

GENERAL NOTES:

1. A BOUNDARY AND TOPOGRAPHIC SURVEY, INCLUDING PROPERTY LINES, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY TRAVIS NORMAN GROUP LAND SURVEYING (TNG LAND SURVEYING). PRISM ENGINEERING HAS NOT VERIFIED THIS INFORMATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER/DEVELOPER SITE WORK SPECIFICATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
4. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
5. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
6. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
7. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
8. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
9. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH PRISM ENGINEERING & DESIGN GROUP, LLC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION/CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 48 HOURS PRIOR TO SAID ACTION.

FLOOD CERTIFICATION:

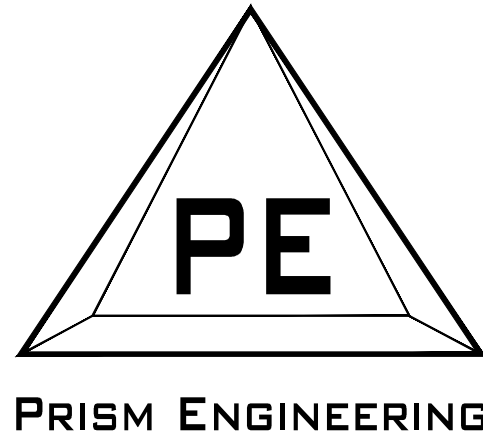
SUBJECT PROPERTY IS LOCATED IN FEMA FLOOD ZONE X (REDUCED RISK AREA DUE TO LEVEE) PER FIRM MAP 21111C0104F, EFFECTIVE ON FEBRUARY 26, 2021.

UTILITY NOTE:

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED ON AVAILABLE PLANS. NEITHER THE SURVEYOR, ENGINEER, OWNER/DEVELOPER NOR THEIR REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THESE UTILITIES.

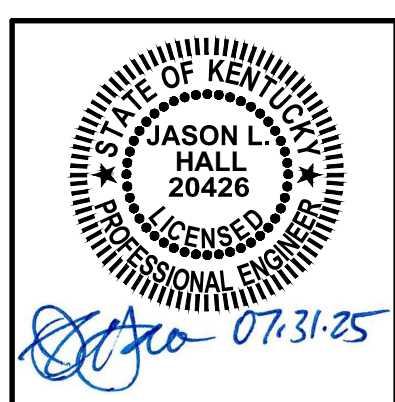
UTILITY PROTECTION NOTE:

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-6007 OR LOCAL 502-266-5123), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



**PRISM  
ENGINEERING**  
2309 WATTERSON TRAIL, SUITE 200  
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SDP-25-1078  
WM # 7866



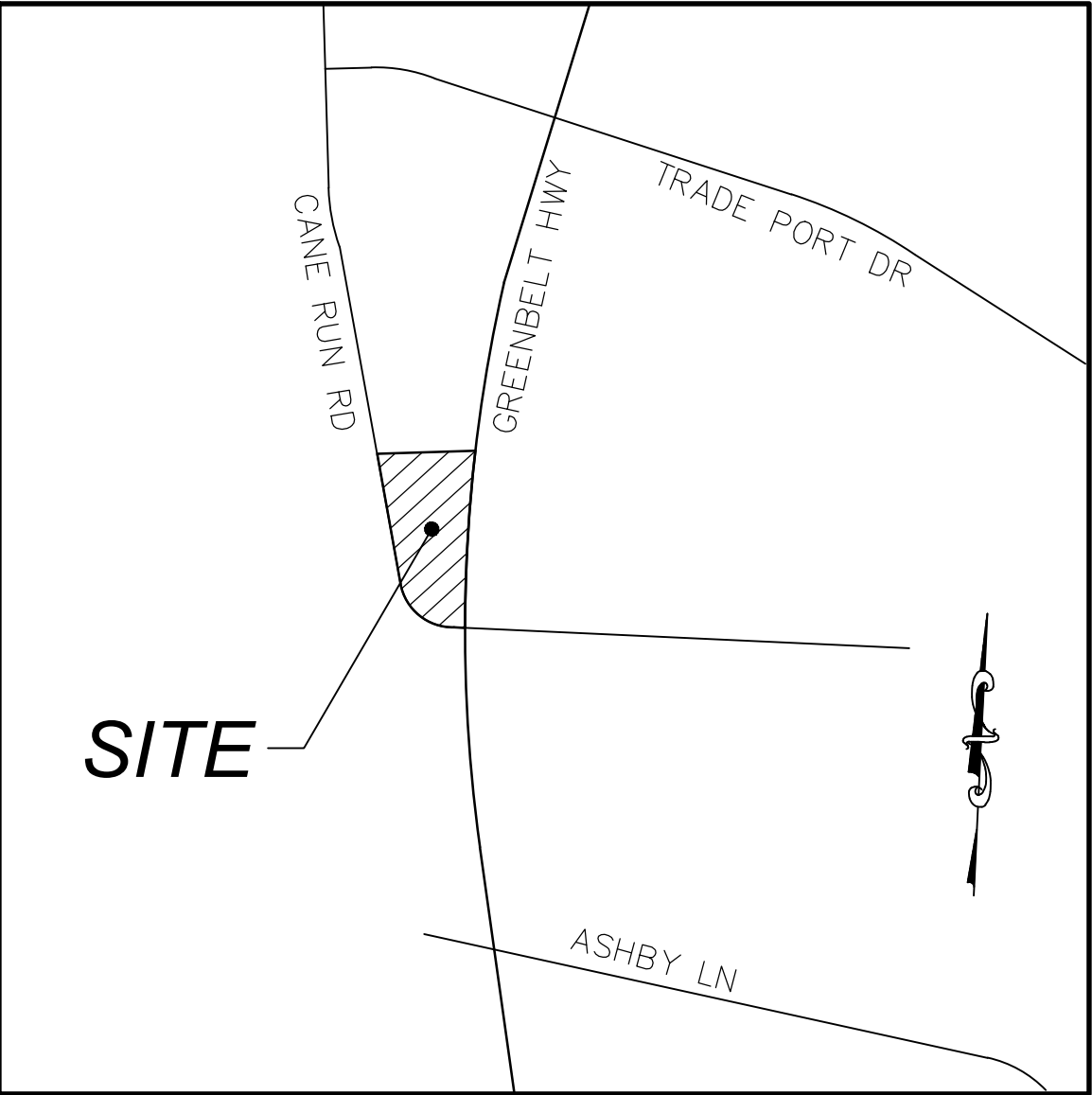
OWNER:  
NEWCOMB REALTY, LLC  
951 WITHROW COURT  
BARDSTOWN, KY 40004-2672

| REVISIONS |                             |          |
|-----------|-----------------------------|----------|
| NO.       | DESCRIPTION                 | DATE     |
| 1         | REVISED PER AGENCY COMMENTS | 04/21/25 |
|           |                             |          |
|           |                             |          |
|           |                             |          |
|           |                             |          |

PE PROJ. # 224039-E1  
**MARCH 14, 2025**

**COVER SHEET**  
**C0.0**

SITE CONSTRUCTION PLANS  
FIVESTAR #5301  
9501 CANE RUN ROAD  
LOUISVILLE, KENTUCKY 40258



Vicinity Map  
Not To Scale

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RESOURCE LIST:

ELECTRIC  
LG&E  
6900 ENTERPRISE DRIVE  
LOUISVILLE, KENTUCKY 40214  
Ph: (502) 537-7084  
Fax: (502) 217-2303  
TROY CRAWFORD  
TROY.CRAWFORD@LGE-KU.COM

NATURAL GAS  
LG&E  
6900 ENTERPRISE DRIVE  
LOUISVILLE, KENTUCKY 40214  
Ph: (502) 364-8737  
Fax: (502) 217-3000  
JASON OWENS  
JASON.OWENS@LGE-KU.COM

WATER  
LOUISVILLE WATER COMPANY  
550 SOUTH THIRD STREET  
LOUISVILLE, KENTUCKY 40202  
(502) 569-3600 EXT. 2243  
KERI ALLEN  
KEALLEN@LWCKY.COM

SANITARY SEWER  
METROPOLITAN SEWER DISTRICT  
700 WEST LIBERTY STREET  
LOUISVILLE, KENTUCKY 40203  
(502) 540-6245  
KEN ROGERS  
KENNETH.ROGERS@LOUISVILLEMSD.ORG

STORM WATER  
METROPOLITAN SEWER DISTRICT  
700 WEST LIBERTY STREET  
LOUISVILLE, KENTUCKY 40202  
(502) 540-6613  
MARK A. SITES, PE  
MARK.SITES@LOUISVILLEMSD.ORG

PUBLIC WORKS  
PUBLIC WORKS AND ASSETS  
444 SOUTH FIFTH STREET SUITE 400  
LOUISVILLE, KENTUCKY 40202  
(502) 574-3875  
BETH STUBER

PLANNING COMMISSION  
PLANNING & DESIGN SERVICES  
444 SOUTH FIFTH STREET SUITE 300  
LOUISVILLE, KENTUCKY 40202  
(502) 574-6230

STATE ROADS  
KENTUCKY TRANSPORTATION CABINET  
DEPARTMENT OF HIGHWAYS  
DISTRICT OFFICE NO. 5  
8310 WESTPORT ROAD  
LOUISVILLE, KENTUCKY 40242  
(502) 210-5400  
JASON RICHARDSON  
JASONR.RICHARDSON@KY.GOV

FIRE PROTECTION DISTRICT  
PLEASURE RIDGE PARK  
9500 STONESTREET ROAD  
LOUISVILLE, KY 40272  
502-935-3878  
CHIEF'S ASSISTANT  
COLONEL ZION JASON MEIMAN, FIRE CHIEF  
502-935-3878  
EFAX: 502-688-6583  
JMEIMAN@PRPFIRE.ORG





DEMOLITION NOTES

- ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
- WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED, THIS INCLUDES ALL PERMITTING AND APPROVALS RELATING TO REMOVAL OF THE EXISTING FUEL STORAGE TANKS. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF BUILDING DEMOLITION DEBRIS.
- THE DETAILED PLANS MAY NOT REFLECT ALL UTILITIES ON THE SITE OR SURROUNDING STREETS AND PROPERTIES. THE CONTRACTOR SHALL VERIFY LOCATIONS AND EXISTENCE OF UTILITY SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL "KENTUCKY 811" AT 1-800-752-6007 OR 811, 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR TO REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND CAP SERVICE PIPING AT THE PROPERTY LINE OR MAIN (AS REQUIRED). ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN.
- FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPES, ETC.
- BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL REPORT, IF APPLICABLE.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPES, PAVEMENT, CURBS, SIDEWALKS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER OR AUTHORITY HAVING JURISDICTION.
- ALL BUILDINGS, FOUNDATION WALLS AND FOOTINGS INDICATED ON THIS PLAN TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS AND PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE REMOVED BY THE GENERAL CONTRACTOR USING A LICENSED HAZARDOUS MATERIAL CONTRACTOR, IF APPLICABLE.

