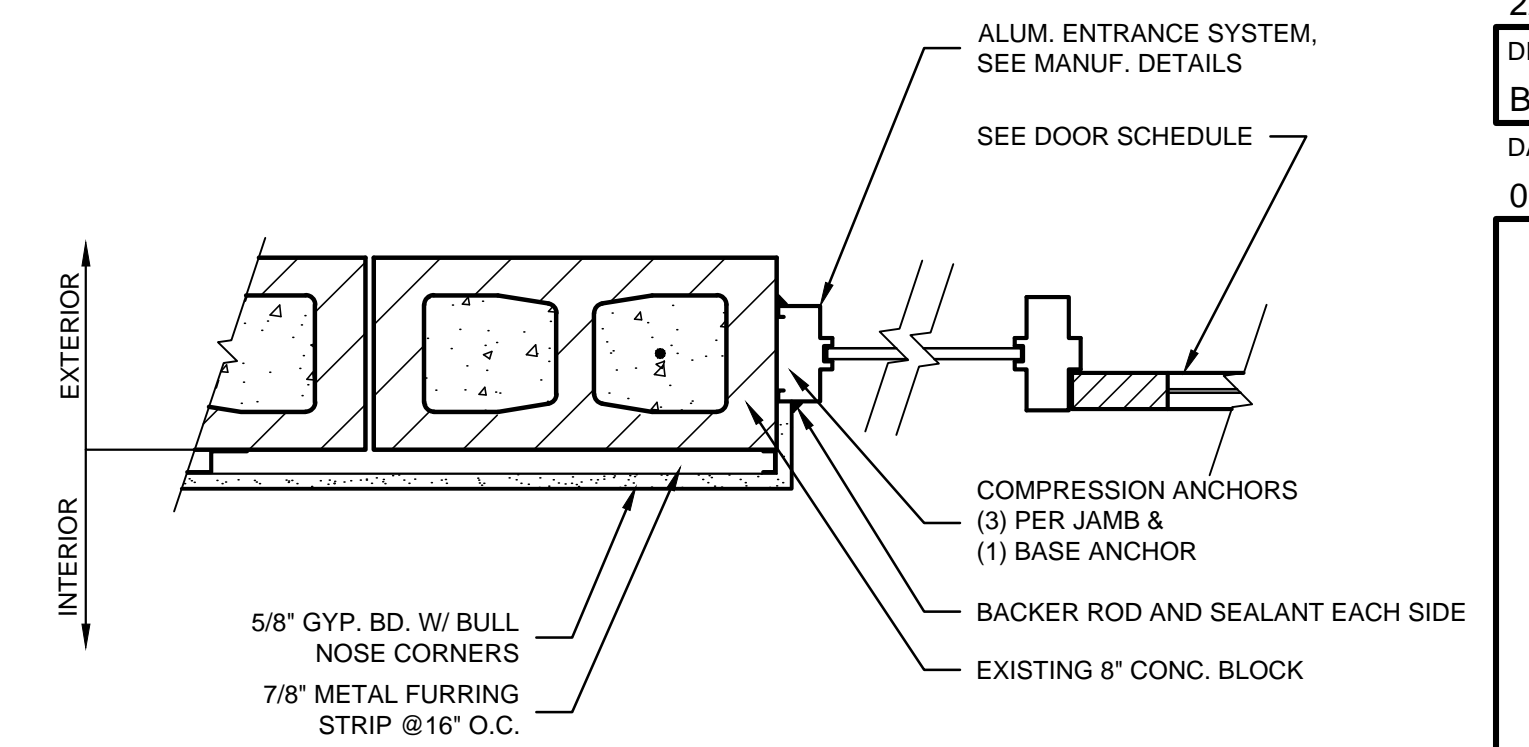
**01 TYPICAL INTERIOR DOOR HEAD**  
SCALE: 1-1/2" = 1'-0"



