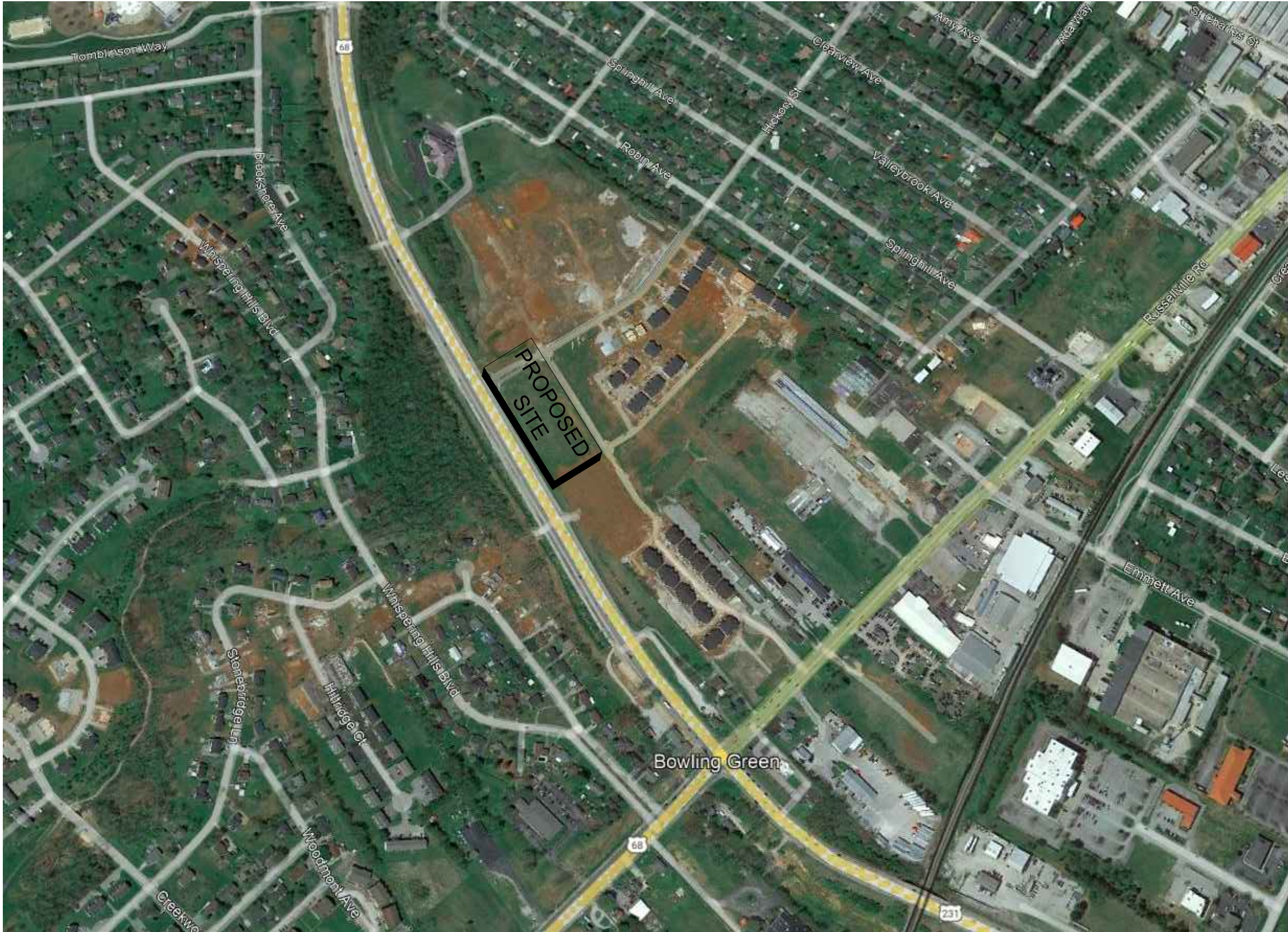




CONSTRUCTION PLANS FOR:
FiveStar #1930
NEW BUILDING CONSTRUCTION
VETERANS MEMORIAL AT TERRACE WAY
BOWLING GREEN, KY

CERTIFICATE OF OWNERSHIP
I (WE) DO HEREBY CERTIFY THAT I AM (WE ARE) THE ONLY OWNER(S) OF THE
PROPERTY SHOWN HEREON, AND DO ADOPT THIS AS MY (OUR) FINAL
DEVELOPMENT PLAN FOR THE PROPERTY.

DATE _____

OWNER _____

OWNER _____



CIVIL ENGINEER:
KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1131

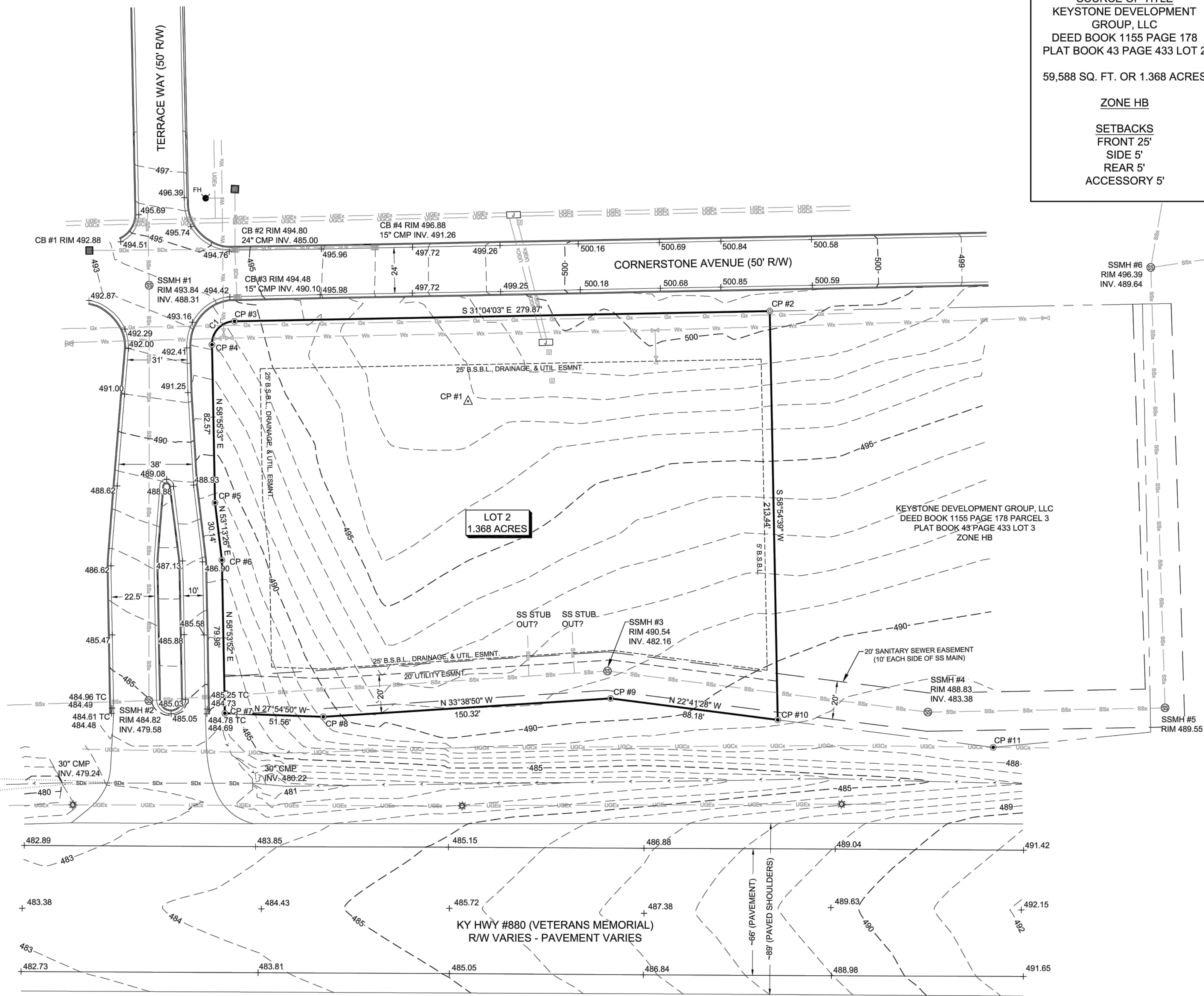
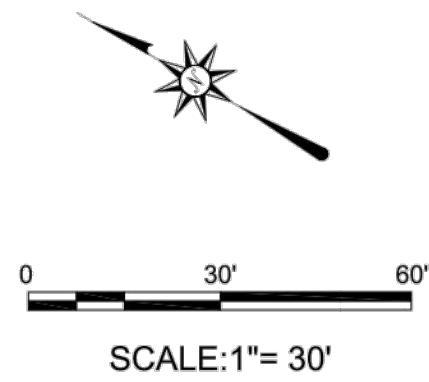


VICINITY MAP BOWLING GREEN, KY

INDEX:

C1.0	EXISTING CONDITIONS
C2.0	PROPOSED SITE PLAN
C2.1	EROSION CONTROL PLAN
C2.2	PROPOSED GRADING PLAN
C2.3	ENLARGED GRADING PLAN
C2.4	PROPOSED LANDSCAPING PLAN
C3.0	DETAILS
C3.1	DETAILS

TOPOGRAPHIC SURVEY
FIVESTAR



CONTACTS

WATER, SEWER, & ELECTRIC
BOWLING GREEN MUNICIPAL UTILITIES
801 CENTER STREET
BOWLING GREEN, KY 42102

HEALTH DEPARTMENT
BARREN RIVER DISTRICT HEALTH DEPT.
1109 STATE STREET
BOWLING GREEN, KY 42101

BUILDING DEPARTMENT
707 E. MAIN AVENUE
P.O. BOX 430
BOWLING GREEN, KY 42101

FIRE DEPARTMENT
625 EAST 6TH AVENUE
BOWLING GREEN, KY 42101

COMMUNICATIONS
AT&T
1061 LOVERS LANE
BOWLING GREEN, KY 42101

GAS
ATMOS ENERGY
2850 RUSSELLVILLE RD
BOWLING GREEN, KY 42101

FLOOD PLAIN INFO

THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A FEMA SPECIAL FLOOD HAZARD AREA ACCORDING TO FIRM #21227C0301E WITH A REVISION DATE OF 5/2/2007

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	11.98'	18.83'	16.95'	S 76°02'39" E	90°03'37"

GENERAL NOTES

- SOME OF THE UTILITIES SHOWN ARE NOT CURRENTLY INSTALLED AND THEIR LOCATION IS BASED UPON PROPOSED DEVELOPMENT PLANS
- UNLESS NOTED OTHERWISE, SPOT ELEVATIONS ARE AT FINISHED TOP OF GUTTER AT THE EDGE OF PAVEMENT. AS OF THE FINAL SURVEY DATE, TERRACE WAY AND CORNERSTONE AVENUE ARE PAVED TO ASPHALT BINDER LAYER AND ARE BELOW TOP OF GUTTER ELEVATIONS