LEGEND

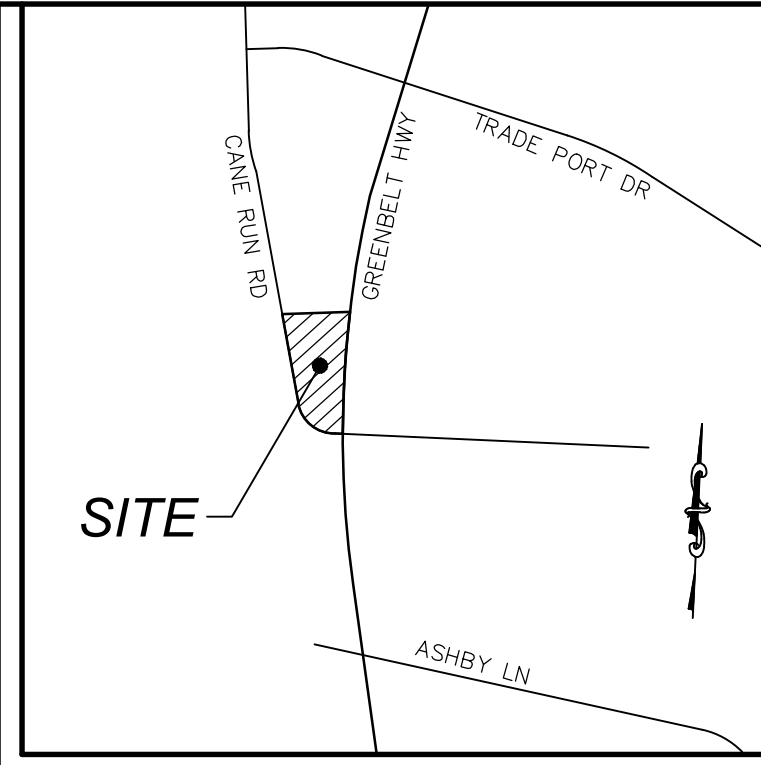
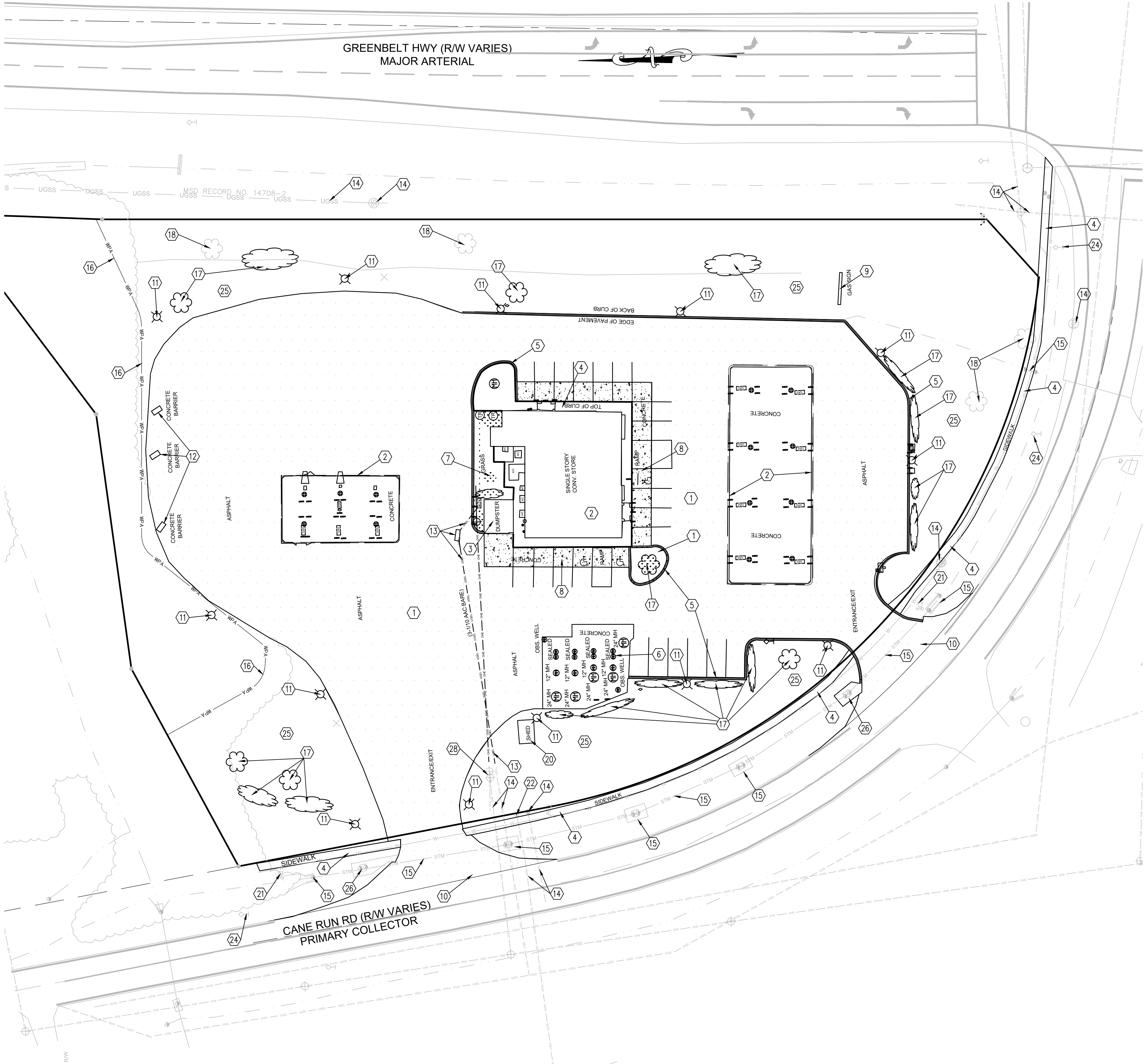
SEE SHEET C0.1 FOR LEGEND

UTILITY NOTE

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY TRAVIS NORMAN GROUP. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. INDIVIDUAL SERVICE LINES ARE NOT SHOWN.

UTILITY PROTECTION NOTE

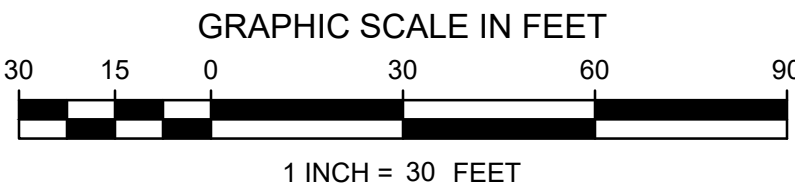
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Vicinity Map  
Not To Scale

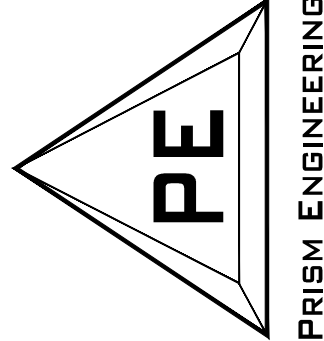
KEYNOTES

- EXISTING PAVEMENT TO BE REMOVED (FULL DEPTH).
- REMOVE ALL BUILDINGS, CANOPIES, FUEL PUMPS COMPLETELY, INCLUDING ALL PIPING, CONDUITS, UTILITY SERVICES, FIXTURES, FOUNDATIONS AND RELATED IMPROVEMENTS.
- EXISTING DUMPSTER ENCLOSURE TO BE REMOVED.
- EXISTING SIDEWALK TO BE REMOVED.
- EXISTING CURB TO BE REMOVED.
- EXISTING UNDERGROUND FUEL TANKS TO BE REMOVED.
- EXISTING INTERIOR LANDSCAPE TO BE REMOVED.
- EXISTING CONCRETE PAVEMENT TO BE REMOVED.
- EXISTING SIGN AND RELATED CIRCUITRY TO BE REMOVED.
- SAWCUT EXISTING EDGE OF PAVEMENT TO ACCOMMODATE PROPOSED DRIVEWAY CONSTRUCTION.
- EXISTING LIGHT POLE AND RELATED CIRCUITRY TO BE REMOVED.
- EXISTING CONCRETE BARRIER TO BE REMOVED.
- EXISTING UTILITY TO BE REMOVED, SEE UTILITY PLANS, C5.0. COORDINATE ALL WORK WITH AFFECTED UTILITY.
- EXISTING UTILITY TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING STORM SEWER/STRUCTURE TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING WOODLAND PROTECTION AREA (WPA) TO REMAIN. THERE SHALL BE NO DISTURBANCE IN THIS AREA.
- EXISTING TREE TO BE REMOVED.
- EXISTING TREE TO REMAIN.
- EXISTING SIGN TO BE REMOVED.
- EXISTING SHED TO BE REMOVED.
- EXISTING FIRE HYDRANT TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING WATER METER AND SERVICE CONNECTION TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING DITCH TO BE CLEARED OF ALL VEGETATION AND FLOWLINE RE-ESTABLISHED. SEE DRAINAGE PLAN, SHEET C4.0.
- EXISTING SIGN TO REMAIN.
- CLEAR AND GRUB AREAS AS NEEDED FOR CONSTRUCTION OF PROPOSED WORK. TOPSOIL AND ANY UNSUITABLE MATERIALS SHALL BE REMOVED.
- MODIFY EXISTING DRAINAGE STRUCTURE. SEE DRAINAGE PLAN, SHEET C4.0.
- NOT USED.
- RELOCATE EXISTING UTILITY POLE. SEE SITE UTILITIES PLAN, SHEET C5.0.



PE PROJ. # 224039-E1

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**SITE DEMOLITION PLAN**  
**FIVESTAR #5301**  
9501 CANE RUN ROAD  
LOUISVILLE, KENTUCKY 40258

| REVISIONS |                           | DATE     |
|-----------|---------------------------|----------|
| NO.       | DESCRIPTION               |          |
| 1         | REVISED PER AGENCY REVIEW | 04/21/25 |
| 2         | REVISED SIDEWALK PER KYTC | 05/28/25 |

|   |                |                             |  |
|---|----------------|-----------------------------|--|
| OWNER:<br>NEWCOMB REALTY, LLC<br>BARDSTOWN, KY 40004-2672 |                | CHECK: APPROVE:<br>BY: # JH |  |
| DRAWN:<br>BY: CMK   | CHECK:<br># JH | APPROVE:<br>BY: JH          |  |

MARCH 14, 2025

SITE DEMOLITION PLAN

C1.0

SITE SUMMARY

EXISTING ZONING DISTRICT: C-1  
FORM DISTRICT: NEIGHBORHOOD  
COUNCIL DISTRICT: 14  
FIRE PROTECTION DISTRICT: PLEASURE RIDGE PARK  
TAX BLOCK 1047, LOT NO. 1020  
D.B. 9670, PG. 224  
EXISTING USE: CONVENIENCE STORE WITH FUEL  
PROPOSED USE: CONVENIENCE STORE WITH FUEL  
PROPOSED BUILDING AREA: 6,519 S.F.  
FLOOR AREA RATIO: 0.05  
HEIGHT: 23'  
SITE ACREAGE: 2.989 AC. (130,204 S.F.)

PARKING SUMMARY

PROPOSED BUILDING: 6,519 S.F.  
CONVENIENCE STORE  
PARKING REQUIREMENTS (MINIMUM)  
1 PARKING SPACE PER 500 S.F. = 13 SPACES  
PARKING REQUIREMENTS (MAXIMUM)  
1 PARKING SPACE PER 250 S.F. = 26 SPACES  
PARKING PROVIDED = 37 SPACES (WAIVER APPROVED  
BY DRC UNDER CASE NO. 24-PARKWAIVER-0018)

BICYCLE PARKING

BICYCLE SPACES = 3 SPACES REQUIRED  
BICYCLE SPACES PROVIDED = 4 SPACES

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL WORK WITH THE ARCHITECTURAL AND MEP DRAWINGS AND ALL AFFECTED UTILITY COMPANIES.
- A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- ALL GRASS/LAWN AREAS SHALL BE GRADED TO DRAIN PER PLAN. MINIMUM SLOPE ON GRASS/LAWN AREAS SHALL BE 2 PERCENT.
- ALL SPOT ELEVATIONS ARE FINISHED GRADE UNLESS NOTED OTHERWISE.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION.
- AN EROSION PREVENTION AND SEDIMENT CONTROL PLAN SHALL BE INSTALLED, MAINTAINED AND REPORTS MAINTAINED PER ALL LOCAL, STATE, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
- ALL CASTINGS THAT WILL REMAIN TO BE ADJUSTED TO FINISHED GRADE.

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE AS NOTED ON PLANS.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER ADA STANDARDS.