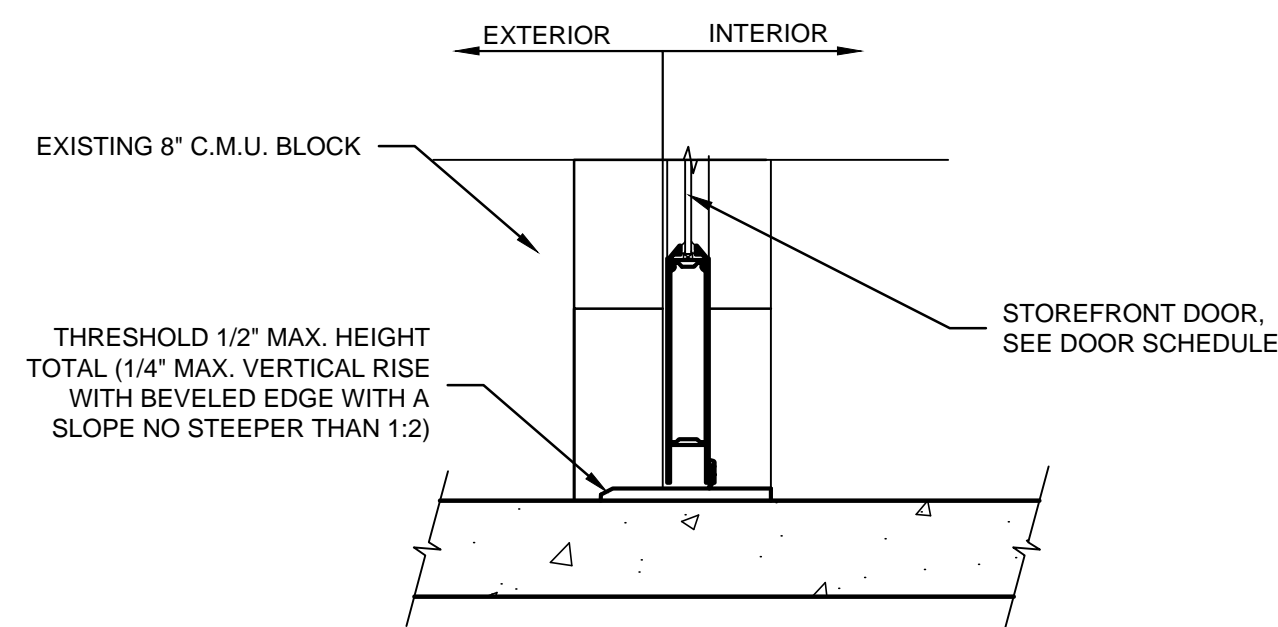
**02 TYPICAL INTERIOR DOOR JAMB**  
SCALE: 1-1/2" = 1'-0"