SURVEY CONTROL

Point#	Northing	Easting	Elevation	Description
1	1874084.045	1426238.972	497.84	CP NAIL
2	1873970.935	1426358.579	500.25	PK NAIL IN ROCK 3569
3	1874210.659	1426214.154	494.46	CP IPF 3569
4	1874214.746	1426197.708	493.03	CP IPF 3569
5	1874172.129	1426126.989	488.63	CP IPF 3569
6	1874154.082	1426102.844	487.33	CP IPF 3569
7	1874112.767	1426034.361	484.95	CP IPF 3569
8	1874067.209	1426058.497	489.52	CP IPF 3569
9	1873942.076	1426141.784	490.38	CP IPF 3569
10	1873860.723	1426175.800	489.63	CP IPF 3569
11	1873756.116	1426219.559	488.54	CP IPF 3569

SITE DATA

SOURCE OF TITLE
KEYSTONE DEVELOPMENT
GROUP, LLC
DEED BOOK 1155 PAGE 178
PLAT BOOK 43 PAGE 433 LOT 2

59,588 SQ. FT. OR 1.368 ACRES

ZONE HB

SETBACKS
FRONT 25'
SIDE 5'
REAR 5'
ACCESSORY 5'

SURVEYOR'S NOTES

- IN PERFORMING THIS SURVEY, NO GUARANTEE IS MADE AS TO THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLICLY OWNED.
- NO EXTENSIVE INVESTIGATION HAS BEEN PERFORMED TO SEARCH FOR RECORDS OR DOCUMENTATION OF EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A PROFESSIONAL TITLE SEARCH MAY DISCLOSE.
- ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND SEAL ARE NOT VALID. THIS PLAN REPRESENTS A BOUNDARY SURVEY AND IS IN COMPLIANCE WITH 201 KAR 18:150.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS PERFORMED UNDER MY DIRECTION BY MEANS OF RTK GPS MEASUREMENTS USING TRIMBLE R10 AND TRIMBLE R8S DUAL FREQUENCY GPS RECEIVERS WHEN ACCEPTABLE AND CONVENTIONAL MEANS (RANDOM TRAVERSE), FROM GPS CONTROL POINTS, WHEN NECESSARY. GPS MEASUREMENTS HAD A STATICAL ERROR THAT DID NOT EXCEED 0.05' +100 PPM PER DISTANCE ACCURACY AND RELATIVE POSITIONAL ACCURACY. WHERE CONVENTIONAL METHODS WERE USED, THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE WAS A MINIMUM OF 1:66,742 AND WAS NOT ADJUSTED. THE SURVEY SHOWN HEREON IS AN "URBAN" SURVEY AND THE ACCURACY AND PRECISION OF SAID SURVEY MEETS OR EXCEEDS ALL THE SPECIFICATIONS OF THE CLASSIFICATION FOR THE COMMONWEALTH OF KENTUCKY.

CHRIS R. KENNER, PLS #4120 DATE 6/18/20

REFERENCE MERIDIAN

THE BEARINGS SHOWN HEREON ARE REFERENCED TO GRID NORTH OF THE NAD83 KENTUCKY SOUTH STATE PLANE COORDINATE SYSTEM. DISTANCES SHOWN ARE GRID DISTANCES. ELEVATIONS ARE BASED UPON NAVD83 GEOID 18US. ALL MEASUREMENTS DERIVED FROM AN INITIAL GPS OBSERVATION USING A VRS NETWORK OF KY CORS STATIONS.

LEGEND

- 5/8" REBAR & CAP (FOUND) PLS #3569
- PK NAIL & STAMPED WASHER IN ROCK (FOUND) PLS #3569
- BOUNDARY LINE THIS SURVEY
- APPROXIMATE ADJOINER OR R/W LINES
- BUILDING SETBACK LINES & EASEMENTS
- EXISTING ROADWAY AS LABELED
- EXISTING FENCE (NOT THE BOUNDARY LINE)
- EXISTING WATERLINE
- EXISTING GAS LINE
- EXISTING STORM PIPE
- EXISTING SANITARY SEWER
- EXISTING PRIMARY OVERHEAD ELECTRIC
- EXISTING SECONDARY OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND COMMUNICATIONS
- CENTERLINE DITCH
- EXISTING WATERLINE VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING LIGHT POLE
- POWER POLE
- CONCRETE PAVEMENT
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR

VICINITY MAP BOWLING GREEN, KY

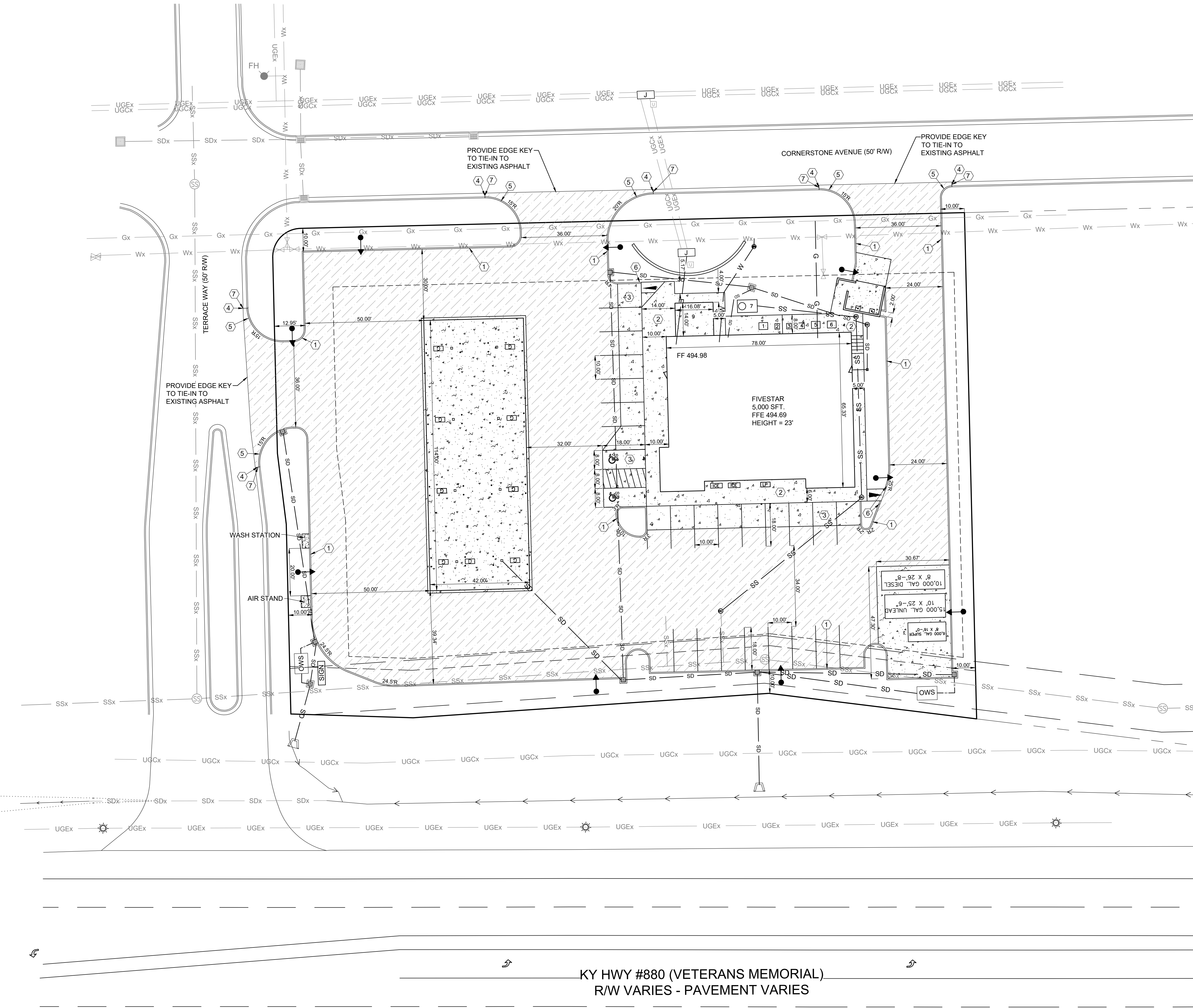


KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1167

SURVEYOR:	CLIENT ADDRESS:	DWN BY:	CKD BY:
CRK	NEWCOMB OIL 961 WITHROW COURT BARTSTOWN, KY 40004	CRK	BSR
FINAL SURVEY DATE:	PROPERTY OWNER ADDRESS:	CRD FILE:	FILE NAME:
4/16/20	KEYSTONE DEVELOPMENT GROUP, LLC	200301E	200301E
DATE:	FILE NAME:	FILE NAME:	FILE NAME:
6/18/20	13101 LOUISVILLE RD OAKLAND, KY 42159	200301E	200301E

EXISTING CONDITIONS
FIVESTAR
VETERANS MEMORIAL
BOWLING GREEN, KY 42101

SHEET
IDENTIFICATION
C1.0



GENERAL NOTES:

1. THE EXISTING UTILITIES SHOWN WERE FIELD SURVEYED FROM MARKINGS PROVIDED BY UTILITY COMPANIES AND ARE APPROXIMATE LOCATIONS. OTHER UTILITIES MAY EXIST ON THIS SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 AND LOCATING ALL UTILITIES BEFORE ANY EXCAVATION BEGINS.
2. MORE THAN 1 ACRE OF LAND SHOULD BE DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL SUBMIT AN NOI WITH THE STATE OF KENTUCKY PRIOR TO BEGINNING ANY GRADING WORK.
3. NO GRADING, STRIPPING, EXCAVATION, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNLESS AND UNTIL WARREN COUNTY HAS APPROVED THE DEVELOPER'S SOIL EROSION CONTROL PROCEDURES AND EROSION CONTROL PLAN.
4. NO BUILDING PERMITS SHALL BE ISSUED UNTIL A FINAL DEVELOPMENT PLAN IS APPROVED BY THE PLANNING COMMISSION AND ALL CONDITIONS HAVE BEEN MET.
5. ALL CURB RADII ARE 5' TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

SITE DATA

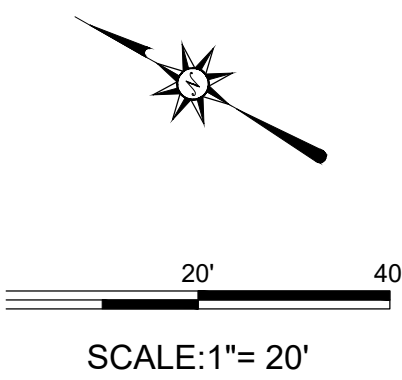
1. CURRENT ZONING FOR THE LOT: HB.
2. TOTAL LOT AREA IS 1.368 ACRES OR 59,588 SFT.
3. PROPOSED LOT COVERAGE INCLUDING THE BUILDING IS 47,551 SFT. = 79.8%
4. TOTAL DISTURBED AREA INCLUDING UTILITIES IS 59,486 SFT.
5. FRONT YARD BUILDING SETBACK IS 25'.
6. SIDE YARD BUILDING SETBACK IS 5'.
7. REAR YARD BUILDING SETBACK IS 5'.

PARKING SPACE TABLE

BUILDING SIZE	SPACES REQUIRED	SPACES PROVIDED
5,000 SFT.	25	43 INCLUDING 2 ADA SPACES.

KEYNOTES

1. 12" CURB AND GUTTER (SEE DETAIL 11 SHEET C3.0). ALL CURB RADII SHALL BE 5' TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
2. TURNDOWN SIDEWALK (SEE DETAIL 10 SHEET C3.0).
3. BLACK CONCRETE SLAB.
4. TIE-IN TO EXISTING CURB AND GUTTER.
5. TRANSITION FROM 24" CURB AND GUTTER TO STANDARD 12" CURB AND GUTTER.
6. TAPER CURB HEIGHT TO 0" OVER 3' DISTANCE.
7. SAWCUT AND REMOVE EXISTING CURB AND GUTTER.