LEGEND

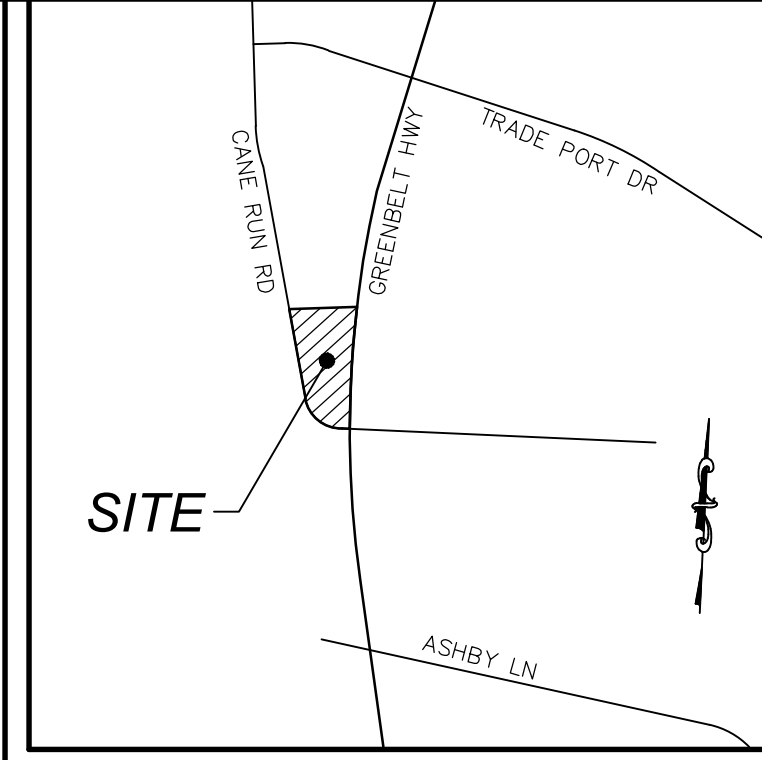
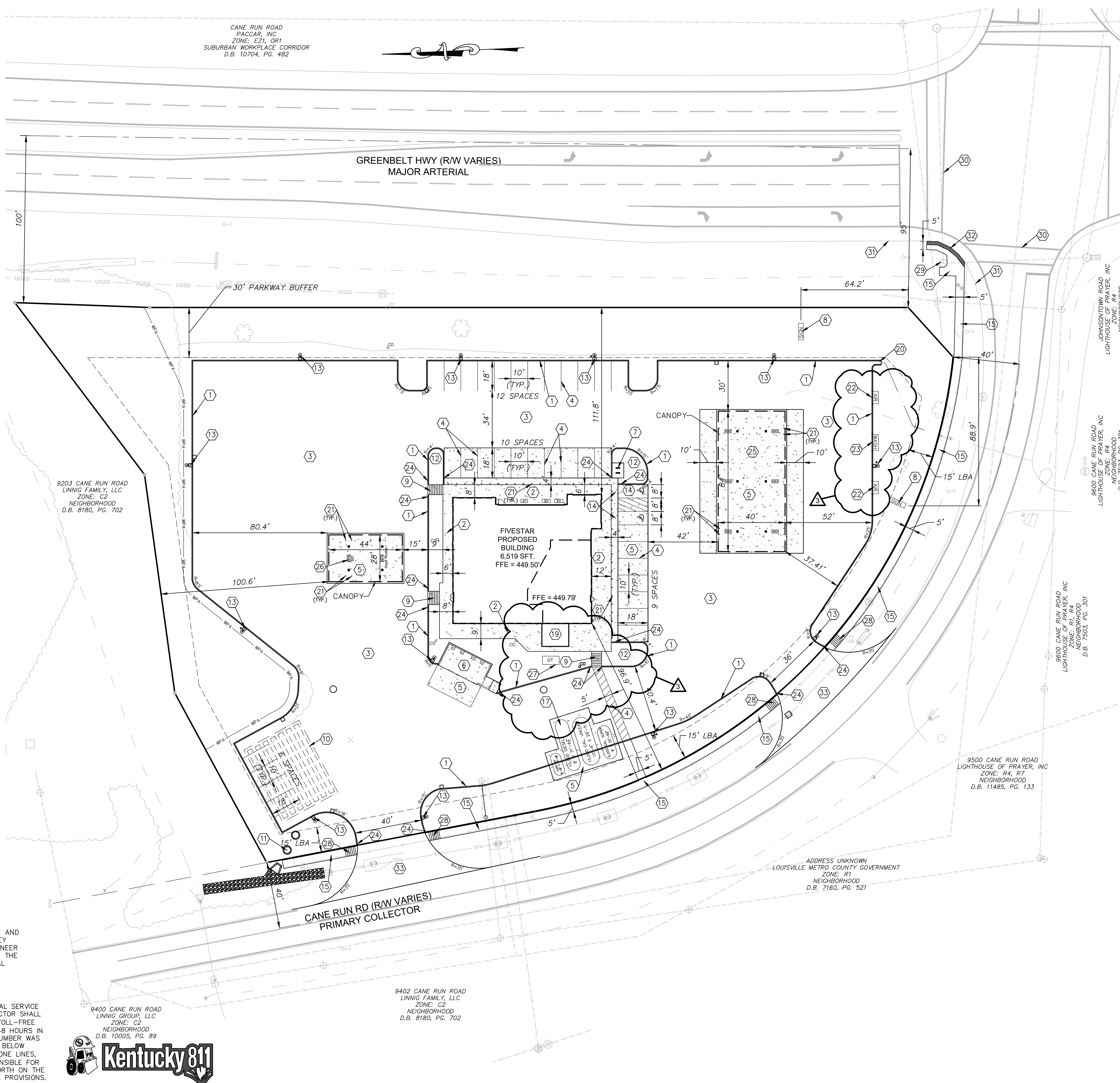
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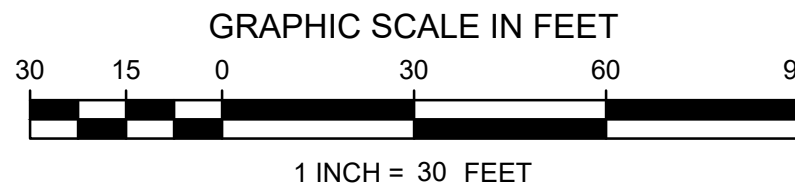
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Vicinity Map  
Not To Scale

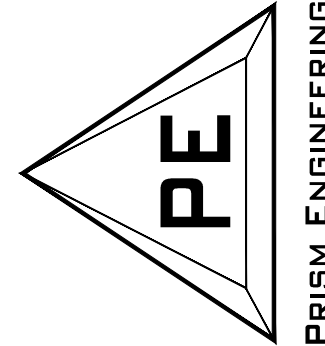
KEY NOTES

- CONCRETE CURB SEE DETAIL 2/C7.1.
- CONCRETE SIDEWALK. SEE DETAIL 1/C7.1.
- ASPHALT PAVEMENT. SEE DETAIL 3/C7.1.
- PAVEMENT MARKING. (2 COATS YELLOW TRAFFIC PAINT).
- CONCRETE PAVEMENT. SEE DETAIL 3/C7.1.
- DUMPSTER ENCLOSURE. SEE DETAIL 4/C7.1. ENCLOSURE WALL HEIGHT SHALL BE A MINIMUM ONE FOOT ABOVE THE DISPOSAL CONTAINER WITH A MINIMUM HEIGHT OF 6' AND A MAXIMUM HEIGHT OF 8'.
- BICYCLE RACK. SEE DETAIL 5/C7.0.
- PROPOSED SIGN (DESIGN AND PERMITTING BY OTHERS).
- ADA COMPLIANT CURB RAMP.
- UNDERGROUND DETENTION SYSTEM. SEE SHEET DRAINAGE PLAN.
- STORMWATER QUALITY UNIT. SEE DRAINAGE PLAN.
- LAWN/LANDSCAPE. SEE LANDSCAPE PLAN.
- SITE LIGHTING - SEE LIGHT POLE BASE DETAIL 7/C7.1.
- ADA ACCESSIBLE PARKING - SEE DETAILS 8/C7.1
- SIDEWALK WITHIN RIGHT-OF-WAY TO BE CONSTRUCTED PER ALL KYTC STANDARD DRAWINGS AND SPECIFICATIONS, LATEST VERSION.
- NOT USED.
- UNDERGROUND FUEL STORAGE TANKS. (DESIGN AND PERMITTING BY OTHERS).
- NOT USED
- COOLER. SEE ARCHITECTURAL AND MEP DRAWINGS.
- CONCRETE FLUME - SEE DETAIL 3/C7.0.
- BOLLARD - SEE DETAIL 10/C7.1.
- AIR STAND. SEE DETAIL 6/C7.1.
- WASH STAND. SEE DETAIL 5/C7.1.
- TAPER CURB FROM 6" HEIGHT TO FLUSH WITH PAVEMENT IN 2 FEET.
- PUMP ISLANDS. SEE DETAIL 9/C7.1 FOR PUMP ISLAND AREA LAYOUT PLAN.
- DIESEL PUMP ISLANDS. SEE DETAIL 11/C7.1 FOR PUMP ISLAND AREA LAYOUT PLAN.
- GREASE TRAP. SEE SITE UTILITIES PLAN, SHEET C5.0.
- CURB RAMP PER KYTC STD. DWG. RPM-170.
- EXISTING SIGNAL STRAIN POLE WITH PEDESTRIAN DETECTORS.
- EXISTING CROSSWALK.
- EDGE OF EXISTING CONCRETE PAVEMENT.
- DETECTABLE WARNINGS PER KYTC STD. DWG. RGX-040-03.
- ASPHALT PAVEMENT SECTION WITHIN KYTC RIGHT OF WAY SHALL BE THE FOLLOWING:  
1.5" OF CLASS 2 ASPHALT SURFACE ON  
4" OF CLASS 2 ASPHALT BASE ON  
9" OF DENSE GRADED AGGREGATE.  
SEE DETAIL 3/C7.1.



PE PROJ. # 224039-E1

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**SITE PLAN**  
**FIVESTAR #5301**  
9501 CANE RUN ROAD  
LOUISVILLE, KENTUCKY 40258

| REVISIONS |                           | DATE     |
|-----------|---------------------------|----------|
| NO.       | DESCRIPTION               |          |
| 1         | REVISED PER AGENCY REVIEW | 04/21/25 |
| 2         | REVISED PER KYTC REVIEW   | 05/28/25 |
| 3         | REVISED PER CLIENT        | 07/31/25 |

| OWNER:  |    | CHECK |      | APPROVE |      |
|---|----|-------|------|---------|------|
| NEWCOMB REALTY, LLC<br>BARDETOWN, KY 40004-2672 | BY | #     | DATE | BY      | DATE |
|   |    |       |      |         |      |

MARCH 14, 2025

SITE PLAN

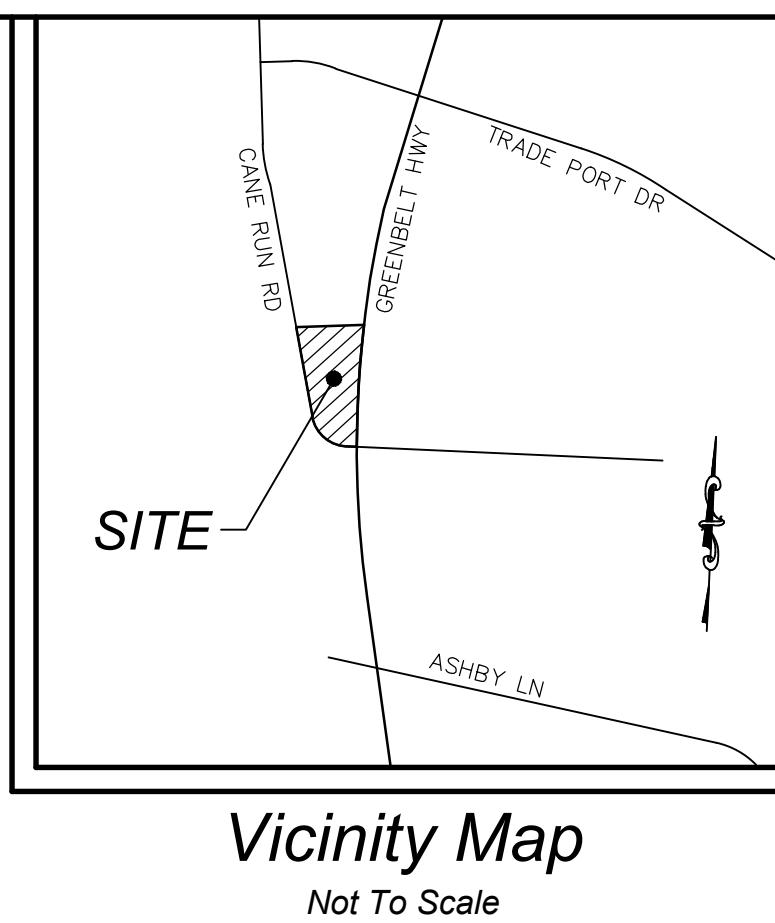
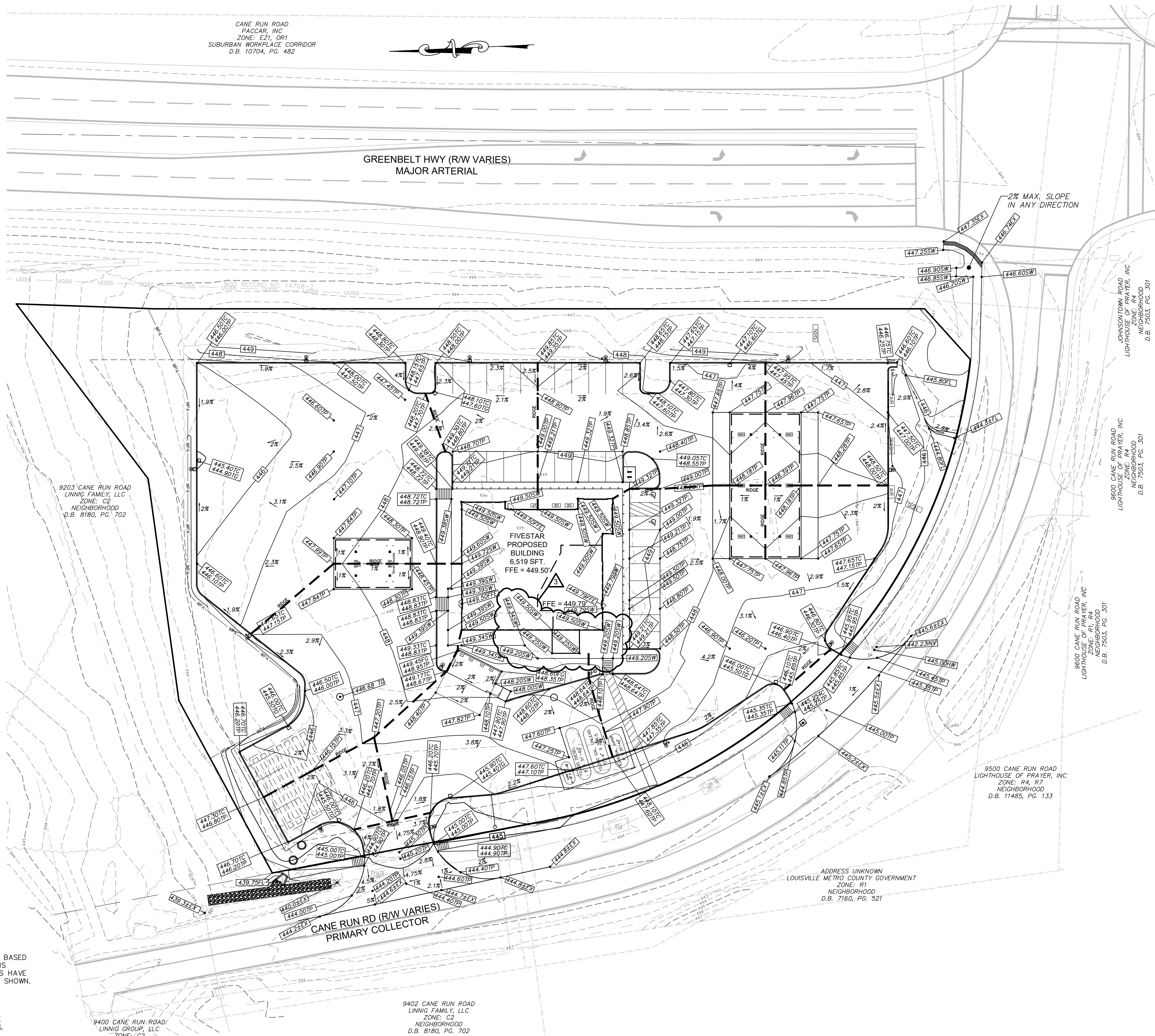
C2.0