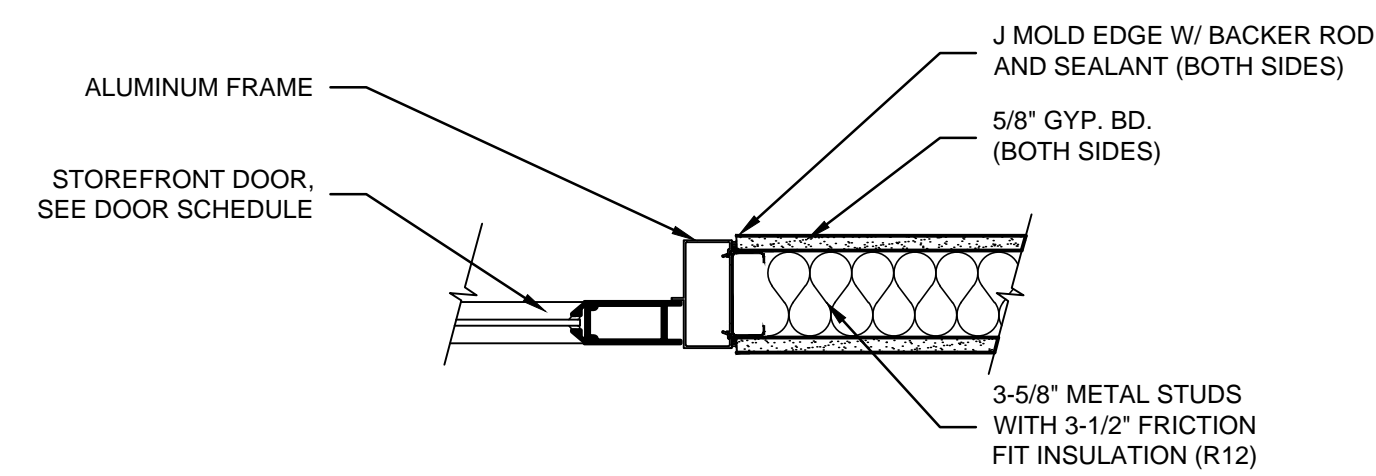
**03 ALUMINUM DOOR HEAD**  
SCALE: 1 1/2" = 1'-0"



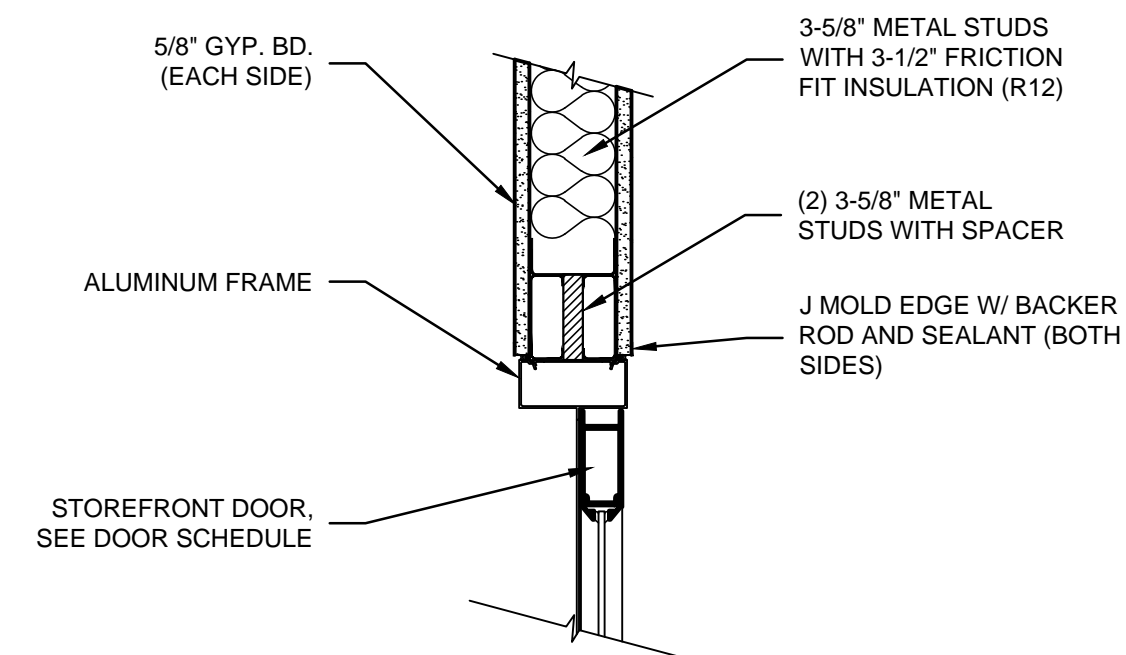
**04 ALUMINUM DOOR JAMB**  
SCALE: 1 1/2" = 1'-0"