LEGEND

	BOUNDARY LINE THIS SURVEY
	APPROXIMATE ADJOINER OR R-O-W LINES
	EXISTING SETBACK LINES OR EASEMENTS
	EXISTING ROADWAY AS LABELED
	EXISTING FENCE
	EXISTING WATERLINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING PRIMARY OVERHEAD ELECTRIC
	EXISTING POWER POLE
	EXISTING TRAFFIC SIGNAL CABLES
	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING DITCH CENTERLINE
	EXISTING STORM INLET
	PROPOSED SANITARY SEWER LINE
	PROPOSED GAS LINE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED WATERLINE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED STORM INLET
	PROPOSED LIGHT POLE
	PROPOSED CONCRETE PAVEMENT
	PROPOSED STANDARD ASPHALT PAVEMENT



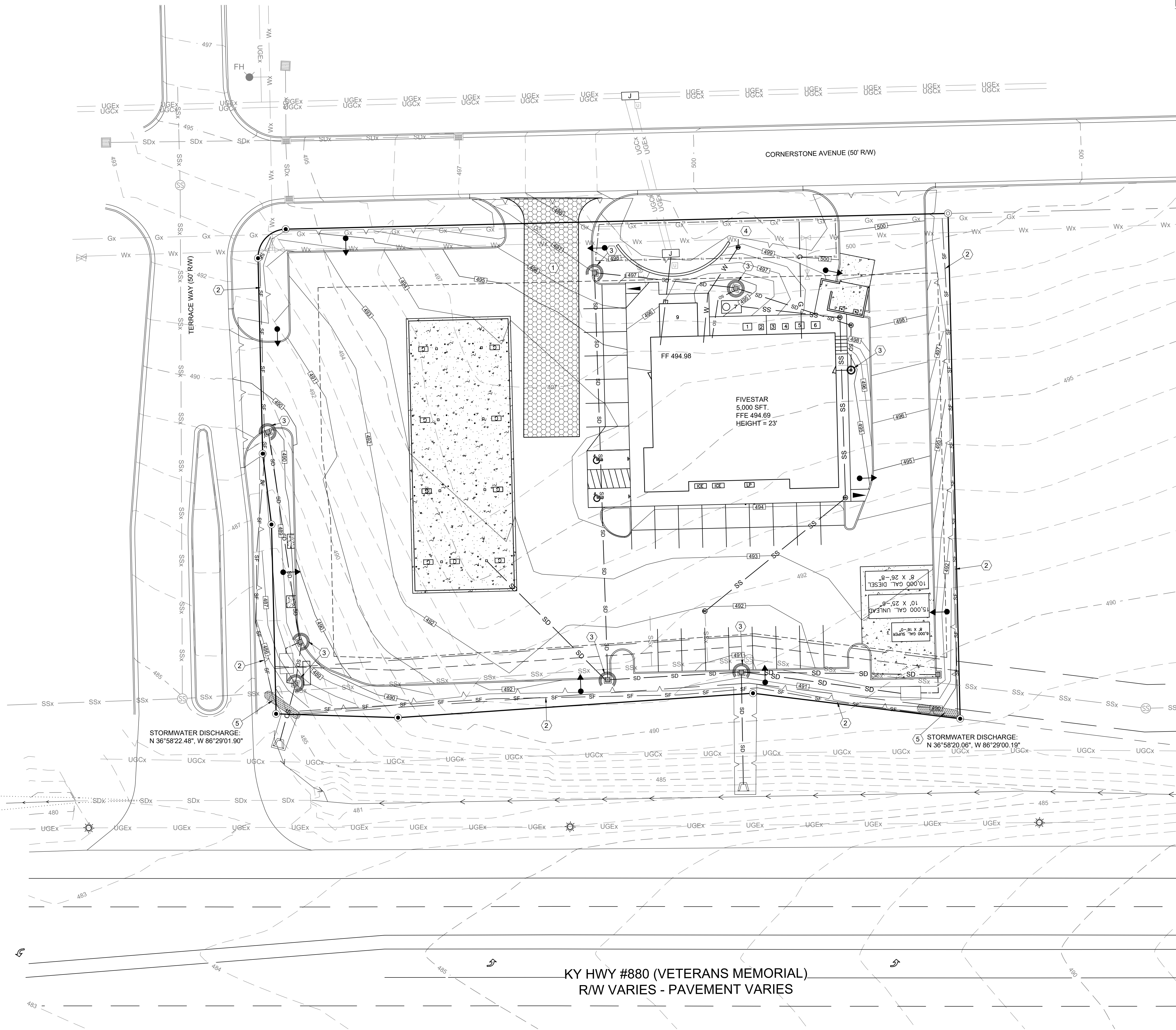
REVISION	DATE	DESCRIPTION
1	3-1-2023	REVISED PER CCPC COMMENTS

KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1131

ENGINEER: BSR	CKD BY: CRK
DWN BY: BSR	CRD FILE: 200301E
CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARDSTOWN, KY 40004	PROPERTY ADDRESS: VETERANS MEMORIAL BOWLING GREEN, KY

SITE PLAN
FIVESTAR
VETERANS MEMORIAL
BOWLING GREEN, KY

SHEET
IDENTIFICATION
C2.0



EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF THE APPROPRIATE PERSONEL NEEDED TO CREATE AND MAINTAIN A BEST MANAGEMENT PRACTICES PLAN IN ACCORDANCE WITH KPDES STORMWATER GENERAL PERMIT KYR10 AND "KENTUCKY EROSION PREVENTION AND SEDIMENT CONTROL FIELD GUIDE."
2. EROSION CONTROL MEASURES NOTED AND SHOWN ARE THE MINIMUMS DEEMED NECESSARY TO PROTECT THE PUBLIC AND OFF-SITE PROPERTIES, AND DO NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR COMPLIANCE WITH ANY AND ALL U.S. EPA AND KENTUCKY DIVISION OF WATER REQUIREMENTS. ANY ADDITIONAL ITEMS REQUIRED BY THESE AND/OR LOCAL GOVERNING AUTHORITIES SHALL BE PROVIDED AT NO COST TO THE OWNER.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL PRACTICES, PERMIT DOCUMENTS, AND INSPECTION RECORDS REQUIRED TO COMPLY WITH THE NOI AND THE CONDITIONS OF THE GENERAL KPDES PERMIT, AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
4. ANY REQUIRED ALTERATIONS OR REVISIONS TO THE EROSION CONTROL PLANS BASED UPON RESULTS OF PERIODIC INSPECTIONS, CONTRACTOR ACTIONS, AND/OR OWNER/AGENCY DIRECTIONS SHALL BE IMPLEMENTED WITHIN 7 DAYS OF DISCOVERY, AND WRITTEN DOCUMENTATION OF SUCH ALTERATIONS/REVISIONS SHALL BE KEPT ON FILE BY THE CONTRACTOR.
5. ALL AREAS DISTURBED BY GRADING THAT ARE NOT STABILIZED WITH OTHER METHODS FOR A PERIOD OF 14 DAYS SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED.
6. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
7. REMOVE ALL EROSION CONTROL DEVICES UPON THE ESTABLISHMENT OF PERMANENT GROUND COVER.
8. PROVIDE TEMPORARY SEEDING AS NEEDED IN ACCORDANCE WITH "KENTUCKY EROSION PREVENTION AND SEDIMENT CONTROL FIELD GUIDE."
9. ALL PAINT, SOLVENT, PETROLEUM PRODUCTS (FUEL, LUBE OILS, GREASE AND CUTTING OILS) AND PETROLEUM WASTE PRODUCTS SHALL BE STORED IN CONTAINERS (SUCH AS DRUMS, CANS, OR CARTONS) SO THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION CONTROL, AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENTS SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND ALSO PREVENT CONTAMINATION OF GROUNDWATER.
10. DO NOT STORE CHEMICALS, DRUMS, AND BAGGED MATERIAL DIRECTLY ON THE GROUND. USE SECONDARY CONTAINMENT OR USE WOODEN PALLETS. PROVIDE SPILL CONTAINMENT DIKES AROUND CHEMICAL AND FUEL STORAGE TANKS. LINE WITH PLASTIC FILM TO PREVENT SOIL CONTAMINATION. STORE HAZARDOUS WASTES IN AN APPROPRIATE TYPE OF CONTAINER AND PROPERLY LABELED PER EPA, OSHA AND DOT REQUIREMENTS.
11. ONSITE TRASH SHOULD BE COLLECTED AND DISPOSED OF ON A REGULAR BASIS. SANITARY SYSTEMS SHOULD BE REGULARLY SERVICED. REPAIR TRASH CONTAINERS AND DUMPSTERS ON AN AS NEEDED BASIS. WHERE POSSIBLE PROVIDE COVER FOR WASTE CONTAINERS TO PREVENT THE ENTRY OF RAINWATER AND LOSS OF CONTENTS BY WIND. MAINTAIN A CONTINGENCY PLAN IN THE CASE THAT HAZARDOUS OR TOXIC MATERIALS ARE DISCOVERED.
12. MAINTAIN WASTE FLUID CONTAINERS IN LEAK PROOF CONDITION. VEHICLES AND EQUIPMENT SHOULD BE INSPECTED ON EACH DAY OF USE. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE PROBLEM VEHICLE(S) OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE.

SEQUENCE OF SWPPP CONSTRUCTION:

1. BEFORE ANY LAND DISTURBANCE OCCURS, A NOTICE-OF-INTENT (NOI) SHALL BE FILED WITH THE STATE OF KENTUCKY DIVISION OF WATER.
2. BEFORE ANY LAND DISTURBANCE OCCURS, SILT FENCING SHALL BE INSTALLED AS SHOWN, THE CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED, AND THE STONE CHECK DAMS SHALL BE CONSTRUCTED.
3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED AS SHOWN ON THIS DRAWING AND PROTECTED WITH TEMPORARY SEEDING AND MULCHING. MOST OF THE TOPSOIL SHALL BE REMOVED FROM THE SITE EXCEPT AS NEEDED FOR FINAL GRADING.
4. AS SOON AS THE STORM INLETS ARE CONSTRUCTED, INSTALL STONE INLET PROTECTION AS SHOWN.
5. THE STORM PIPES AND HEADWALL LOCATED IN THE KYTC RIGHT-OF-WAY SHALL BE INSTALLED DURING A TIME THAT NO RAIN EVENT IS EXPECTED. ALSO, THE DISTURBED AREAS SHALL BE SEEDED AND STRAWED OR SODDED WITHIN 7 DAYS OF INITIAL DISTURBANCE.
6. ONCE ALL TEMPORARY EROSION CONTROL ITEMS ARE REMOVED AND PERMANENT GROUND COVER IS ESTABLISHED, A NOTICE-OF-TERMINATION SHALL BE SUBMITTED TO THE KENTUCKY DIVISION OF WATER.

DISTURBED AREA = 59,486 SFT

KEY NOTES:

1. TEMP. CONSTRUCTION ENTRANCE. SEE DETAIL 1 SHEET C3.1.
2. TEMP. SILT FENCE. SEE DETAIL 2 SHEET C3.1.
3. TEMP. INLET PROTECTION. SEE DETAIL 3 SHEET C3.1.
4. TEMP. TOPSOIL STOCKPILE AREA.
5. TEMP. STONE CHECK DAM. SEE DETAIL 4 SHEET C3.1.