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE ALL WORK WITH THE ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS AND ALL AFFECTED UTILITY COMPANIES.
3. A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
4. ALL GRASS/LAWN AREAS SHALL BE GRADED TO DRAIN.
5. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
6. ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION.
7. AN EROSION PREVENTION AND SEDIMENT CONTROL PLAN SHALL BE INSTALLED, MAINTAINED AND REPORTS MAINTAINED PER ALL LOCAL, STATE, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
8. ALL EXISTING CASTINGS THAT ARE TO REMAIN SHALL BE ADJUSTED TO GRADE.

SEE SHEET C0.1 FOR LEGEND

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY TRAVIS NORMAN GROUP. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. INDIVIDUAL SERVICE LINES ARE NOT SHOWN.

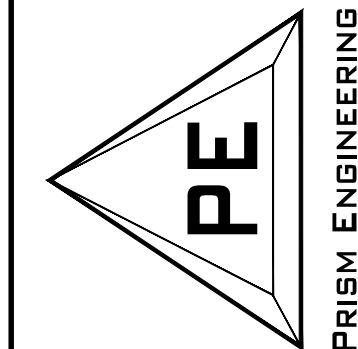
ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE, PHONE NO. 1-800-752-6007 OR LOCAL 502-266-5123), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



*Vicinity Map*  
*Not To Scale*

PE PROJ. # 224039-E1

**PRISM  
ENGINEERING**  
2309 WATTERSON TRAIL, SUITE 200  
LOUISVILLE, KENTUCKY 40299  
OFFICE: (502) 491-8891  
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[WWW.PRISM-CIVIL.COM](http://WWW.PRISM-CIVIL.COM)



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**GRADING PLAN  
FIVESTAR #5301**

9501 CANE RUN ROAD  
LOUISVILLE KENTUCKY 40258

| REVISIONS |   |          |
|-----------|---|----------|
| NO.       | DESCRIPTION                             | DATE     |
| 1         | REVISED FUEL CANOPY PAD/ENTRANCE GRADES | 04/21/25 |
| 2         | REVISED SIDEWALK PER KYTC               | 05/28/25 |
| 3         | REVISED PER CLIENT                      | 07/31/25 |
|           |   |          |
|           |   |          |

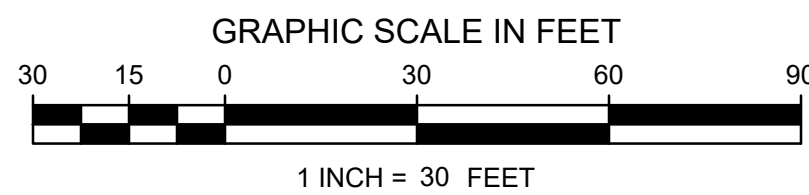
OWNER:  
NEWCOMB REALTY, LLC

| DRAWN BY | CHECK #1 | CHECK #2 | APPROVE BY |
|----------|----------|----------|------------|
|----------|----------|----------|------------|

MARCH 14, 2025

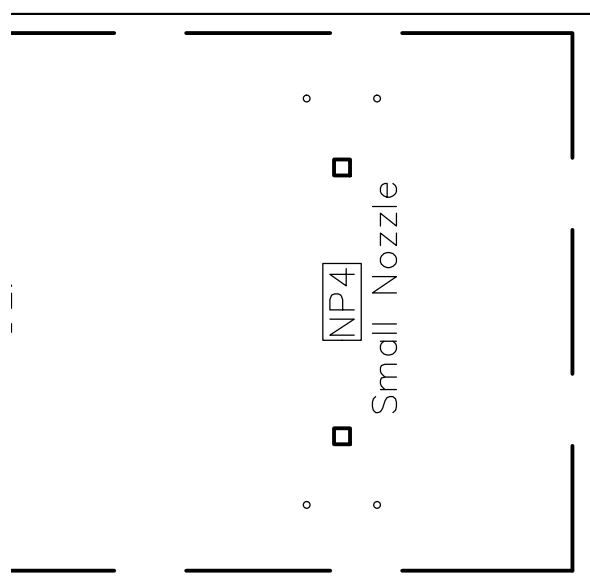
## GRADING PLAN

### C3.0



GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE ALL WORK WITH THE ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS AND ALL AFFECTED UTILITY COMPANIES.
3. A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
4. ALL GRASS/LAWN AREAS SHALL BE GRADED TO DRAIN.
5. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
6. ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION.
7. AN EROSION PREVENTION AND SEDIMENT CONTROL PLAN SHALL BE INSTALLED, MAINTAINED AND REPORTS MAINTAINED PER ALL LOCAL, STATE, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
8. ALL EXISTING CASTINGS THAT ARE TO REMAIN SHALL BE ADJUSTED TO GRADE.



LEGEND

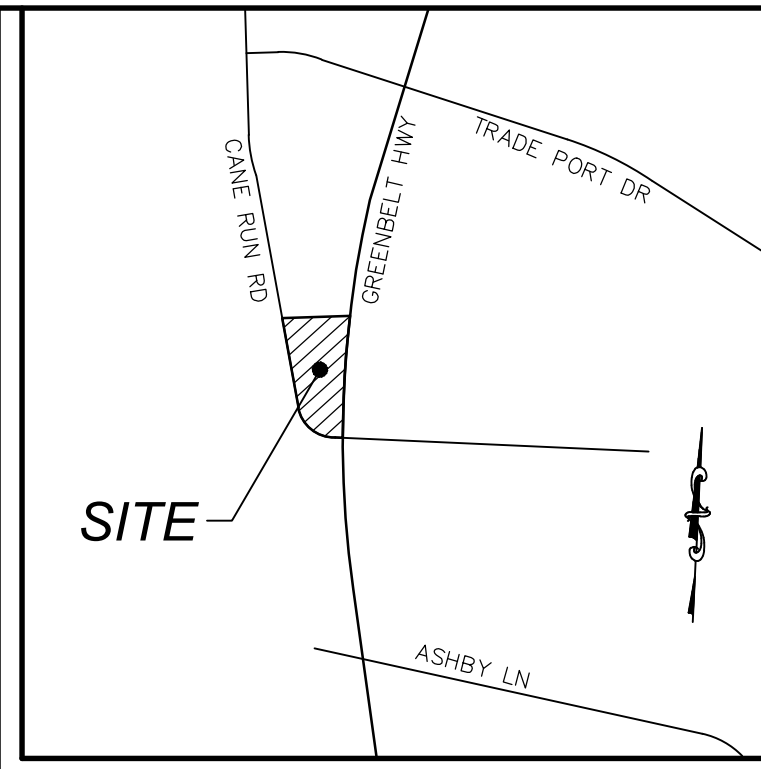
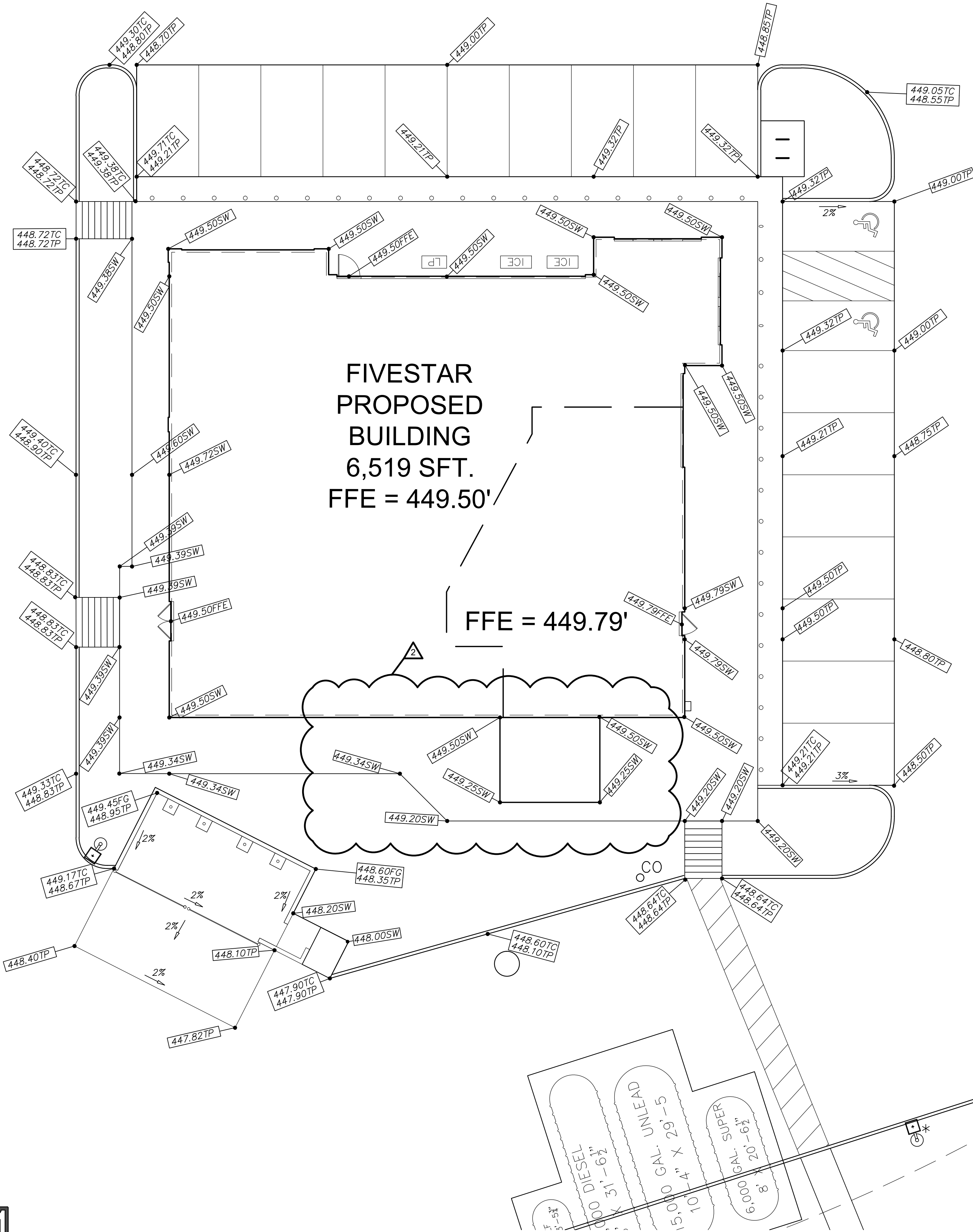
SEE SHEET C0.1 FOR LEGEND

UTILITY NOTE

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY TRAVIS NORMAN GROUP. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. INDIVIDUAL SERVICE LINES ARE NOT SHOWN.