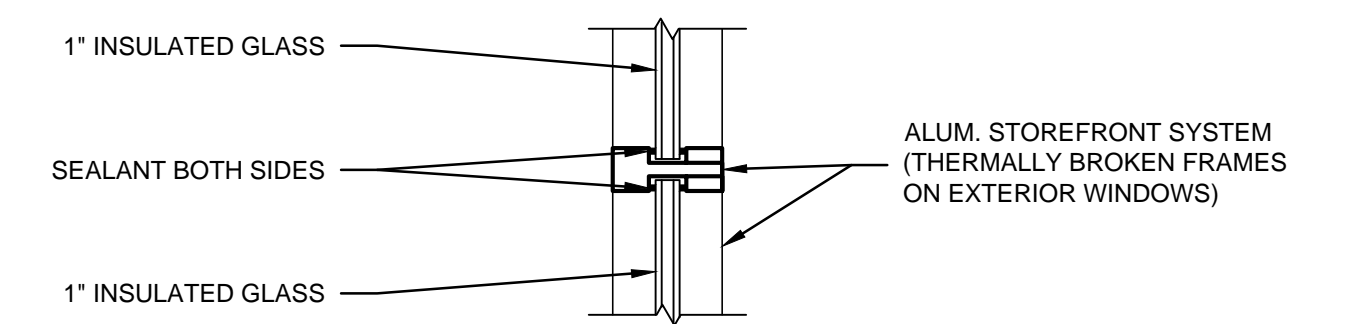
**05 DOOR THRESHOLD**  
SCALE: 1-1/2" = 1'-0"



**06 STOREFRONT DOOR JAMB**  
SCALE: 1-1/2" = 1'-0"



**07 STOREFRONT DOOR HEAD**  
SCALE: 1-1/2" = 1'-0"



**08 VERT. / HORIZ. MULLIONS**  
SCALE: 1-1/2" = 1'-0"



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DOOR AND WINDOW DETAILS

**A6.02**



LEXINGTON PEDDLERS' MALL RENOVATIONS

Project #: 22-4407

GENERAL NOTES AND SPECIFICATIONS

01000 GENERAL

- A. These drawings and specifications are for general guidance...
B. All contractors are to guarantee their work for a minimum of one year...
C. Contractor to verify the information contained in these plans...
D. The Contractor shall carefully study and compare these contract documents...
E. Keyes Architects & Associates has a set number of drawing sets...
F. Before bidding, General Contractor and all Subcontractors are responsible...
G. Where drawings do not specifically show how work is to be executed...
H. Where plans and specifications conflict, specifications shall supersede plans...
I. Contractors are not to scale the plans for missing or unclear information...
J. Contractor's bids are to be complete and to include all material, labor, and facilities...
K. All Subcontractor questions concerning bidding, the drawings, or site visits...
L. All Subcontractors shall obtain any specific permits and code review...
M. The Owners may have other contractors, workers and suppliers engaged...
N. Payment of Monthly Draws for work completed to date is based upon receipt...
O. Final Payment of all portions of this project is based upon receipt...
P. For all sections in these documents where multiple colors, finishes, and/or material choices occur...
Q. Value engineered items and/or approved equals are to be submitted as part of the bid package...
01200 IMPORTANT FACILITY/SITE SAFETY NOTES
A. This facility will remain open during construction. It will be the responsibility of the General Contractor and their Subs to secure the site and protect the public from harm.
B. The owner agrees that any section of their site/building that is sectioned off in this fashion will be under the control of the General Contractor and their Subs.
C. Contractor to include site control fencing around the proposed scope of work, including but not limited to areas to be excavated, demoed, or contain construction equipment.
01500 DEMOLITIONS
D. General contractor shall be responsible for all demolition work unless otherwise noted.
E. Verify structural integrity before & during construction. Provide temporary support as required.
F. Contractors shall provide for dust/debris control, cleanup and protection of other personnel and visitors as needed.
G. The site is to be left "broom" clean and secure from intruders at the end of each day.
H. Contractor to properly remove and properly dispose of all debris and demolished items except items specifically listed to be delivered to owner.