LEGEND

	EXISTING BOUNDARY LINE
	EXISTING ADJOINER LINES
	EXISTING DITCH
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PROPOSED SILT FENCE
	PROPOSED TOPSOIL STOCKPILE AREA
	PROPOSED LIMITS OF DISTURBANCE



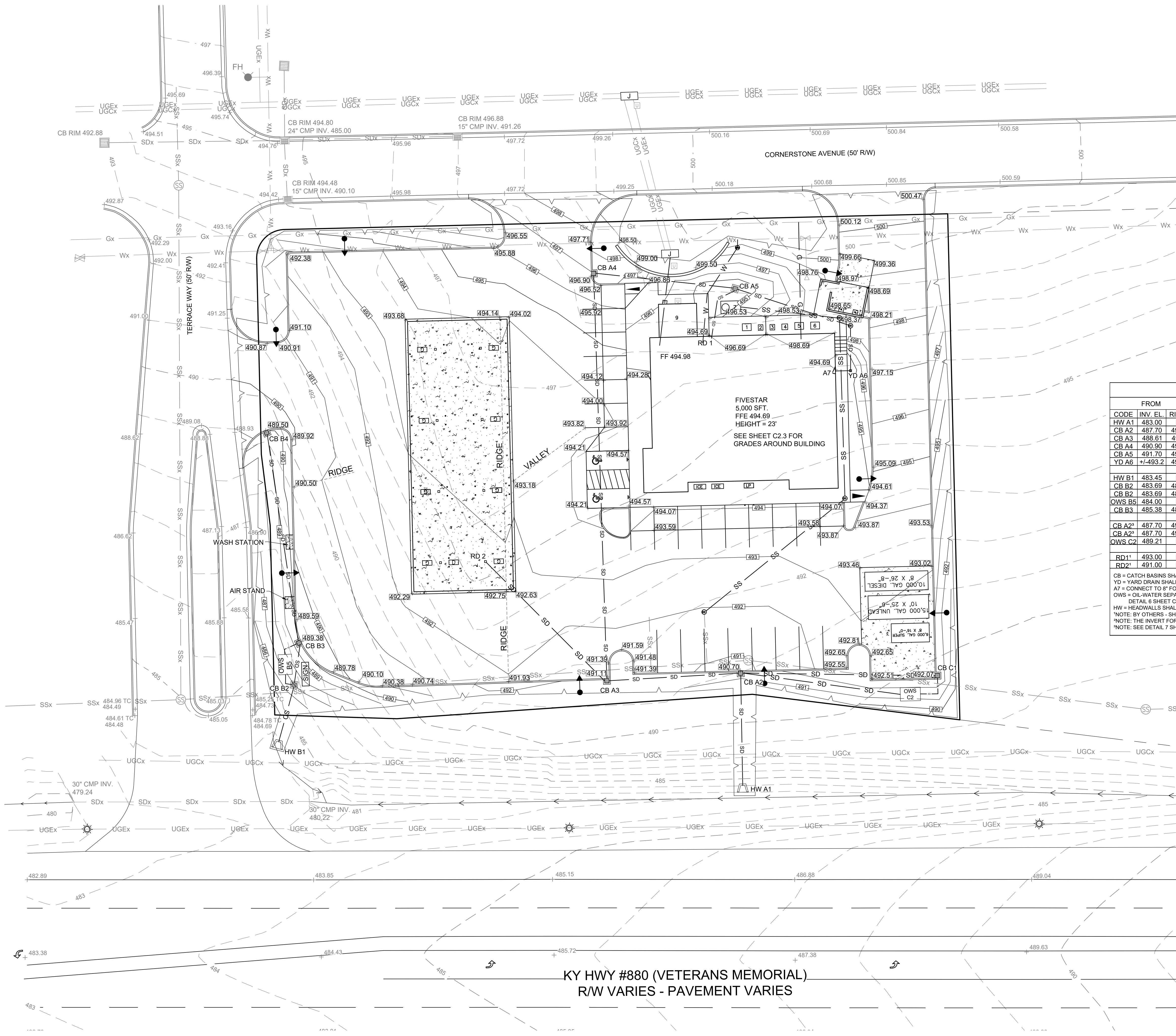
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KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1131

ENGINEER: BSR	CKD BY: CRK
DWN BY: BSR	CRD FILE: 200301E
CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARDSTOWN, KY 40004	FILE NAME: 200301E
PROPERTY ADDRESS: VETERANS MEMORIAL BOWLING GREEN, KY	SIZE: 24x36

EPSC
FIVESTAR
VETERANS MEMORIAL
BOWLING GREEN, KY

SHEET
IDENTIFICATION
C2.1



KY HWY #880 (VETERANS MEMORIAL)
R/W VARIES - PAVEMENT VARIES

GENERAL NOTES:

1. THE EXISTING UTILITIES SHOWN WERE FIELD SURVEYED FROM MARKINGS PROVIDED BY UTILITY COMPANIES AND ARE APPROXIMATE LOCATIONS. OTHER UTILITIES MAY EXIST ON THIS SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 811 AND LOCATING ALL UTILITIES BEFORE ANY EXCAVATION BEGINS.
2. MORE THAN 1 ACRE OF LAND SHOULD BE DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL SUBMIT AN NOI WITH THE STATE OF KENTUCKY PRIOR TO BEGINNING ANY GRADING WORK. DISTURBED AREA INCLUDING UTILITIES IS 59,486 SFT.
3. NO GRADING, STRIPPING, EXCAVATION, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNLESS AND UNTIL WARREN COUNTY HAS APPROVED THE DEVELOPER'S SOIL EROSION CONTROL PROCEDURES AND EROSION CONTROL PLAN.
4. NO BUILDING PERMITS SHALL BE ISSUED UNTIL A FINAL DEVELOPMENT PLAN IS APPROVED BY THE PLANNING COMMISSION AND ALL CONDITIONS HAVE BEEN MET.
5. ALL DISTURBED AREAS THAT ARE NOT PAVED, LANDSCAPED, OR OTHERWISE PROVIDED WITH PERMANENT GROUND COVER SHALL BE SEEDED OR SODDED AS SOON AS PRACTICAL TO PREVENT SOIL EROSION.

STORM WATER QUALITY/DETENTION

STORMWATER QUALITY AND DETENTION IS PROVIDED BY THE EXISTING REGIONAL STORMWATER DETENTION BASIN. TWO 1,000 GALLON OIL-WATER SEPARATORS ARE BEING PROVIDED DUE TO HOTSPOT WATER QUALITY GAS STATION TREATMENT OF HYDROCARBONS. THE OIL-WATER SEPARATORS SHALL BE A BARTOW PRECAST MODEL OWS 111-01034 1,000 GALLON OR EQUIVALENT AS SHOWN IN DETAIL 6 ON SHEET C3.1.

$Qwq = C \times I \times A = 0.85 \times 2.45 \times 0.22 = 0.46$ cfs
(0.22 IS THE LARGER AREA OF THE TWO OIL-WATER SEPARATORS).

6" PVC PIPES AT 2% SLOPE WILL CARRY UP TO 0.85 cfs.

400 cft per acre x 0.22 acre = 88 cft = 658 GAL min wet storage. USE 1,000 GAL. TANK
THE VELOCITY THROUGH THE OIL-WATER SEPARATOR USING 0.46 cfs:
 $0.46 \text{ cfs} \times 60 = 27.6 \text{ cfm} / 35 \text{ sft} = 0.79 \text{ ft/min} < 3.0 \text{ ft/min}$. MAX. VELOCITY.

STORM STRUCTURE TABLE

FROM			TO			PIPE LENGTH	SLOPE	DIAMETER	TYPE
CODE	INV. EL.	RIM EL.	CODE	INV. EL.	RIM EL.				
HW A1	483.00	N/A	CB A2	487.70	490.70	46 FT	10.22%	15-IN	HDPE N-12
CB A2	487.70	490.70	CB A3	488.61	491.11	55 FT	1.65%	15-IN	HDPE N-12
CB A3	488.61	491.11	CB A4	490.90	496.90	170 FT	1.35%	15-IN	HDPE N-12
CB A4	490.90	496.90	CB A5	491.70	494.20	58 FT	1.38%	15-IN	HDPE N-12
CB A5	491.70	494.20	YD A6	+/- 493.2	494.00	68 FT	2.20%	4-IN	PVC SCH. 40
YD A6	+/- 493.2	494.00	A7	+/- 492.5	N/A	6 FT	11.67%	4-IN	PVC SCH. 40
HW B1	483.45	N/A	CB B2	483.69	487.00	24 FT	1.00%	12-IN	HDPE N-12
CB B2	483.69	487.00	CB B3	485.88	489.38	16 FT	13.69%	12-IN	HDPE N-12
CB B3	485.88	489.38	OWS B5	483.83	N/A	7 FT	2.00%	6-IN	PVC SCH. 40
OWS B5	484.00	N/A	CB B3	485.38	489.38	8 FT	17.25%	6-IN	PVC SCH. 40
CB B3	485.38	489.38	CB B4	487.50	489.50	88 FT	2.41%	12-IN	HDPE N-12
CB A2	487.70	490.70	CB C1	489.99	492.07	81 FT	2.83%	12-IN	HDPE N-12
CB A2	487.70	490.70	OWS C2	489.04	N/A	67 FT	2.00%	6-IN	PVC SCH. 40
OWS C2	489.21	N/A	CB C1	489.49	492.07	14 FT	2.00%	6-IN	PVC SCH. 40
RD1	493.00	N/A	CB A5	492.28	494.20	25 FT	2.88%	8-IN	PVC SCH. 40
RD2	491.00	N/A	CB A3	489.19	491.11	70 FT	2.59%	8-IN	PVC SCH. 40

CB = CATCH BASIN SHALL BE 24" X 24" CONCRETE BOXES WITH JOHN BOUCHARD AND SONS 28" GRATE OR EQUIVALENT.
YD = YARD DRAIN SHALL BE 12" X 12" NDS CATCH BASIN WITH METAL GRATE OR EQUIVALENT.
A7 = CONNECT TO 8" FOUNDATION DRAIN.
OWS = OIL-WATER SEPARATORS SHALL BE BARTOW PRECAST MODEL OWS 111-01034 1,000 GALLON OR EQUIVALENT AS SHOWN ON DETAIL 6 SHEET C3.1.
HW = HEADWALLS SHALL BE KYTC EQUIVALENT HEADWALLS WITH ENERGY DISSIPATORS.
*NOTE: BY OTHERS - SHOWN FOR REFERENCE ONLY.
*NOTE: THE INVERT FOR 12" HDPE OUTLET PIPE FOR CB B3 & CB C1 SHALL BE 6" ABOVE THE 6" PVC INVERT AS SHOWN IN THE TABLE.
*NOTE: SEE DETAIL 7 SHEET C3.1 FOR 6" PVC AND 12" HDPE PIPE LOCATION DETAIL.