UTILITY PROTECTION NOTE

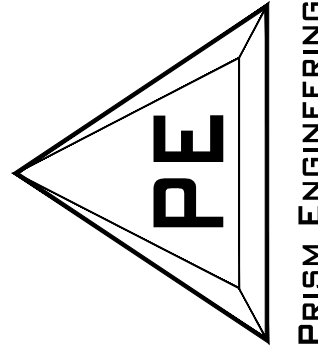
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Vicinity Map  
Not To Scale

PE PROJ. # 224039-E1

**PRISM**  
ENGINEERING  
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ENLARGED GRADING PLAN  
FIVESTAR #5301

9501 CANE RUN ROAD  
LOUISVILLE, KENTUCKY 40258

| NO. | REVISIONS               | DESCRIPTION | DATE     |
|-----|-------------------------|-------------|----------|
|     |                         |             |          |
| 1   | ADDED SHEET TO PLAN SET |             | 04/21/25 |
| 2   | REVISED PER CLIENT      |             | 07/31/25 |

|   |                    |                   |                     |            |
|---|--------------------|-------------------|---------------------|------------|
| OWNER:<br>NEWCOMB REALTY, LLC<br>BARDSTOWN, KY 40004-2672 | DRAWN<br>BY<br>CHK | CHECK<br>#<br>CHK | APPROVE<br>#<br>CHK | DATE<br>JH |
|   |                    |                   |                     |            |

MARCH 14, 2025

ENLARGED GRADING PLAN

C3.1



## GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL WORK WITH THE ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS AND ALL AFFECTED UTILITY COMPANIES.
- A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- ALL GRASS/LAWN AREAS SHALL BE GRADED TO DRAIN.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION.
- AN EROSION PREVENTION AND SEDIMENT CONTROL PLAN SHALL BE INSTALLED, MAINTAINED AND REPORTS MAINTAINED PER ALL LOCAL, STATE, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
- ALL EXISTING CASTINGS THAT ARE TO REMAIN SHALL BE ADJUSTED TO GRADE.
- ROOF DRAINS TO DISCHARGE TO STORM SEWER.

- THE EXISTING CHANNEL IN THE RIGHT OF WAY TO BE PROTECTED WITH 15" CLASS II CHANNEL LINING PER SECTION 703 OF THE KYTC STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OVER GEOTEXTILE FABRIC (TYPE 1), PER SECTION 214 OF THE KYTC STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CHANNEL LINING TO BE INSTALLED PER KYTC STANDARD DRAWING RDD-040-05: DEPTH TO PROTECT (D) = 18" LINING THICKNESS (T) = 15"

## DRAINAGE AREA SUMMARY

|       | TOTAL AREA (SF) | PERVIOUS AREA (SF) | IMPERVIOUS AREA (SF) | C    | I <sub>10</sub> | I <sub>100</sub> |
|-------|-----------------|--------------------|----------------------|------|-----------------|------------------|
| DA-1  | 11,341          | 11,341             | 0                    | 0.23 | 5.35            | 7.2              |
| DA-2  | 12,209          | 12,209             | 0                    | 0.23 | 5.35            | 7.2              |
| DA-3  | 20,841          | 2,178              | 18,663               | 0.87 | 5.35            | 7.2              |
| DA-4  | 5,474           | 736                | 4,738                | 0.85 | 5.35            | 7.2              |
| DA-5  | 10,042          | 1,228              | 8,814                | 0.87 | 5.35            | 7.2              |
| DA-6  | 17,222          | 11,300             | 5,922                | 0.50 | 5.35            | 7.2              |
| DA-7  | 10,780          | 1,302              | 9,478                | 0.87 | 5.35            | 7.2              |
| DA-8  | 6,417           | 0                  | 6,417                | 0.95 | 5.35            | 7.2              |
| DA-9  | 18,072          | 412                | 17,660               | 0.94 | 5.35            | 7.2              |
| DA-10 | 2,563           | 0                  | 2,563                | 0.95 | 5.35            | 7.2              |
| DA-11 | 10,251          | 1,347              | 8,904                | 0.86 | 5.35            | 7.2              |
| DA-12 | 1,380           | 0                  | 1,380                | 0.95 | 5.35            | 7.2              |
| DA-13 | 3,612           | 0                  | 3,612                | 0.95 | 5.35            | 7.2              |

## DRAINAGE CHART

| PIPE NO. | Q <sub>10</sub> (C.F.S.) | LENGTH (FEET) | SIZE (INCHES) | SLOPE (%) | TC (MIN.) | V (F.P.S.) | Q FULL (C.F.S.) | V FULL (F.P.S.) |
|----------|--------------------------|---------------|---------------|-----------|-----------|------------|-----------------|-----------------|
| LINE "1" |                          |               |               |           |           |            |                 |                 |
| P1       | 9.71                     | 10.2          | 24" HDPE      | 2.0       | 10        | 4.55       | 34.26           | 10.92           |
| P2       | 9.71                     | 10.2          | 24" HDPE      | 2.0       | 10        | 4.74       | 34.26           | 10.89           |
| LINE "2" |                          |               |               |           |           |            |                 |                 |
| P3       | 4.56                     | 35.3          | 18" HDPE      | 0.5       | 10        | 3.87       | 8.13            | 4.60            |
| P4       | 4.41                     | 162.0         | 18" HDPE      | 0.5       | 10        | 3.94       | 8.05            | 4.55            |
| P5       | 2.17                     | 144.5         | 15" HDPE      | 0.5       | 10        | 3.17       | 4.94            | 4.03            |
| P6       | 1.58                     | 174.2         | 12" HDPE      | 0.5       | 10        | 3.07       | 2.73            | 3.47            |
| P7       | 0.41                     | 42.9          | 6" PVC        | 1.0       | 10        | 2.65       | 0.61            | 3.09            |
| LINE "3" |                          |               |               |           |           |            |                 |                 |
| P8       | 0.15                     | 72.0          | 4" PVC        | 1.0       | 10        | 2.54       | 0.21            | 2.34            |
| LINE "4" |                          |               |               |           |           |            |                 |                 |
| P9       | 4.19                     | 67.0          | 15" HDPE      | 1.1       | 10        | 4.35       | 7.40            | 6.03            |
| P10      | 3.09                     | 84.2          | 15" HDPE      | 0.6       | 10        | 3.51       | 5.65            | 4.60            |
| P11      | 2.32                     | 130.9         | 15" HDPE      | 0.7       | 10        | 3.13       | 5.64            | 4.60            |
| LINE "5" |                          |               |               |           |           |            |                 |                 |
| P12      | 0.76                     | 13.7          | 8" PVC        | 1.0       | 10        | 3.64       | 1.32            | 3.76            |
| P13      | 0.76                     | 30.3          | 8" PVC        | 1.0       | 10        | 3.01       | 1.32            | 3.76            |

NOTE: n = 0.012 FOR HDPE & PVC PIPE

## LEGEND

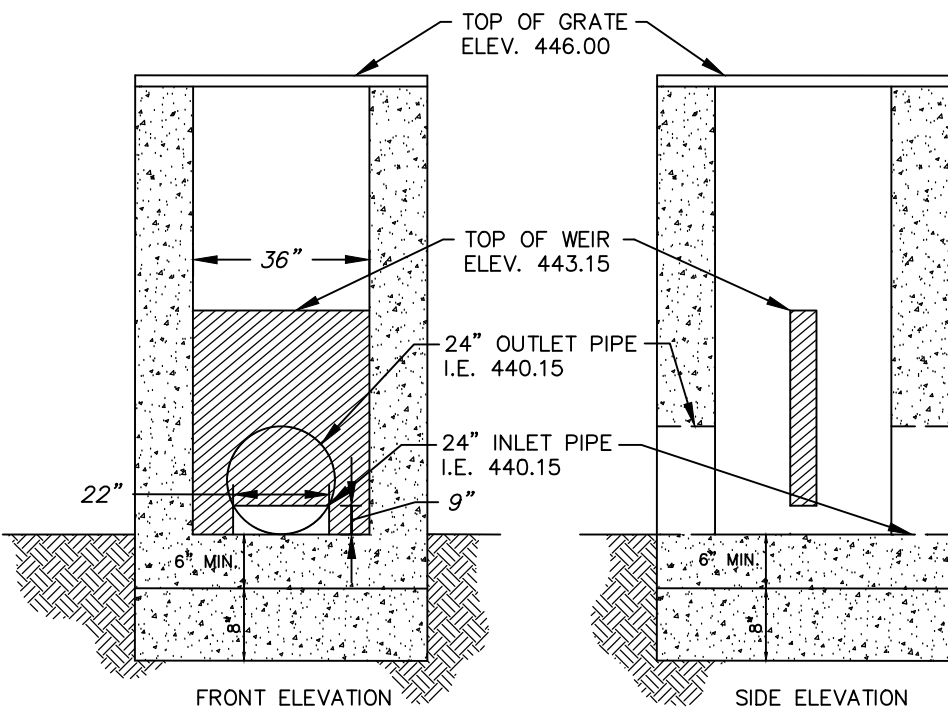
SEE SHEET C0.1 FOR LEGEND

## UTILITY NOTE

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## UTILITY PROTECTION NOTE

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## OUTLET STRUCTURE OS-3

NOT TO SCALE

CANE RUN ROAD  
PACCAR, INC.  
ZONE: E21, OR1  
SUBURBAN WORKPLACE CORRIDOR  
D.B. 10704, PG. 482

GREENBELT HWY (R/W VARIES)  
MAJOR ARTERIAL

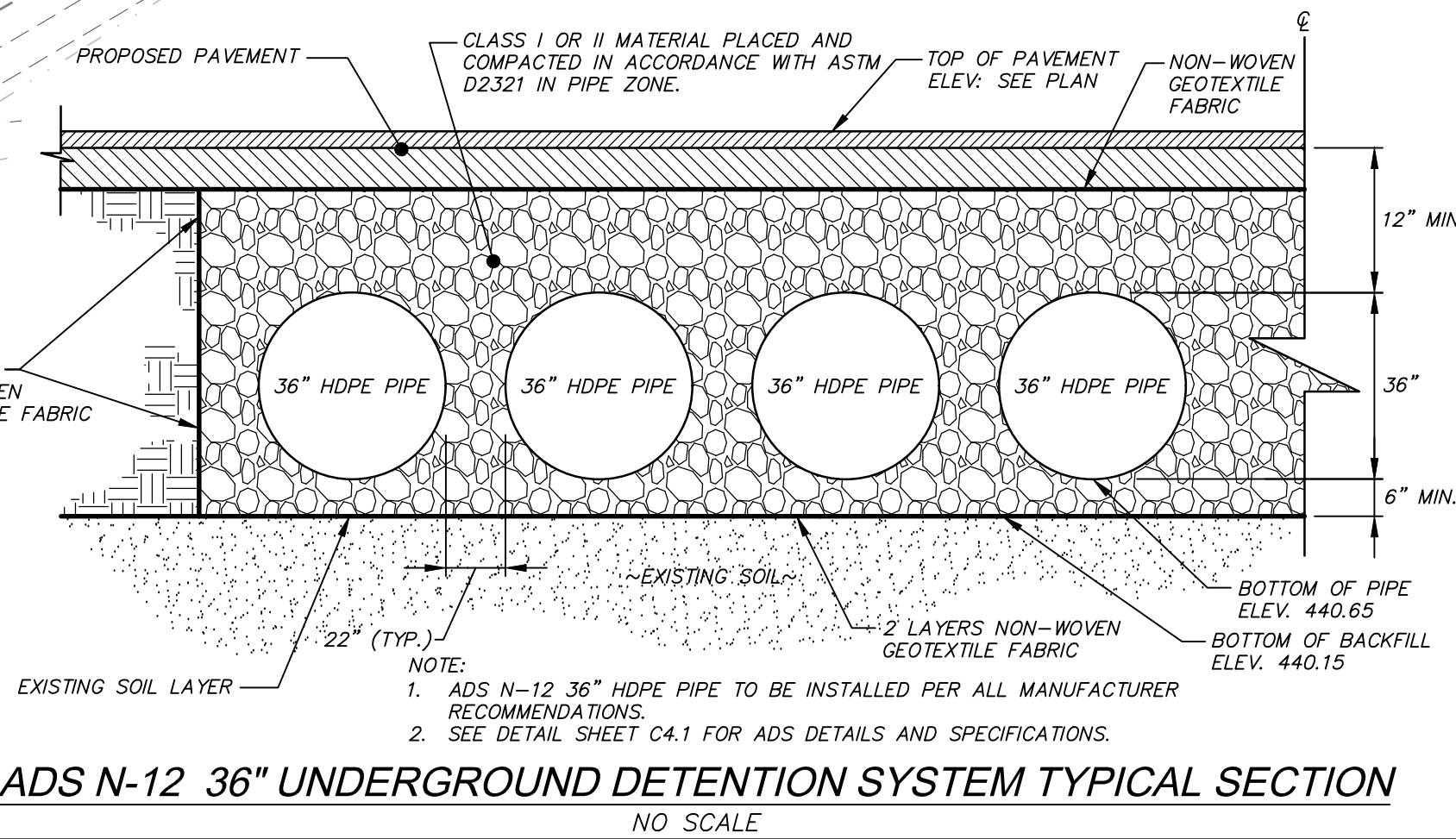
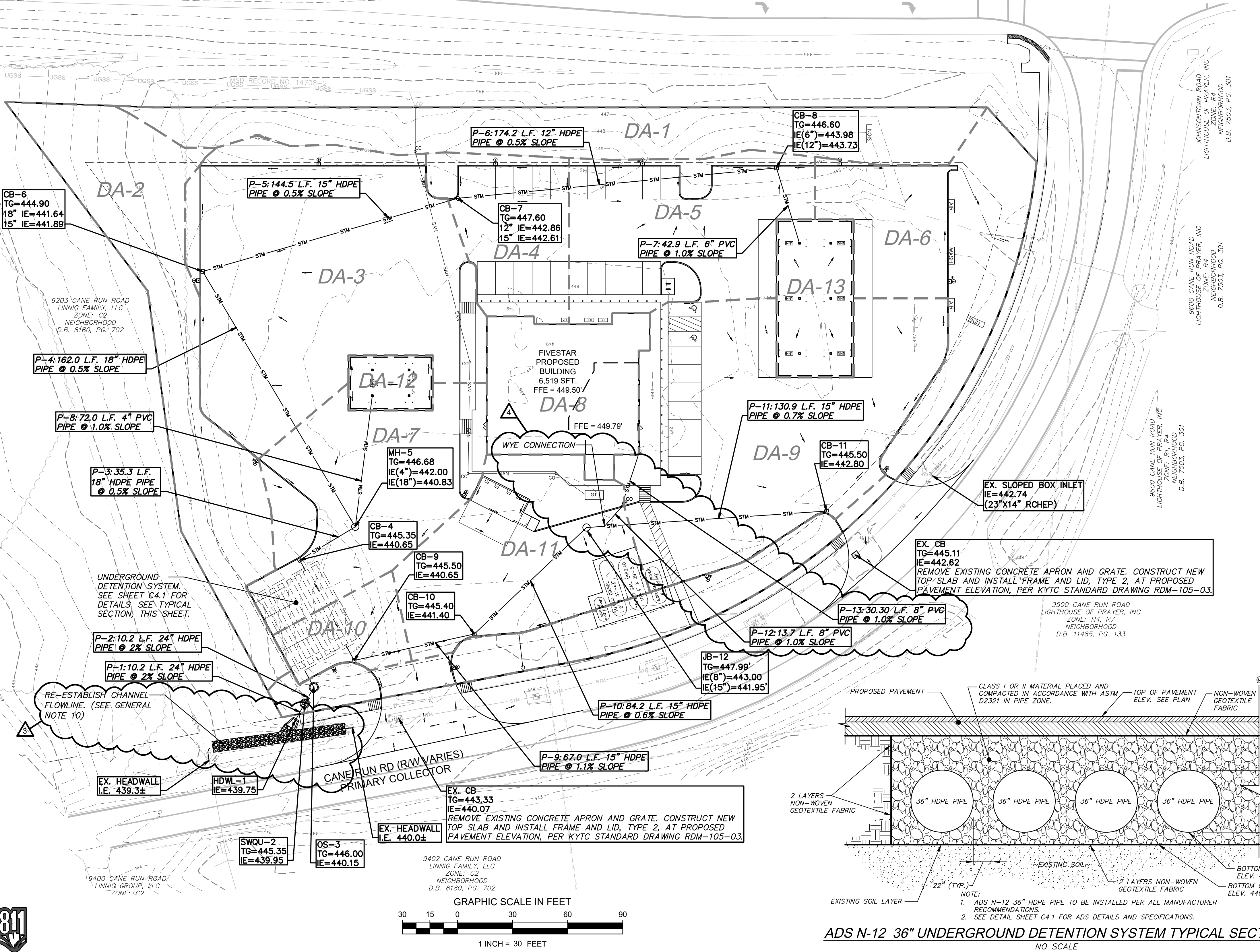
## STORM STRUCTURE DATA TABLE