- I. All items or utilities "capped" after demolition shall be in a neat manner, paint to match adjoining or conceal behind finished area.
J. Remove and properly dispose of all unused (or no longer used) brackets, supports, misc. items, and equipment from the project areas.
03000 CONCRETE
A. Concrete to be dimensions shown on drawings and reinforced as detailed.
B. Concrete shall develop a minimum compressive strength of 4000 psi at 28 days.
C. Concrete to make (3) concrete cylinder samples for every 150 cubic yards (or fraction thereof) of concrete placed per day.
D. Concrete Curing and Sealing Compounds are to be surface applied solvent which cures, seals, hardens, and dustproofs.
E. Materials and construction methods shall conform to the latest requirements of ACI 318-83.
F. All exposed 90-degree edges of vertical and horizontal corners of concrete shall have tooled edges, unless indicated otherwise.
G. Reinforcing steel shall be A615-83 Grade 60. Contractor may use Fibermesh equivalent reinforcing in 4" slabs on grade, but elevated slabs must have wire reinforcing as shown.
H. Welding of or to reinforcing bars without prior approval of engineer is prohibited except where specified on the drawings.
I. All reinforcing bars are to be supported in the form and spaced with wire bars supports meeting the requirements of the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition).
J. All detailing, fabrication, and erection of reinforcing bars, unless otherwise noted, must follow the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition).
K. All dimensions and grades shall be verified in the field (V.I.F.) by the contractor and any discrepancies or interferences shall be reported to the Architect before proceeding with affected work.
L. Where shown, all junctions of walls, piers, and floors to have 1/2" wide expansion joints, filled with elastic expansion joint material.
M. Exposed piers and foundation walls to have rubbed finish. Any honeycombing that occurs that is less than 4" in diameter is to be filled and finished with a non-expanding grout.
N. Concrete Contractor to place all exterior equipment pads unless otherwise directed during bidding.
04000 MASONRY
A. Mortar to be type "M or S" complying with ASTM C-90-97. If Concrete block or veneer contains an integral water repellent, then the mortar is to receive a water repellent additive as approved by the block / veneer manufacturer.
B. Provide 3/8" thick mortar joints between units with full mortar coverage on the vertical and horizontal face shells only, except for this first bed course shall be laid in a full mortar bed.
C. Concrete brick to be smooth faced light weight 4" high by 16" wide concrete masonry units (C.M.U.) in 8" thicknesses. Units are to be made with a fine particulate mix what includes integral water repellent, and integral, through body coloring. Product to be Quik-Brik, MaxBric by Lee Brick & Block, or approved equal.
D. Provide manufactured smooth face corner block, toothed in at front corners as required.
E. All concrete masonry units to have galvanized #9 wire reinforcing, Hohmann & Barnard's Lox All Truss-Mesh, at every second course and every course below floor line.
F. All self-supporting and load bearing concrete masonry walls to have vertical reinforced cells at 5'-0" on center and 16" from each end. Vertical reinforcing to be (1) continuous #5 bar centered in cell. Cell to be slush full.
G. Unless otherwise noted on these plans, all self-supporting or load bearing concrete masonry walls are to have a 8" high bond beam at the top coarse and all walls over 15' tall are to have an intermediate 8" high bond beam at 10'-0" on center. Bond beam to have (2) #5 bars continuous and slush full.
H. Unless otherwise noted on these plans, all concrete masonry opening heads are to receive a precast concrete masonry lintel with minimum (4) #5 bars and #3 stirrups @ 12" on center. Lintel to be sized so to have a minimum 8" bearing each end.
I. Brick materials allowance to be \$650.00 per 1000, delivered. Color and style to be selected by owner.
J. Masonry subcontractor to be responsible for watertightness of his work.
K. Workmanship, including joint reinforcement and cold weather installation shall comply with National Masonry Associations applicable recommendations.
L. Masonry contractor to brush clean final surfaces and prepare exterior faces for paint or sealer as called out.
M. Provide control joints as indicated on elevations, with backer rod and paintable elastomeric caulk.
05210 STEEL JOISTS
A. Furnish and install fabricated joists in compliance with the Steel Joist Institute (SJI) Standard Specifications.
B. Submit shop drawings and details, manufacturer's specifications, and installation instructions for each type of joist and accessories.
C. Use horizontal bridging in accordance with standard specifications, attached by welding. To be installed before any construction loads are applied. Anchor ends of bridging lines at top and bottom chords were terminating at walls.
NOTE: Contractors must use special care when backfilling joists, deck, and floor in place.
05400 \_ LIGHT GAUGE METAL FRAMING
A. The work included under this Section consists of providing all materials, equipment and labor required to