0 20' 40'
SCALE: 1" = 20'

LEGEND

- BOUNDARY LINE THIS SURVEY
- APPROXIMATE ADJOINER OR R-O-W LINES
- EXISTING SETBACK LINES OR EASEMENTS
- EXISTING ROADWAY AS LABELED
- EXISTING FENCE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING PRIMARY OVERHEAD ELECTRIC
- EXISTING POWER POLE
- EXISTING TRAFFIC SIGNAL CABLES
- EXISTING GAS LINE
- EXISTING STORM SEWER
- EXISTING DITCH CENTERLINE
- EXISTING STORM INLET
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED SPOT ELEVATION
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SWALE CENTERLINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED WATERLINE
- PROPOSED STORM PIPE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED STORM INLET
- PROPOSED LIGHT POLE
- PROPOSED OIL-WATER SEPARATOR

			3-1-2023	DATE
			REVISED PER CCPC COMMENTS	DESCRIPTION
				MARK

KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1131

ENGINEER:
BSR
DWN BY:
BSR
CKD BY:
CRK

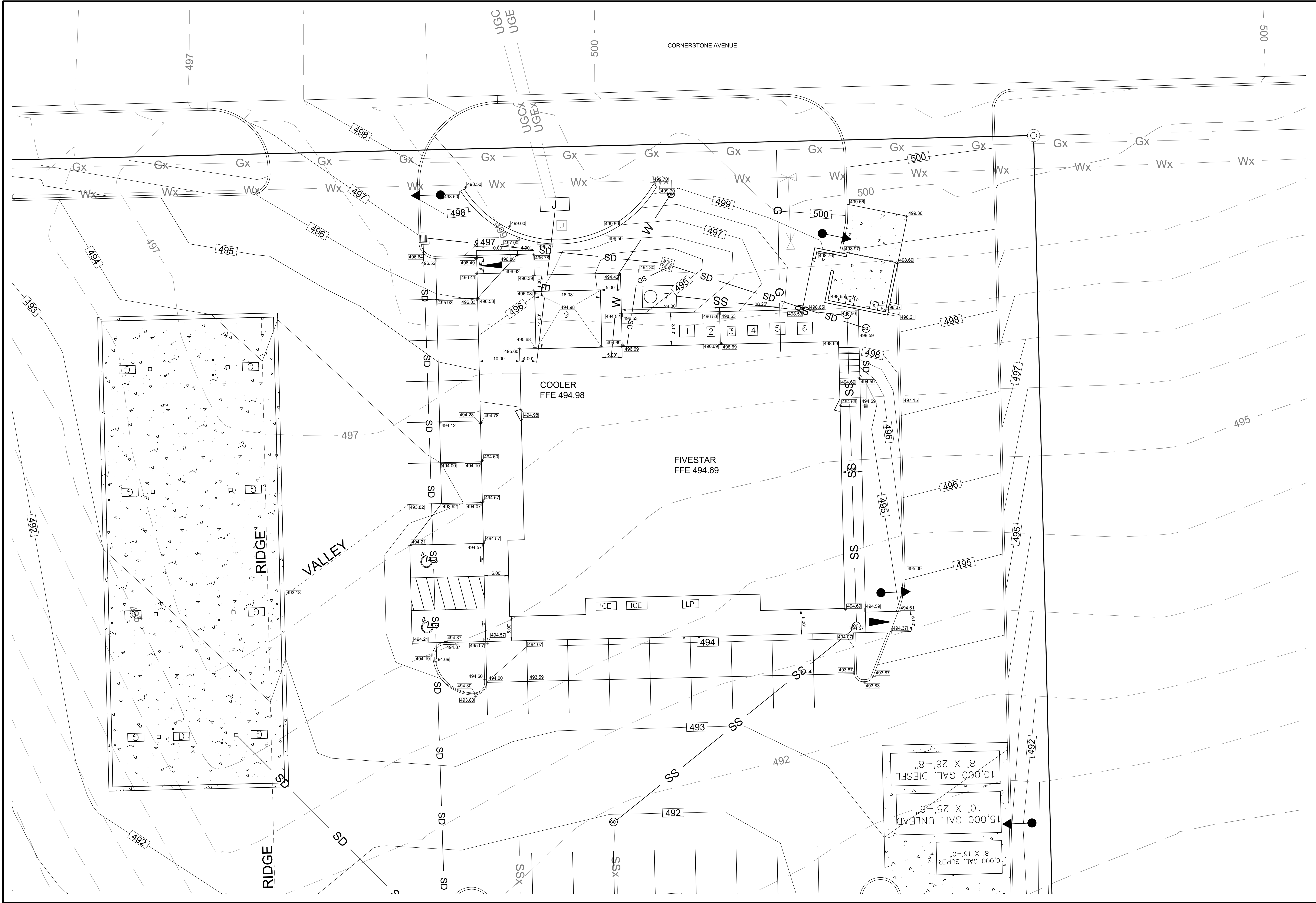
CLIENT ADDRESS:
NEWCOMB OIL
951 WITHROW COURT
BARDSTOWN, KY 40004

PROPERTY ADDRESS:
VETERANS MEMORIAL
BOWLING GREEN, KY

GRADING PLAN
FIVESTAR
VETERANS MEMORIAL
BOWLING GREEN, KY

SHEET
IDENTIFICATION
C2.2

BOWLING GREEN - 1930



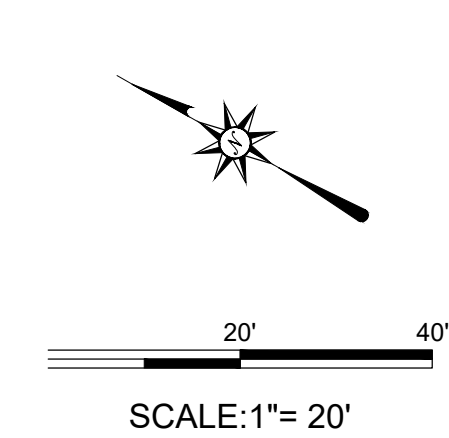
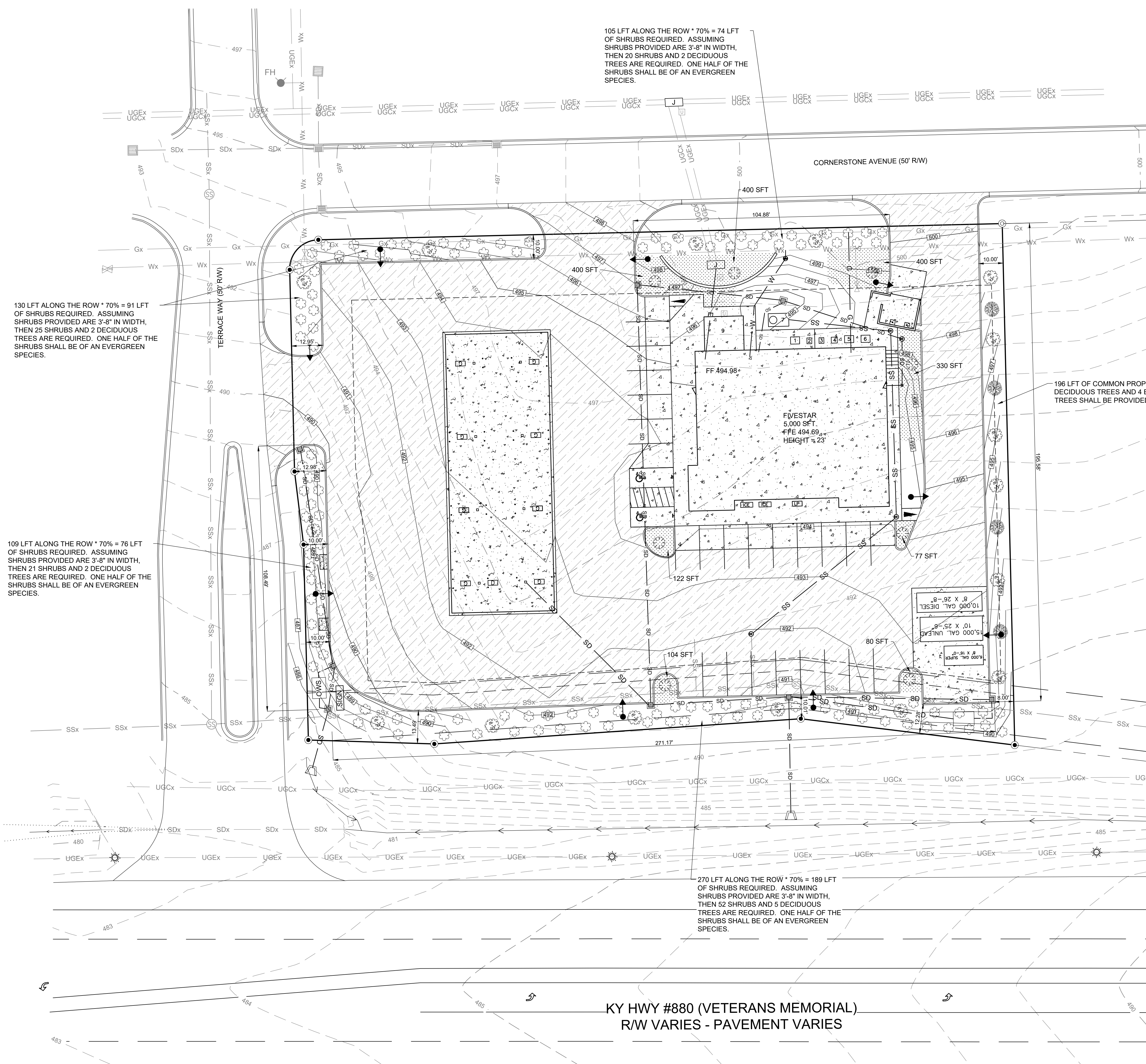
MARK	REVISION	DATE
1	REVISED PER CCPC COMMENTS	3-1-2023

KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1131

CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARDTOWN, KY 40004	ENGINEER: BSR	DWN BY: BSR	CKD BY: CRK
PROPERTY ADDRESS: VETERANS MEMORIAL BOWLING GREEN, KY	PLOT DATE: 1-16-2023	CRD FILE: 2003301E	FILE NAME: 2003301E

ENLARGED GRADING PLAN
FIVESTAR
VETERANS MEMORIAL
BOWLING GREEN, KY

SHEET
IDENTIFICATION
C2.3



SITE DATA

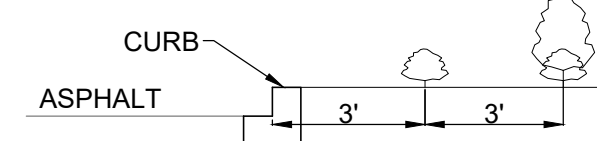
1. CURRENT ZONING FOR THE LOT: HB
2. TOTAL LOT AREA IS 1.37 ACRES OR 59,588 SFT
3. VEHICLE USE AREA = 38,185 SFT.
4. INTERIOR LANDSCAPE REQ. (5%) = 1,909 SFT.
5. INTERIOR LANDSCAPE PROVIDED = 1,913 SFT
6. INTERIOR TREES REQ. = 5
7. INTERIOR TREES PROVIDED = 8