| STRUCTURE | DESCRIPTION  |
|-----------|--|
| HDWL-1    | SLOPED/FLARED HEADWALL PER KYTC STD. DWG. NO. RDH-020-03.  |
| SWQU-2    | WATER QUALITY UNIT - FIRST DEFENSE OPTIMUM MODEL FD0-4. AS MANUFACTURED BY HYDRO INTERNATIONAL. CONTRACTOR SHALL COORDINATE WITH HYDRO INTERNATIONAL FOR FINAL SPECIFICATIONS. |
| OS-3      | PRECAST CONCRETE STRUCTURE WITH SOLID LID - NEENAH R-1760-A OR APPROVED EQUAL. SEE OUTLET STRUCTURE DETAIL, THIS SHEET.  |
| CB-4      | PRECAST CONCRETE STRUCTURE WITH NEENAH R-3157-1 GRATE OR APPROVED EQUAL.   |
| MH-5      | PRECAST CONCRETE STRUCTURE WITH SOLID LID - NEENAH R-1760-A OR APPROVED EQUAL.   |
| CB-6      | PRECAST CONCRETE STRUCTURE WITH NEENAH R-3157-1 GRATE OR APPROVED EQUAL.   |
| CB-7      | PRECAST CONCRETE STRUCTURE WITH NEENAH R-3157-1 GRATE OR APPROVED EQUAL.   |
| CB-8      | PRECAST CONCRETE STRUCTURE WITH NEENAH R-3157-1 GRATE OR APPROVED EQUAL.   |
| CB-9      | PRECAST CONCRETE STRUCTURE WITH NEENAH R-3157-1 GRATE OR APPROVED EQUAL.   |
| CB-10     | PRECAST CONCRETE STRUCTURE WITH NEENAH R-3157-1 GRATE OR APPROVED EQUAL.   |
| CB-11     | PRECAST CONCRETE STRUCTURE WITH NEENAH R-3157-1 GRATE OR APPROVED EQUAL.   |
| JB-12     | PRECAST CONCRETE STRUCTURE WITH NEENAH R-1760-A GRATE OR APPROVED EQUAL.   |

SITE

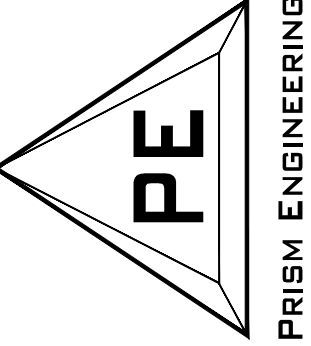
## Vicinity Map

Not To Scale



PE PROJ. # 224039-E1

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## DRAINAGE PLAN FIVESTAR #5301

9501 CANE RUN ROAD  
LOUISVILLE, KENTUCKY 40258

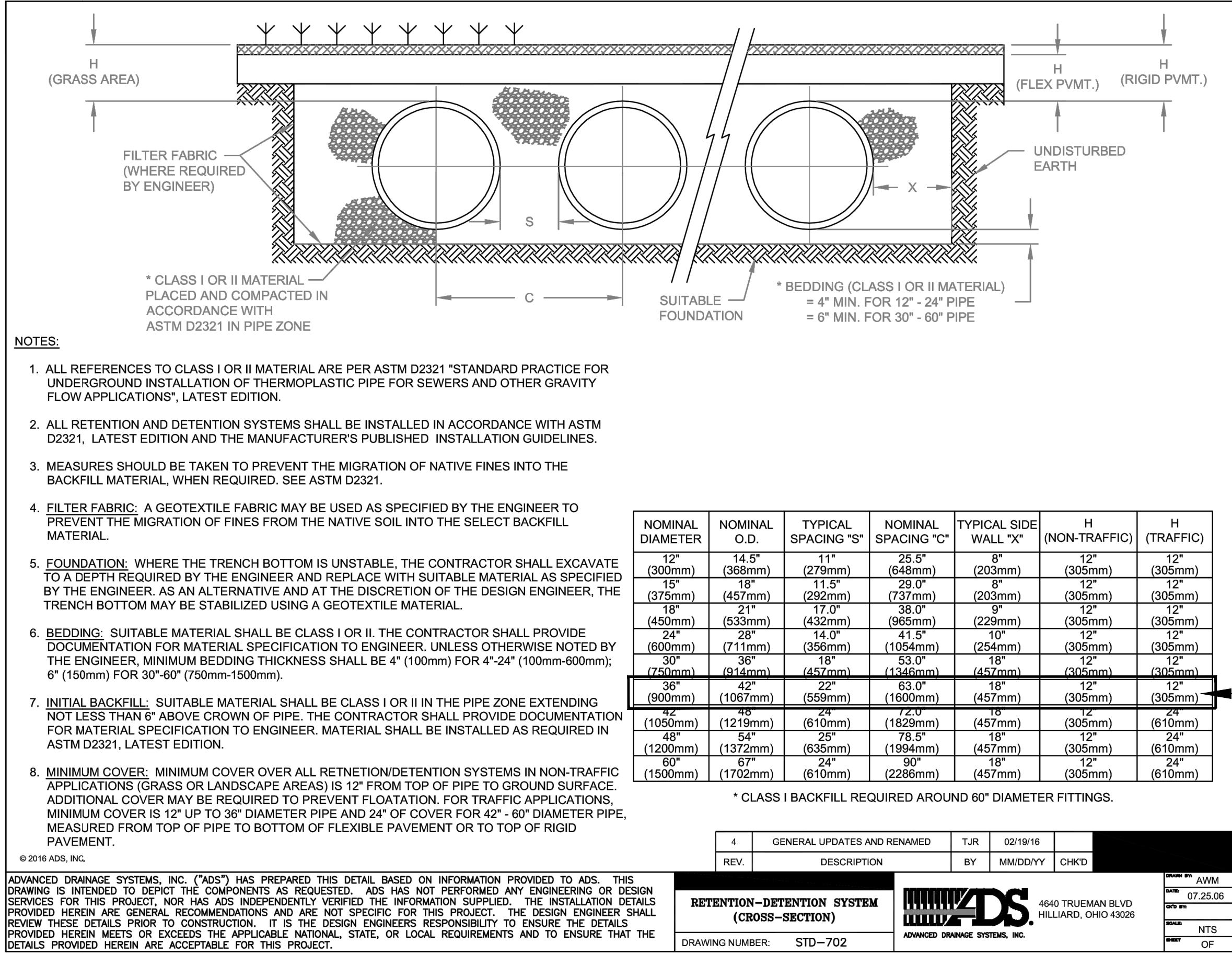
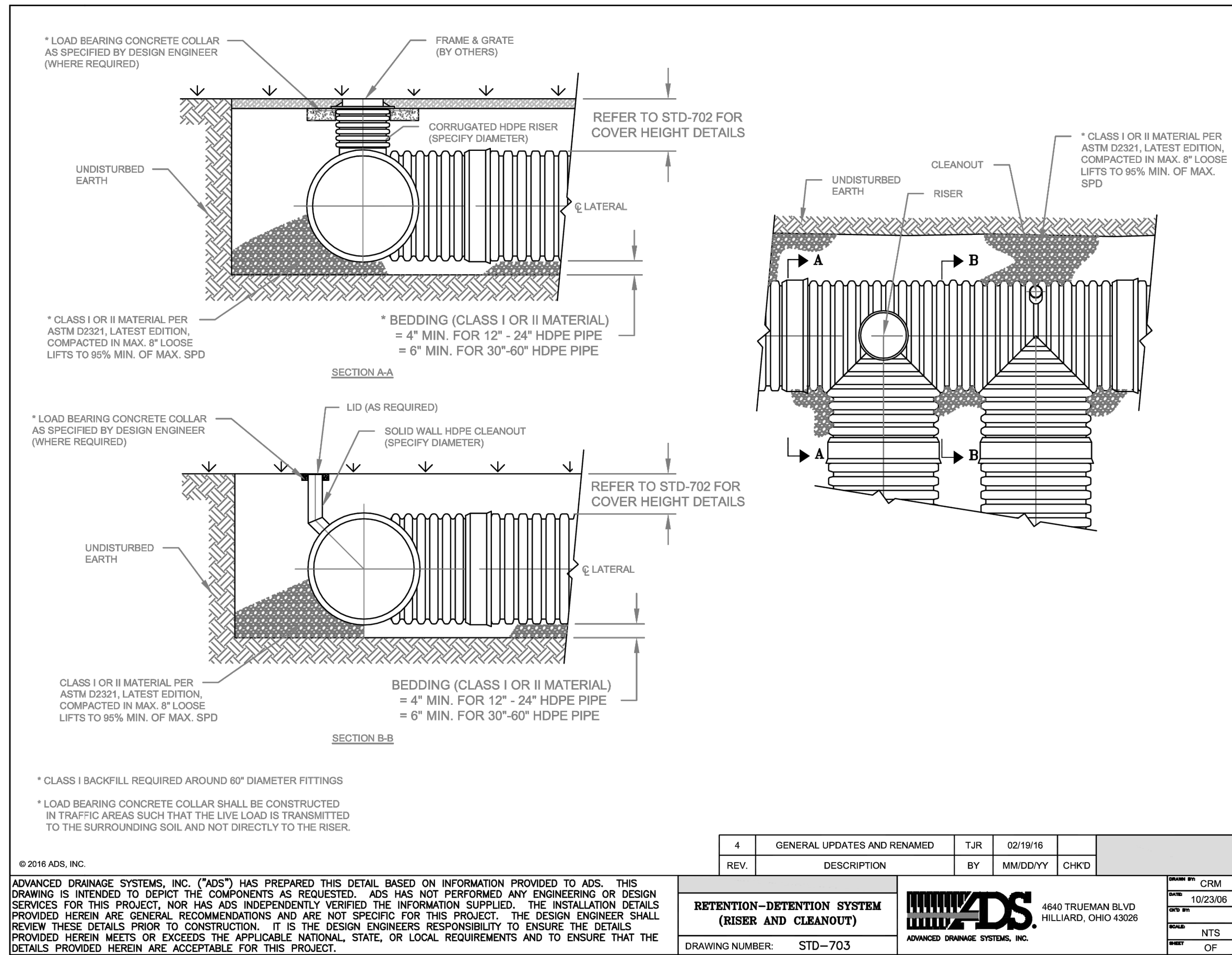
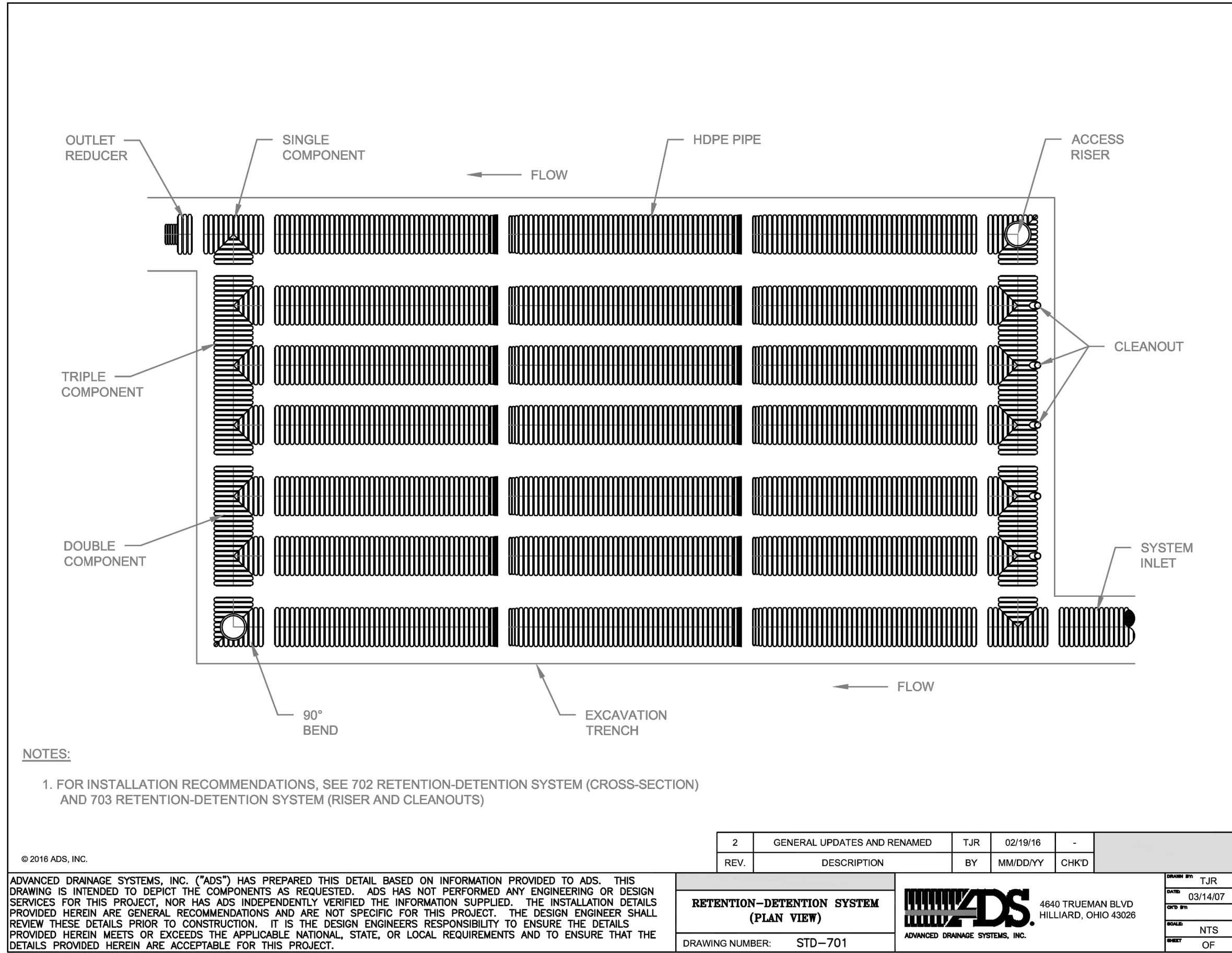
| NO. | DATE     | DESCRIPTION                            |
|-----|----------|--|
| 1   | 04/21/25 | ADDED ROOF DRAIN PIPING                |
| 2   | 04/21/25 | REVISED PER AGENCY REVIEW              |
| 3   | 06/09/25 | REVISED GEN. NOTE ID AND CHANNEL NOTES |
| 4   | 07/31/25 | REVISED PER CLIENT                     |