- install walls.
B. All work shall be carefully and properly executed in such manner as to insure the greatest stability and support. Enough fasteners and hangers shall be used to insure the rigidity of all parts of the work.
C. Quality assurance product numbers specified are based off U.S. Gypsum products to establish basis of design. Acceptable manufacturers are to U.S. Gypsum, Inryco/Milcor, and Dale Industries.
D. General Supplier to design and fabricate system to support the weight as shown on the plans. All structural members shall be designed in accordance with American Iron and Steel Institute (AISI) "Specification for the Design of Cold Formed Steel Structural Members" latest edition.
E. All studs and/or joists shall be formed from corrosion resistant steel, corresponding to the requirements of ASTM A446, and ASTM C645 with a min. yield of 40ksi for members, 33ksi for runners.
F. All framing components shall be cut squarely for attachment to perpendicular members or as required for an angular fit against abutting members.
G. Fastening of components shall be by means of self-drilling screws or welding. Screws or welds shall be of sufficient size to insure the strength of the connection. Wire tying of components shall not be permitted. All welds shall be touched up with a zinc rich paint.
H. Clean Up, remove all scrap and debris generated by this work from the project site.
I. Install all materials per manufacturer's installation instructions and details.
J. At gypsum board ceilings, position, and level joists for proper ceiling heights.
K. Provide clearance as required between joists and abutting walls or partitions.
L. Install joists at as shown.
M. Add additional channels or supports to insure stability at ceiling openings for lighting, grilles, etc. Coordinate additional required framing for all surfaces mounted and recessed items such as lighting fixtures. Verify all drawing sheets for additional supports.
08000 DOORS AND WINDOWS
A. Doors, frames, windows and glazing to be as shown on drawings. Finish hardware to comply with building code.
B. All door and window glazing to conform to section 08800 Glazing.
C. Egress doors shall be able to be opened from inside without a key or special knowledge.
D. All exterior outward swinging hinged doors are to have Non-Removable Pin (NRP) hinges, unless otherwise specified on the drawings.
E. Hollow metal frames shall be standard profile, 16ga. shop primed. Three (3) anchors each side, one (1) at head. Use wrap around frames at Gypsum board partitions.
F. Hollow metal doors shall be flush, 18 GA., 1 3/4" thick, exterior doors to be insulated with rigid bd. insulation. Head of doors to be solid and flush. Doors to be shop primed.
G. Finish hardware shall be medium grade commercial products by Stanley, Schlage, Von Duprin, Yale or an approved equal. Finish to be selected by owner. U.L. rated and Handicapped accessible hardware as required. See door schedule.
08410 ALUMINUM STOREFRONT SYSTEM
A. Exterior frames are to be thermally broken aluminum frames.
B. Frames to be black, bronze, white or clear anodized (as selected by owner).
C. Aluminum storefront system to be "Kawneer 451T" or approved equal.
D. Glazing contractor shall be responsible to securely anchor units to framing or masonry as needed to transfer loads to the building.
E. All glazing to conform to section 08800 Glazing.
08800 GLAZING
A. Unless specified herein, all glazing is per door and window schedules located on the construction documents.
B. All glazing to comply with safety glazing laws. Installer to verify requirements before ordering and installing all glazing.
C. All insulated glazing units, Low-E finishing and glaze tinting are to carry a minimum of a 10-year warranty from date of acceptance of project.
D. Where glazing is specified to be Low-E and Tinted, glazing is to be tempered as per glazing types below.
E. All glazing to follow Standard Specifications for ASTM C 1036, ASTM C 1048, and ASTM E 774.
F. Glazing to be by PPG, LOF, Guardian Industries, Ford Glass, Hordis Brothers Inc., or equal. Provide all tinted and Low-E glass from the same manufacturer for the entire project.
G. Glazing:
1. Exterior glazing to be 1", double layer insulated glazing.
2. Interior glazing to be 1/4", single layer.
J. Tint Finish Types - Glare reducing float glass to be PPG "Solargray", gray color, PPG "Solarbronze", bronze color, or equal.
K. Configuration to be per Window Schedule located in the Construction Documents.
L. Glazing materials and accessories shall be fully compatible with the materials and finishes with which they are in contact. Neoprene and EPDM materials shall not come in contact with silicone sealant materials. Silicone rubber spacers, setting and edge blocks and gaskets shall be either Type I (designed to prevent adhesion) or Type II (designed for adhesion) as per glazing system manufacturer's recommendations for each condition of use.
09000 FINISHES
A. All finishes shall be as called for and specified on drawings.
B. Inspection of finished surfaces for blemishes and defect at the end of the project shall follow the generally accepted standard - PDCA (P1-09) Industry Standards for reviewing finished surfaces. "Viewing and inspection of finished surfaces shall be at thirty-nine (39) inches from the surface under finished lighting or natural lighting without the use of any optic magnifications or enhanced lighting. Any blemishes or defects detected at this range shall be removed or repaired and patched to match the surrounding."
C. Gypsum Board:
8. All gypsum board to be 5/8" thick and installed per U.S. Gypsum association standards and best industry practices.
9. Use mold / moisture-resistant gypsum board ("Green" Board or equal) in all toilet rooms and within 4'-0" of all plumbing fixtures such as sinks, drinking fountains, washing machines or any other equipment not listed here in.