PLANT SCHEDULE

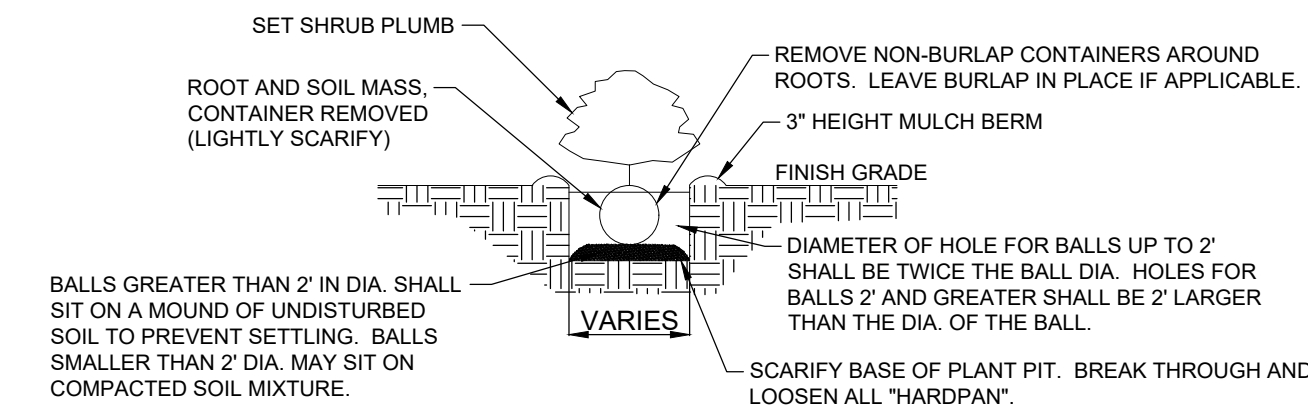
- | | |
|---|---|
|  | DWARF RED OAK (QUERCUS RUBRA) |
|  | AMERICAN HOLLY (ILEX OPACA) |
|  | REDBUD (CERCIS CANADENSIS) |
|  | BUMALDA SPIREA (SPIRAEA X BUMALDA)
OR CHINA HOLLY (ILEX X MESERVEAE) |
|  | LANDSCAPE ROCK OR SOLITE |
|  | GRASS OF THE FESCUE OR BLUEGRASS FAMILY |

LANDSCAPING NOTES:

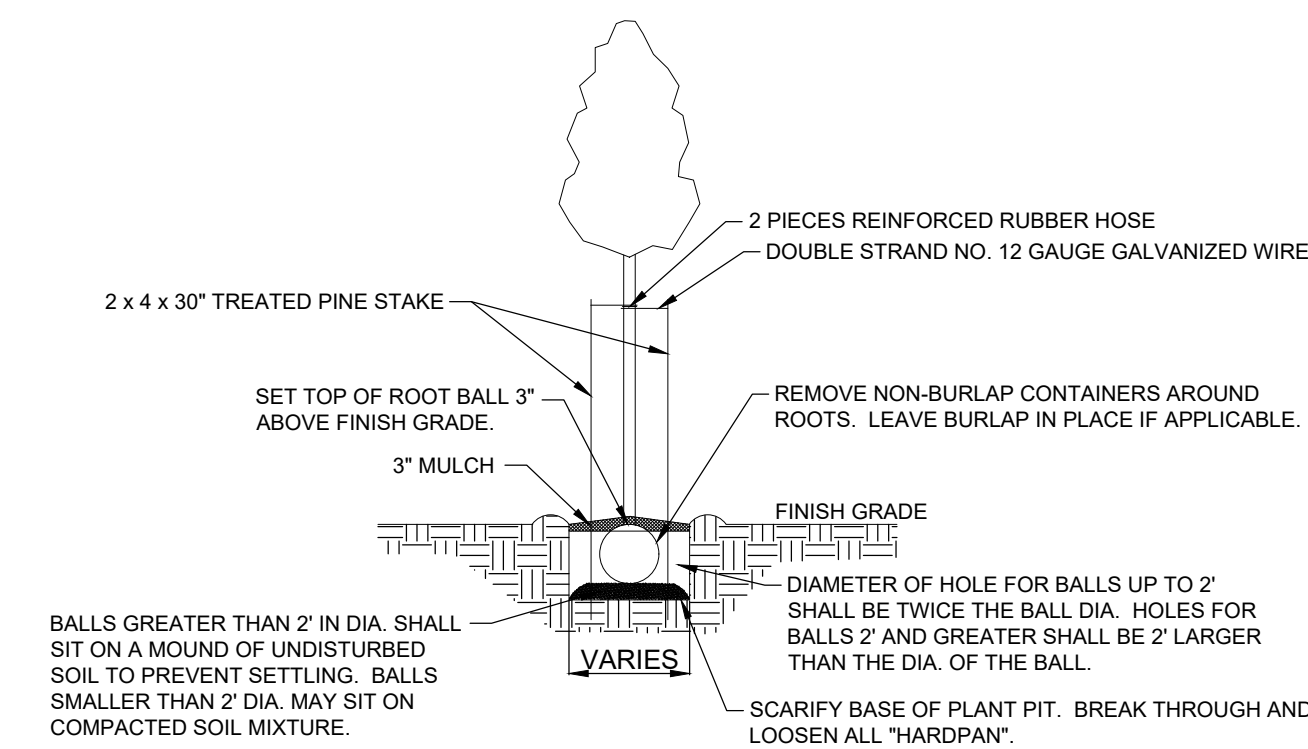
1. ALL SHRUBS SHALL BE A MINIMUM OF 24" PLANTING HEIGHT. ALL SHRUBS SHALL BE MAINTAINED AT A MINIMUM HEIGHT OF 24" AND A MAXIMUM HEIGHT OF 42". ONE HALF OF THE SHRUBS SHALL BE AN EVERGREEN SPECIES.
2. ALL DECIDUOUS TREES SHALL BE A MINIMUM OF 1.75" IN CALIPER AT PLANTING.
3. ALL EVERGREEN TREES SHALL BE A MINIMUM OF 5' PLANTED HEIGHT.
4. ALL PLANT MATERIALS AND PLANTING METHODS SHALL MEET THE AMERICAN NURSERY STANDARDS.



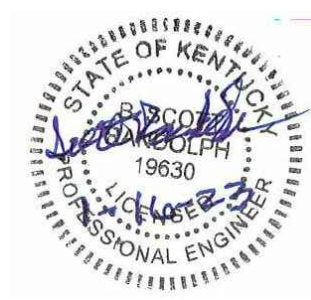
SHRUB/TREE PLANTING ALONG ROADWAYS
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.



TREE PLANTING DETAIL
 N.T.S.



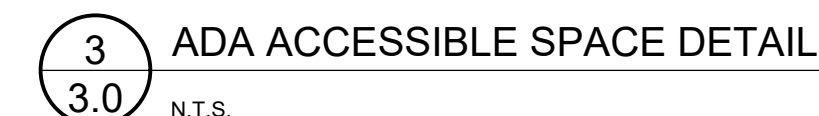
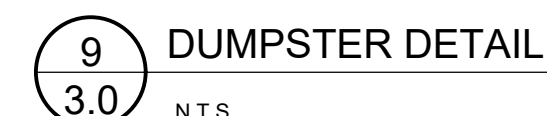
MARK	DESCRIPTION	DATE
1	REVISED PER CCPC COMMENTS	3-1-2023

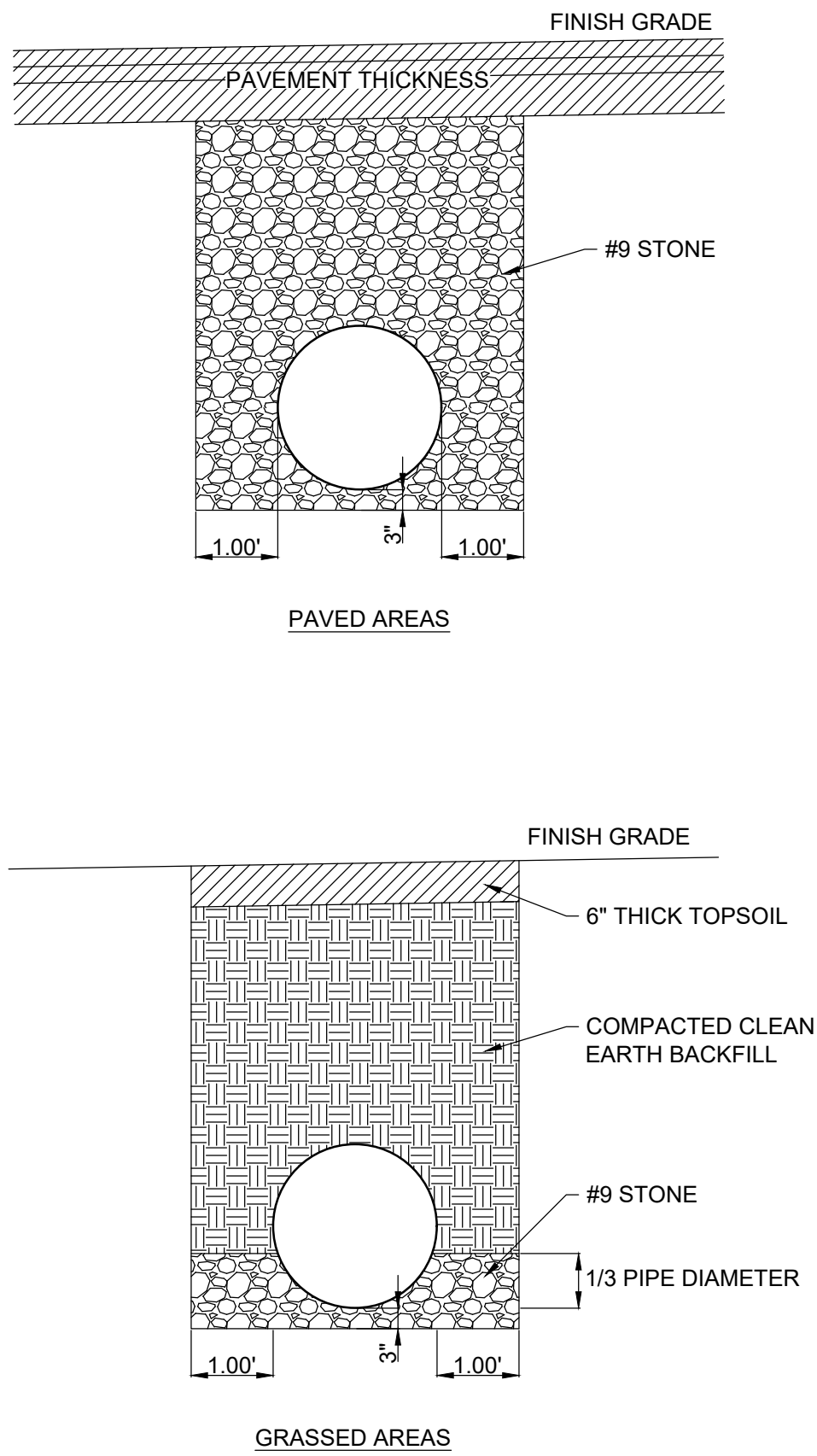
**KENNER RANDOLPH
ENGINEERING & SURVEYING**
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-747-1131

ENGINEER: BSR	CLIENT ADDRESS: NEWCOMB OIL 951 WITHROW COURT BARDSTOWN, KY 40004	PROPERTY ADDRESS: VETERANS MEMORIAL BOWLING GREEN, KY	PLOT DATE: 1-25-2023	CRD FILE: 2003301E
DWN BY: BSR	CRD BY: CRK			
SIZE: 24X36	FILE NAME: 2003301E			