| OWNER:  | CHECK: | APPROVE: |
|---|--------|----------|
| NEWCOMB REALTY, LLC<br>BARDETOWN, KY 40004-2672 | #1     | #2       |
|   | CHK    | CHK      |

MARCH 14, 2025

## DRAINAGE PLAN

C4.0



UTILITY NOTES

GENERAL

- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF AND/OR COMPLETION AND SUBMITTAL OF THE SERVICE APPLICATION FOR EACH UTILITY SERVICE PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO VERIFY INSPECTION REQUIREMENTS AND LEAD TIMES WITH EACH UTILITY.
- ALL PAVEMENT, CURBS, SIDEWALKS, LANDSCAPING AND OTHER DISTURBED EXISTING FEATURES SHALL BE RESTORED BY THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES (EXISTING AND PROPOSED, INCLUDING CROSSING LOCATIONS) AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITIES WITH ARCHITECTURAL, STRUCTURAL AND MEP PLANS.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION, REMOVAL, RELOCATION AND CONSTRUCTION OF ALL UTILITIES FOR THIS PROJECT.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS.

SANITARY SEWER SERVICE

- COORDINATE THE LOCATION AND INSTALLATION OF THE SANITARY SEWER. PROPOSED SEWER SERVICE TO CONNECT TO EXISTING SERVICE AT PROPERTY LINE. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING SEWER PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL SANITARY SEWER PIPE, MANHOLES, FITTINGS AND APPURTENANCES NECESSARY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- ALL GRAVITY SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC, NSF APPROVED, ASTM D 3034 LATEST REVISION, SDR 35, ELASTOMERIC GASKET JOINTS. GASKETS SHALL MEET ASTM F477 FOR ELASTOMERIC SEAL.
- SEWER TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE ENGINEER AND MEET WITH STATE AND LOCAL REQUIREMENTS, IF REQUIRED.
- SANITARY SERVICE TO THE BUILDING TO BE PROVIDED BY 6" PVC (SDR-35) WITH A MINIMUM SLOPE OF 1.04 PERCENT.
- GREEN METALLIC LOCATER TAPE LABELED "SEWER" MUST BE INSTALLED ABOVE THE SEWER LINE AT MAX. DEPTH OF 30 INCHES.
- COORDINATE SEWER AND GREASE TRAP CONSTRUCTION WITH MEP DRAWINGS AND MSD. GREASE TRAP PLANS SHALL BE SENT TO MSD FOR REVIEW AND APPROVAL.

WATER SERVICE

- COORDINATE THE LOCATION AND INSTALLATION OF THE WATER SERVICE LINES, INCLUDING LANDSCAPE IRRIGATION, IF REQUIRED BY OWNER.
- FURNISH AND INSTALL WATER PIPE, FITTINGS, YARD HYDRANTS, VALVES AND ALL OTHER APPURTENANCES IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND STATE/LOCAL REGULATIONS, INCLUDING FROST DEPTH REQUIREMENTS.
- WATER SERVICE LINES SHALL BE TYPE "K" COPPER, OR OTHER APPROVED MATERIAL, AND OF THE SIZE NOTED ON THE DRAWINGS OR AS APPROVED.
- A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE WATER UTILITY STANDARDS.
- UPON APPLICATION FOR SERVICE AND PAYMENT OF FEES, THE WATER UTILITY IS RESPONSIBLE FOR INSTALLATION OF THE METER PIT, WATER TAP, SERVICE LINE TO THE METER SETTING, CURB BOX (IF REQUIRED), YOKES, CHECK VALVES, AND PRESSURE REGULATOR IF REQUIRED. CONTRACTOR IS RESPONSIBLE FOR THE SERVICE LINE FROM THE METER TO THE BUILDING AS WELL AS ENSURING THE NECESSARY RIGHT-OF-WAY ENCROACHMENT PERMITS HAVE BEEN OBTAINED BY EACH UTILITY, AS NECESSARY.
- A BACKFLOW PREVENTER IS REQUIRED. COORDINATE WITH UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH UTILITY.
- FOR DOMESTIC SERVICE, THE WATER UTILITY TO INSTALL WATER TAP, SERVICE LINE TO METER AND DOMESTIC WATER METER SETTING. CONTRACTOR TO INSTALL 1-1/2" SERVICE LINE TO BUILDING. CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR REGARDING METER FOR LANDSCAPE IRRIGATION, IF REQUIRED BY OWNER.

FATS, OILS AND GREASE (FOG) NOTE

- ALL MULTI-UNIT RETAIL AND COMMERCIAL DEVELOPMENT SHALL COMPLY WITH MSD'S WASTEWATER/STORMWATER DISCHARGE REGULATIONS (WDR) AND MSD'S FATS, OILS & GREASE (FOG) MANAGEMENT POLICY.
- ALL MULTI-UNIT RETAIL AND COMMERCIAL DEVELOPMENT SHALL CONTACT MSD PRIOR TO CONDUCTING PRIVATE PLUMBING WORK AT THE MULTI-UNIT SITE.
- ALL FOOD SERVICE ESTABLISHMENTS (FSE) SHALL COMPLY WITH ALL REQUIREMENTS OF THE WDR AND FOG MANAGEMENT POLICY AND ARE SUBJECT TO ENFORCEMENT ACTIONS IN THE MSD ENFORCEMENT RESPONSE PLAN (ERP).
- MSD OR AN AUTHORIZED REPRESENTATIVE SHALL INSPECT ALL MULTI-UNIT RETAIL AND COMMERCIAL DEVELOPMENTS WITH FOOD SERVICE ESTABLISHMENTS (FSE) FOR PROPER INSTALLATION OF GREASE INTERCEPTOR (G).

LEGEND

SEE SHEET C0.1 FOR LEGEND

UTILITY NOTE

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY TRAVIS NORMAN GROUP. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. INDIVIDUAL SERVICE LINES ARE NOT SHOWN.

UTILITY PROTECTION NOTE

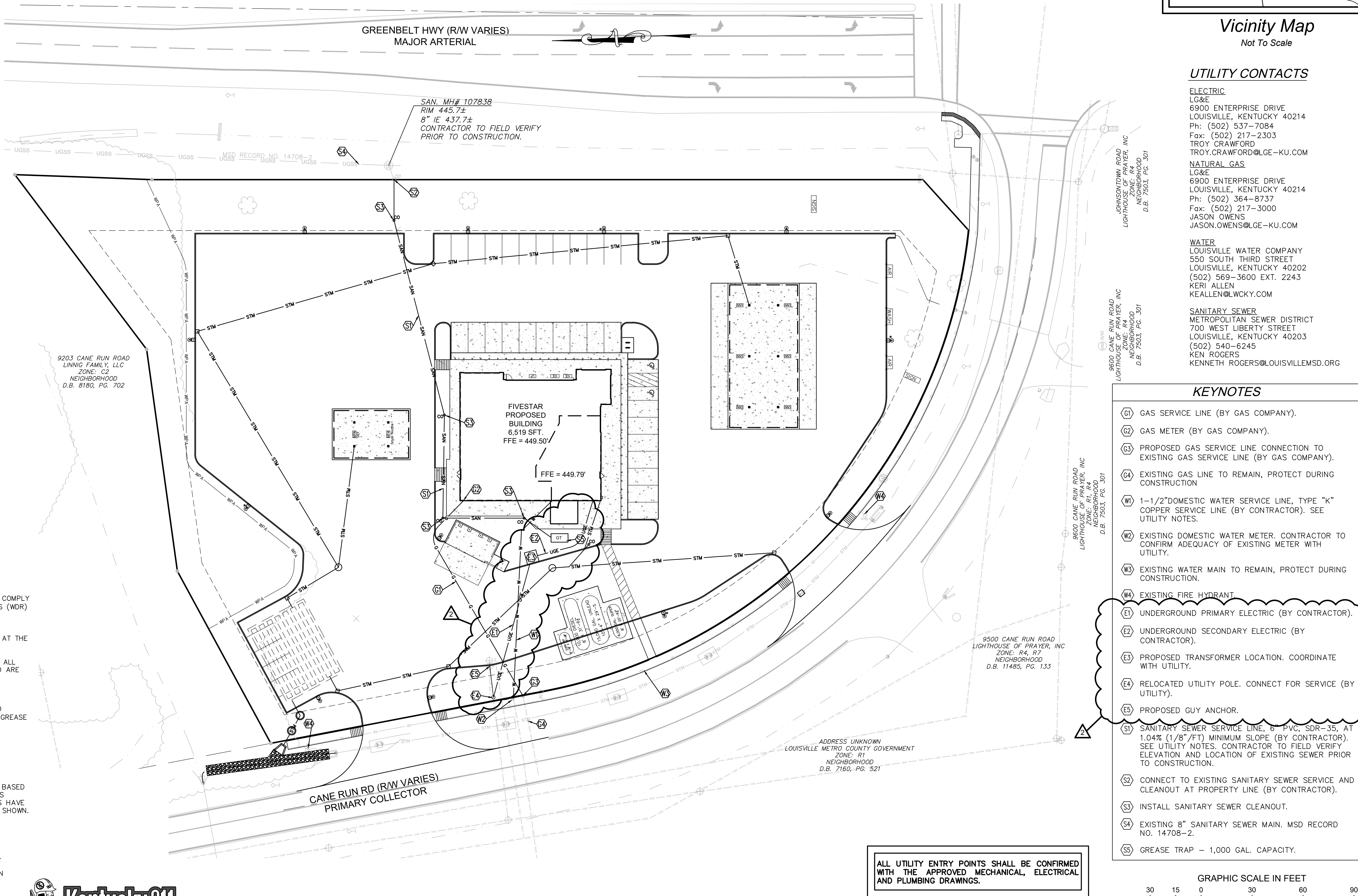
ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-6007 OR LOCAL 502-266-6123), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