- 10. Furnish and install metal or plastic corner bead at all outside corners and "J" mold at all exposed edges.
11. Control Joints: All walls are to follow the latest ASTM C840-08 and GA-216 as it pertains to control joint placement. Unless shown on the plans differently, all walls and ceilings greater than (30) linear feet in any direction are to have a control joint every 30'-0" O.C. All control joints are to receive a metal or plastic control joint strip, installed per manufacturer's recommendations.
D. Vinyl base to be 4" high, 1/8" thick by Tarkett, Roppe, or approved equal. Use coved at vinyl floor tile and coveless at carpet. Stairs shall receive Vinyl treads and backs, treads shall have replaceable slip resistant strip at nosing. Colors as selected by Owner from standard architectural line. Installed per manufacturer's instructions.
E. Floor transitions shall be vinyl as recommended for the specific material transitions. Material shall be by Tarkett, Roppe or approved equal selected from full architectural color lines.
F. Coating Schedule:
1. Surfaces not to be painted are floor coverings, items with factory applied final finish, concealed ducts, pipes and conduit, acoustical ceiling tiles, items with pre-finished surfaces, aluminum windows and door frames, and all items called not to be painted on plans.
2. Surfaces to be painted:
Note: consult with Owner for final colors and finishes.
a) Interior Drywall Ceilings:
1st coat: Latex Wall Primer
2nd coat: Alkyd Flat Ceiling Paint
09511 ACOUSTICAL CEILING TILES
A. Ceiling grids to be standard 2'x4' by Donn, Armstrong, or approved equal.
B. Ceiling tiles to be 2'x4' vinyl faced square edge, standard fissured square edge, or standard fissured tegular panels by Armstrong, U.S.G., or approved equal.
C. Wet areas such as kitchens, restrooms, and washrooms are to receive a smooth texture 2'x4' washable, scratch resistant, and anti-microbial acoustical tile. Tile to be Kitchen Zone - 672 by Armstrong or approved equal.
D. Grid and panels are to be white unless otherwise noted on the finish schedule.
10000 SPECIALTIES
A. Fire extinguisher and cabinets to be by owner as required by code and by the fire inspector.
B. Toilet accessories: The following list of new items shall be furnished and installed:
(2) Fixed standard mirror(s) 24"x36" - Bobrick B-165 B 2436
(2) 18" vertical grab bar(s) - Bobrick B-6806x18
(2) 36" horizontal grab bar(s) - Bobrick B-6806x36
(2) 42" horizontal grab bar(s) - Bobrick B-6806x42
(3) Toilet paper holder(s) - Bobrick B-2888
(2) Paper towel dispenser(s) - Bobrick B-262