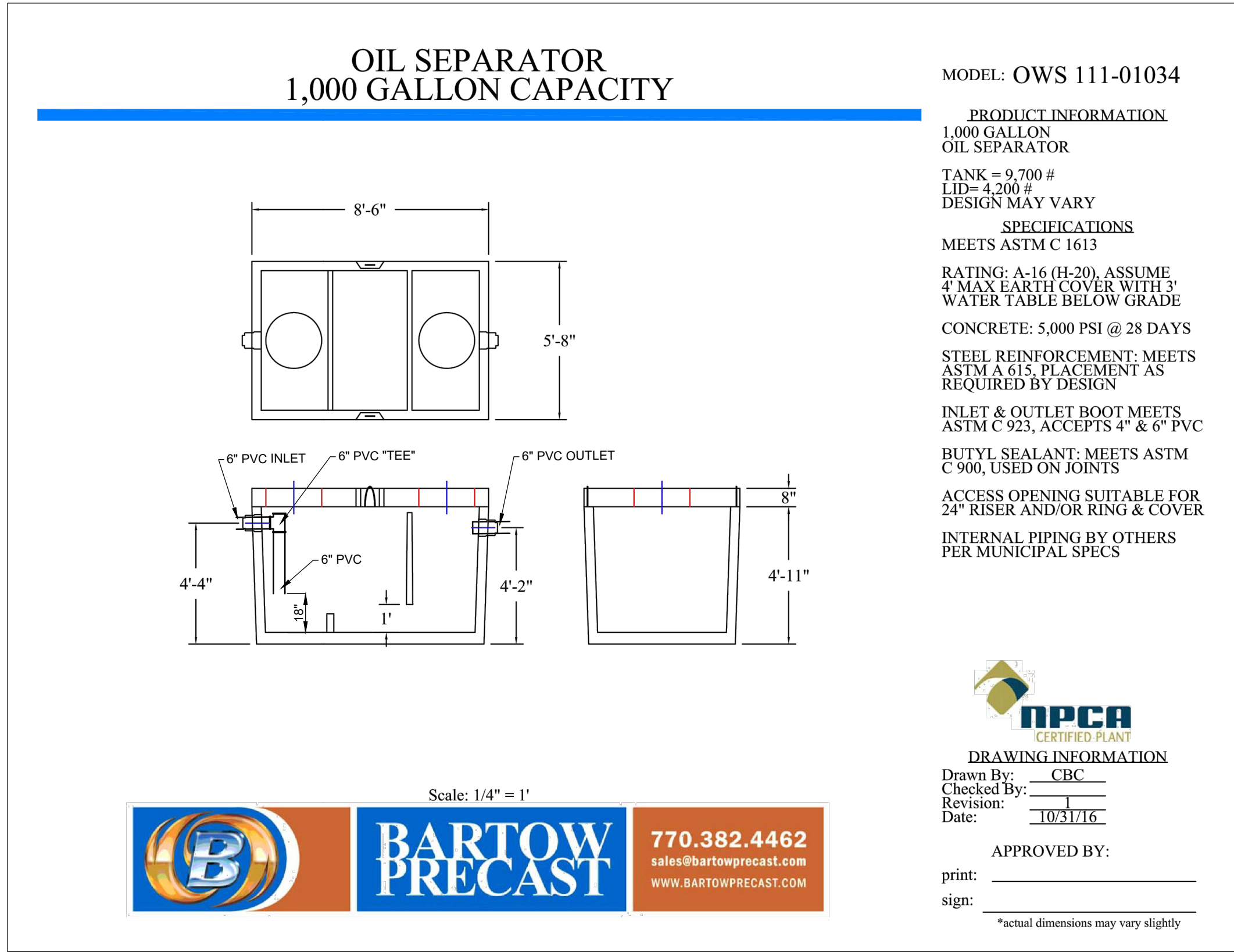
LANDSCAPE PLAN
FIVESTAR
VETERANS MEMORIAL
BOWLING GREEN, KY