(2) Wall mounted soap dispenser(s) - Bobrick B-5050
10650 PLASTIC LAMINATE TOILET PARTITIONS
A. All plastic laminate partitions to be equal to Bobrick Floor Mounted #1042 Series or approved equal. Provide handicapped systems as required.
B. Partitions to be as shown on plans. Colors to be selected from Wilson Art or approved equal standard line by owner.
C. All Hardware and fittings to be standard Type 304 stainless steel hinges, keeper, lift-free latch, and coat hook (shall be supplied with partitions).
D. Perform final adjustments to leveling devices and hardware. Clean exposed surfaces and partitions, hardware, fittings, and accessories.
11000 EQUIPMENT
A. General contractor to install all equipment so listed on drawings, verify and coordinate requirements with suppliers during bidding.
B. Owner to supply and install all equipment not required or listed herein. See equipment schedules.
SPECIAL NOTE:
A. Final detailed layout of Steel Structures, Plumbing, Mechanical, Fire Suppression and Electrical systems are by separate Engineers or installers, it is the responsibility of the owner and General Contractor to coordinate all work with affected other trades to assure completeness and code compliance.
B. It is the responsibility of the General Contractor and the Mechanical, Electrical, and Plumbing Contractors to ensure that all parts of their work is to be accessible as per Federal ADAAG Guidelines and all State / Local Guidelines. This includes but is not limited to Electrical Controls such as Thermostats or Lighting Controls, Light Switches, Outlet Plugs, Hand Dryers, and Faucet Controls. If there are concerns about how to determine reach ranges, equipment clearance or other accessibility items, contact the architect immediately before work begins for guidance.
END OF SPECIFICATIONS
ABBREVIATIONS
These are abbreviations used on the plans and in these specifications. Not all items may be use and are for reference only.
ACT - Acoustical Ceiling Tile
AFF - Above Finished Floor
CJ - Control Joint
E.I.F.S. - Exterior Insulation and Finish System
FRP - Fiberglass Reinforced Panels
Gyp. Bd. - Gypsum Board
I.B.C. - International Building Code
MAX - Maximum
MIN - Minimum
NRP - Non-Removable Pin
O.C. - On Center
V.I.F. - Verify In Field

PROJECT NO: 22-4407
DRAWN BY: BF/
DATE: 01/05/2023
KEYES ARCHITECTS & ASSOCIATES
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RENOVATIONS TO LEXINGTON PEDDLERS MALL
1205 E. NEW CIRCLE ROAD
LEXINGTON, KY 40505
SPECIFICATIONS
SP1.01

PROJECT: LEXINGTON PEDDLERS MALL - FILE: SP1.08 Specifications.dwg - DATE: Jan 18, 2023 12:43PM - BY: BRIDGETTE FERGUSON