SHEET
IDENTIFICATION
C2.4

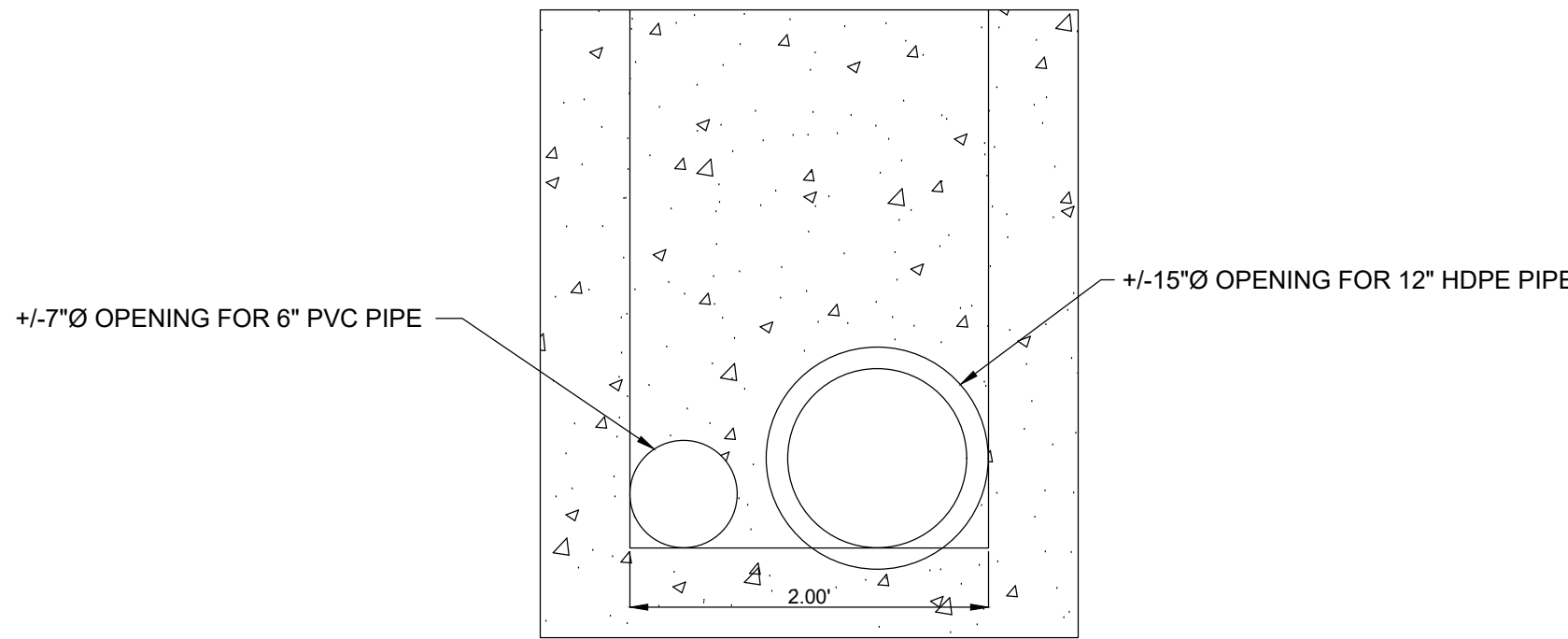




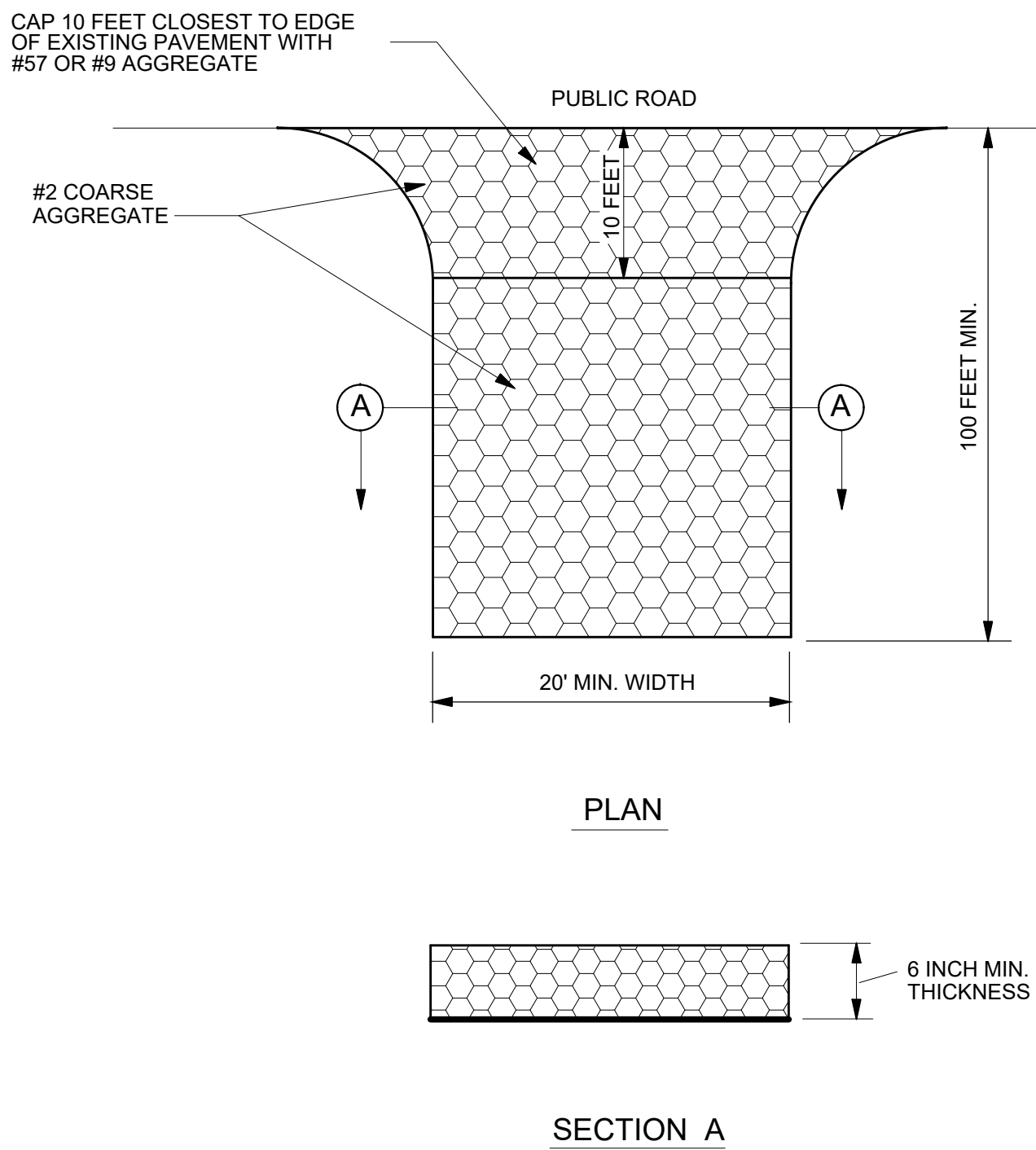
5 PIPE BEDDING DETAIL
SCALE: NTS



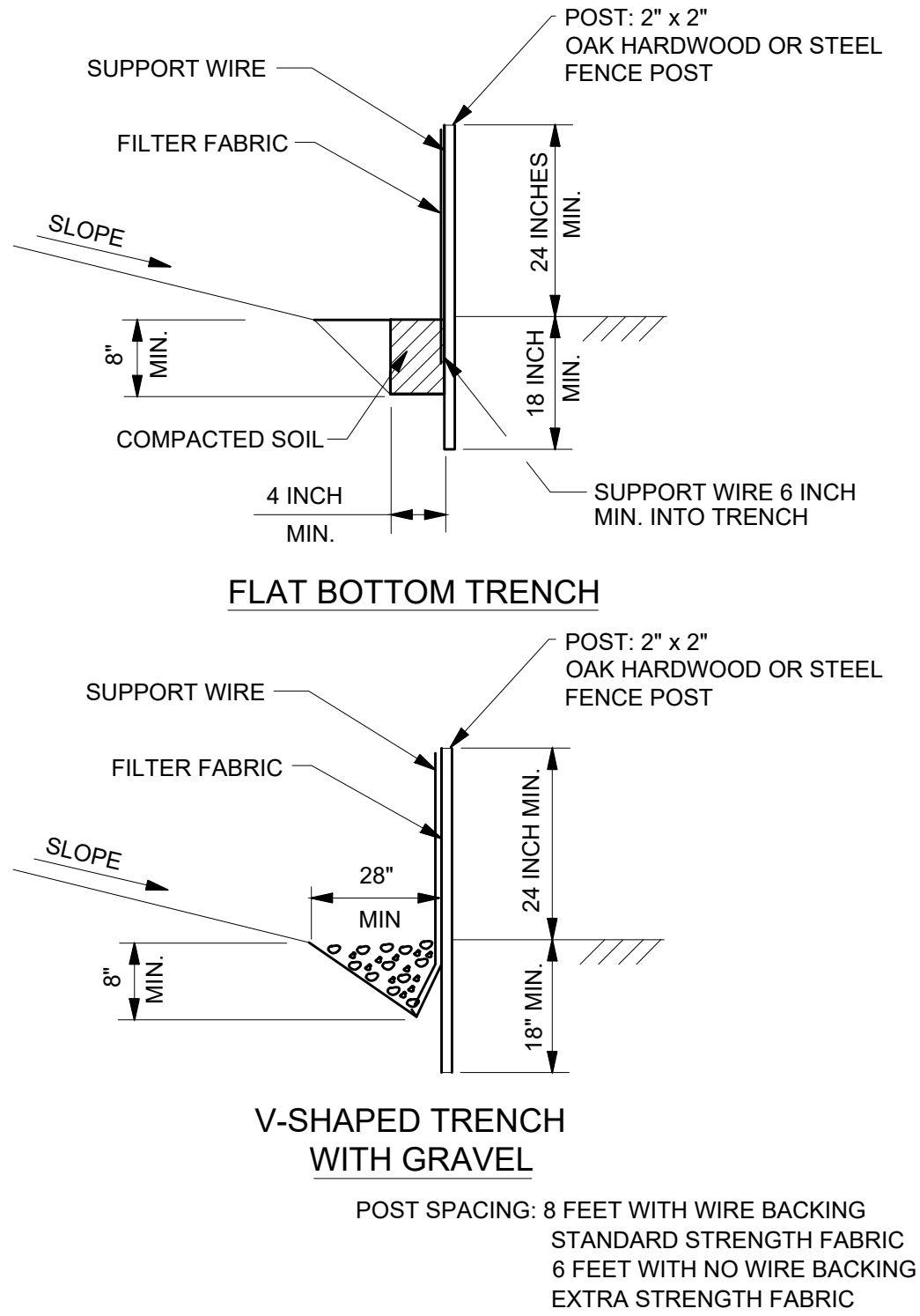
6 OIL-WATER SEPARATOR DETAIL
1/4" = 1'-0"



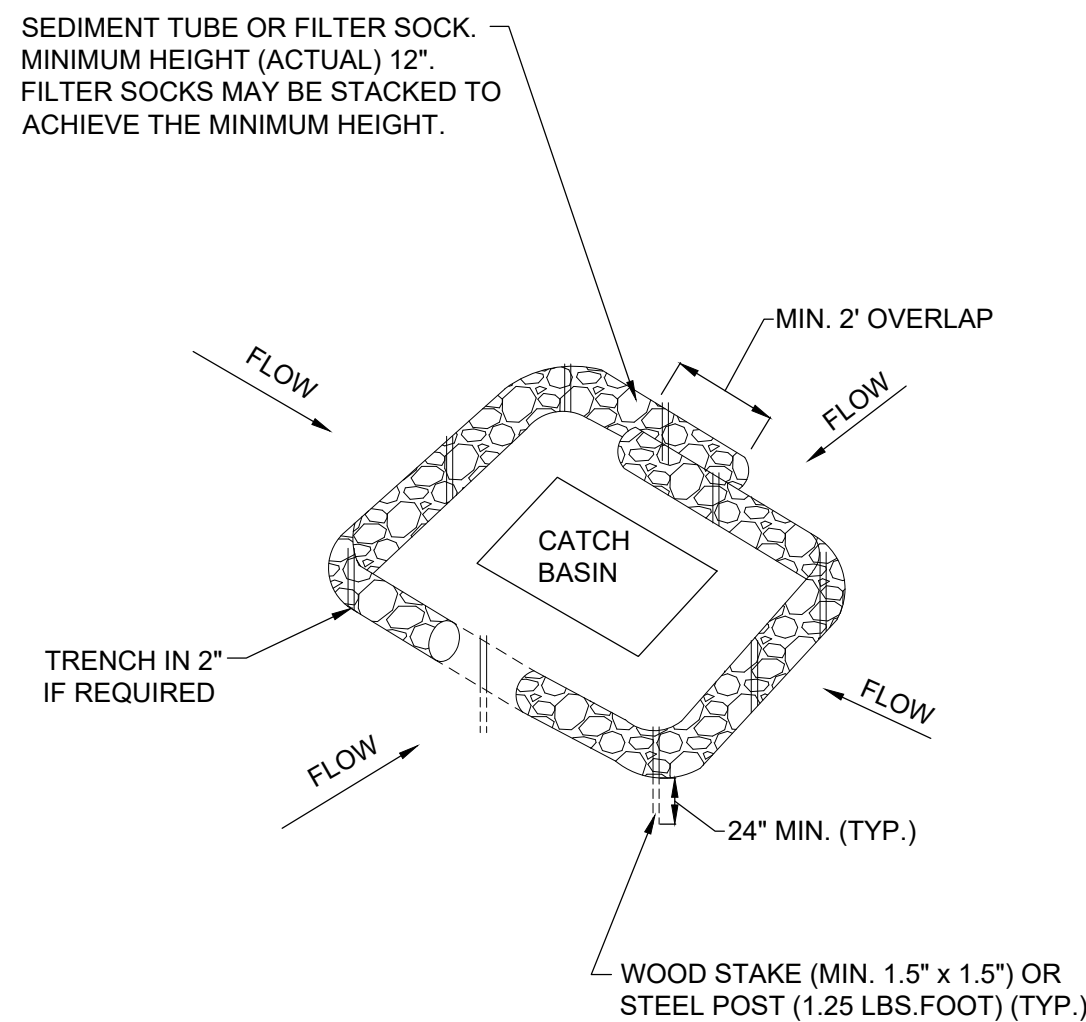
7 CB A2 PIPE INLET DETAIL
SCALE: 1" = 1'-0"



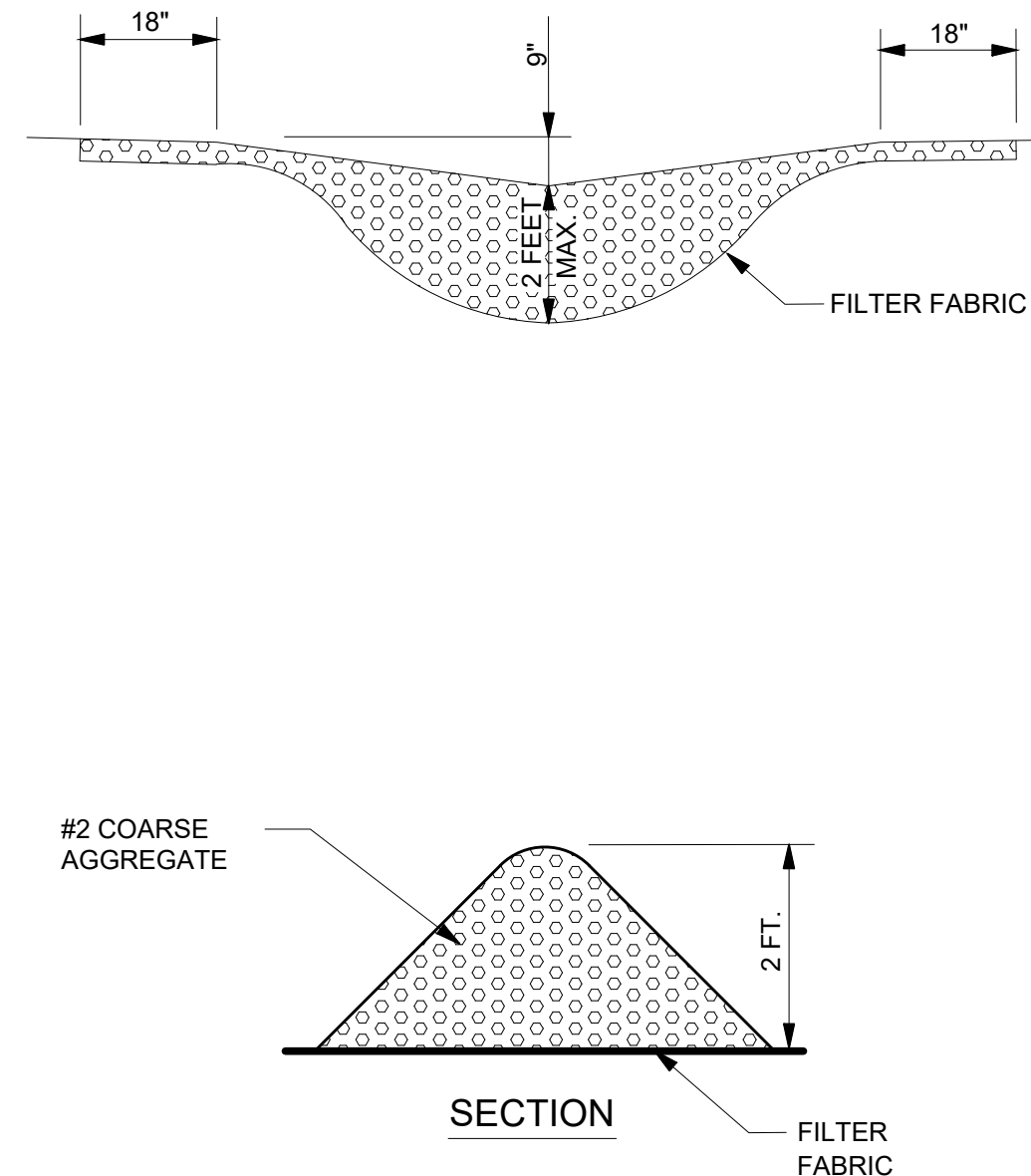
1 TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE/EXIT PAD
NTS



2 SILT FENCE
NTS



3 INLET PROTECTION
NTS



4 STONE CHECK DAM
NTS



REVISION	DATE
1	3-1-2023
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KENNER RANDOLPH
ENGINEERING & SURVEYING
199 NORTH OWEN STREET
RUSSELLVILLE, KY 42276
270-717-1131

ENGINEER:	CHKD BY:	CRD FILE:
BSR	CRK	203301E
DWN BY:		FILE NAME:
BSR		203301E
CLIENT ADDRESS:	PROPERTY ADDRESS:	
NEWCOMB OIL	VETERANS MEMORIAL	
951 WITHROW COURT	BOWLING GREEN, KY	
BARDSTOWN, KY 40004		

DETAILS
FIVESTAR
VETERANS MEMORIAL
BOWLING GREEN, KY

SHEET
IDENTIFICATION
C3.1