ELECTRIC SERVICE

- COORDINATE THE LOCATION AND INSTALLATION OF THE ELECTRIC FACILITIES TO PROVIDE TEMPORARY AND PERMANENT SERVICE.
- PROVIDE ELECTRIC SERVICE INCLUDING ALL CONDUIT, TRENCHING, BACKFILLING, SERVICE CABLE AND COORDINATION WITH UTILITY COMPANY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL, AT A MINIMUM, BE RESPONSIBLE FOR THE FOLLOWING:
  - COORDINATION WITH UTILITY. ALL CONSTRUCTION TO CONFORM TO ALL UTILITY COMPANY REQUIREMENTS, INCLUDING BUT NOT LIMITED TO INSPECTIONS, PULL STRINGS, ACCESS PITS AND ANY OTHER UTILITY REQUIREMENTS.
  - FOUR 4-INCH PVC CONDUITS FOR SECONDARY ELECTRIC FROM TRANSFORMER BANK TO CT CABINET AT BUILDING. CONDUIT SHALL BE PLACED AT A DEPTH OF 30 INCHES. CONDUIT SHALL BE SCHEDULE 40 PVC WITH SCHEDULE 80 ELBOWS (24" RADIUS SWEEPS), WITH PULL STRINGS.
  - CT CABINET WITH POWER BLOCKS PER UTILITY REQUIREMENTS AND LG&E STD. DWG. 81 10 12 REV. B. SCHEDULE 80 CONDUITS ARE REQUIRED FROM GROUND LEVEL TO THE CT CABINET. TWO (2) CONDUIT STRAPS PER CONDUIT ANCHORED WITH THROUGH THE WALL BOLTS ARE REQUIRED.
  - A 1-INCH SCHEDULE 80 CONDUIT IS REQUIRED FROM THE CT CABINET TO THE METER BASE.
- LG&E WILL INSTALL THE SERVICE CONDUCTORS FROM THE UTILITY POLE TO THE TRANSFORMER OR TRANSFORMER BANK.

GAS SERVICE

- COORDINATE THE LOCATION AND INSTALLATION OF THE GAS FACILITIES.
- GAS UTILITY TO PROVIDE THE SERVICE TAP, METER LOOP, GAS METER AND REGULATOR. COORDINATE WITH UTILITY FOR INSPECTION.
- CONTRACTOR TO INSTALL CONDUIT FOR SERVICE LINE INSTALLATION (CONTINUOUS PVC-SCH. 40, NEMA TC-8, OR HDPE-SCH. 20, WITH NO ELBOWS). MINIMUM DEPTH 18". MAXIMUM DEPTH 36". INSTALL YELLOW "CAUTION" OR "WARNING" TAPE. PROVIDE PULL STRING PER GAS UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH UTILITY.



Vicinity Map  
Not To Scale

UTILITY CONTACTS

**ELECTRIC**  
LG&E  
6900 ENTERPRISE DRIVE  
LOUISVILLE, KENTUCKY 40214  
Ph: (502) 537-7084  
Fax: (502) 217-2303  
TROY CRAWFORD  
TROY.CRAWFORD@LGE-KU.COM

**NATURAL GAS**  
LG&E  
6900 ENTERPRISE DRIVE  
LOUISVILLE, KENTUCKY 40214  
Ph: (502) 364-8737  
Fax: (502) 217-3000  
JASON OWENS  
JASON.OWENS@LGE-KU.COM

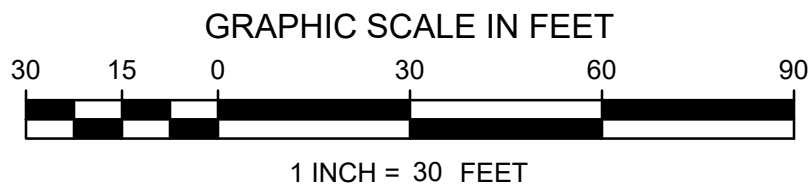
**WATER**  
LOUISVILLE WATER COMPANY  
550 SOUTH THIRD STREET  
LOUISVILLE, KENTUCKY 40202  
(502) 569-3600 EXT. 2243  
KERI ALLEN  
KEALLEN@LWCY.COM

**SANITARY SEWER**  
METROPOLITAN SEWER DISTRICT  
700 WEST LIBERTY STREET  
LOUISVILLE, KENTUCKY 40203  
(502) 540-6245  
KEN ROGERS  
KENNETH.ROGERS@LOUISVILLEMSD.ORG

KEYNOTES

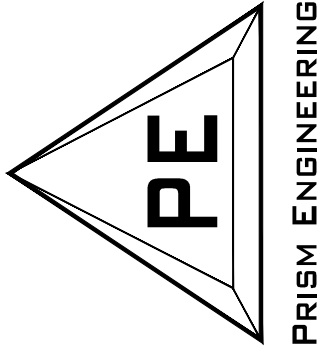
- GAS SERVICE LINE (BY GAS COMPANY).
- GAS METER (BY GAS COMPANY).
- PROPOSED GAS SERVICE LINE CONNECTION TO EXISTING GAS SERVICE LINE (BY GAS COMPANY).
- EXISTING GAS LINE TO REMAIN, PROTECT DURING CONSTRUCTION
- 1-1/2" DOMESTIC WATER SERVICE LINE, TYPE "K" COPPER SERVICE LINE (BY CONTRACTOR). SEE UTILITY NOTES.
- EXISTING DOMESTIC WATER METER. CONTRACTOR TO CONFIRM ADEQUACY OF EXISTING METER WITH UTILITY.
- EXISTING WATER MAIN TO REMAIN, PROTECT DURING CONSTRUCTION.
- EXISTING FIRE HYDRANT.
- UNDERGROUND PRIMARY ELECTRIC (BY CONTRACTOR).
- UNDERGROUND SECONDARY ELECTRIC (BY CONTRACTOR).
- PROPOSED TRANSFORMER LOCATION. COORDINATE WITH UTILITY.
- RELOCATED UTILITY POLE. CONNECT FOR SERVICE (BY UTILITY).
- PROPOSED GUY ANCHOR.
- SANITARY SEWER SERVICE LINE, 6" PVC, SDR-35, AT 1.04% (1/8") MINIMUM SLOPE (BY CONTRACTOR). SEE UTILITY NOTES. CONTRACTOR TO FIELD VERIFY ELEVATION AND LOCATION OF EXISTING SEWER PRIOR TO CONSTRUCTION.
- CONNECT TO EXISTING SANITARY SEWER SERVICE AND CLEANOUT AT PROPERTY LINE (BY CONTRACTOR).
- INSTALL SANITARY SEWER CLEANOUT.
- EXISTING 8" SANITARY SEWER MAIN. MSD RECORD NO. 14708-2.
- GREASE TRAP - 1,000 GAL. CAPACITY.

ALL UTILITY ENTRY POINTS SHALL BE CONFIRMED WITH THE APPROVED MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.



PE PROJ. # 224039-E1

**PRISM ENGINEERING**  
2309 WATERSON TRAIL, SUITE 200  
LOUISVILLE, KENTUCKY 40299  
OFFICE: (502) 491-8899  
FAX: (502) 491-8898  
WWW.PRISM-CIVIL.COM



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**SITE UTILITIES PLAN**  
**FIVESTAR #5301**  
**9501 CANE RUN ROAD**  
**LOUISVILLE, KENTUCKY 40258**

| NO. | REVISIONS                   | DESCRIPTION | DATE     |
|-----|-----------------------------|-------------|----------|
|     |                             |             |          |
| 1   | ADJUSTED SEWER SERVICE LINE |             | 04/21/25 |
| 2   | REVISED PER CLIENT          |             | 07/31/25 |

|   |                    |                     |            |
|---|--------------------|---------------------|------------|
| OWNER:<br>NEWCOMB REALTY, LLC<br>BARDETOWN, KY 40004-2672 | CHECK<br>BY<br>CHK | APPROVE<br>BY<br>JH | DATE<br>JH |
|   |                    |                     |            |

MARCH 14, 2025

SITE UTILITIES PLAN

**C5.0**

GENERAL EPSC NOTES

1. THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED. EPSC BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED ACCORDING TO PLANS AND SHALL MEET THE DESIGN CRITERIA SET FORTH BY FEDERAL, STATE AND LOCAL AGENCIES.
2. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
3. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM THE STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
4. WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE MOST RECENT DISTURBANCE WITHIN THE AREA.
5. TEMPORARY SEEDING:  
ANNUAL RYEGRASS (2 POUNDS PER 1,000 SQ. FT.)  
LIME AND FERTILIZER TO BE PROVIDED AS NECESSARY BASED ON SOIL TESTS.
6. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.
7. AREA OF SOIL DISTURBANCE = 115,197 SQ. FT. (2.64 AC.)
8. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS SITE CONSISTS OF THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN (C6.0) AND THE SWPPP REPORT.
9. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES AND RESTORATION OF ALL DISTURBED AREAS UNTIL FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. ALL DISTURBED AREAS SHALL HAVE PERMANENT GRASS COVER ESTABLISHED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
10. THE EROSION PREVENTION AND SEDIMENT CONTROL DEVICES SHOWN IN THIS PLAN ARE INTENDED TO BE THE MINIMUM CONTROL MEASURES. ADDITIONAL EPSC DEVICES MAY NEED TO BE INSTALLED AS NECESSARY BY THE CONTRACTOR TO PREVENT EROSION AND SEDIMENTATION.

EPSC INSPECTION AND MAINTENANCE SCHEDULE

1. THE CONTRACTOR IS REQUIRED TO CONDUCT INSPECTIONS OF ALL EPSC MEASURES AND PERFORM ANY MODIFICATIONS, MAINTENANCE OR REPAIRS AS NECESSARY, EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF EACH STORM EVENT THAT PRODUCES 0.5 INCHES OR MORE OF PRECIPITATION. ADDITIONALLY, INSPECTIONS SHALL BE PERFORMED ONCE PERIMETER CONTROLS HAVE BEEN INSTALLED; AT THE COMPLETION OF CLEARING AND GRADING; WHEN ON-SITE TEMPORARY EROSION CONTROLS ARE INSTALLED; AND AT THE COMPLETION OF FINAL GRADING AND GROUND STABILIZATION.
2. RECORDS OF THESE INSPECTIONS MUST BE KEPT ON SITE AT ALL TIMES FOR REVIEW BY THE APPROPRIATE COMPLIANCE ENFORCEMENT AGENCY. RECORDS SHALL BE KEPT ON THE SELF-INSPECTION FORM WITH APPROVED CONSTRUCTION DRAWINGS.
3. ALL MEASURES SHALL BE MAINTAINED IN A FULLY FUNCTIONAL CONDITION UNTIL SUCH MEASURES ARE NO LONGER REQUIRED FOR A PARTICULAR PHASE OF WORK OR THE DISTURBED AREAS HAVE BEEN STABILIZED.
4. ALL EPSC MEASURES (SILT FENCE, SEDIMENT TRAPS, SEDIMENT BASINS, CONSTRUCTION ENTRANCES, ETC.) SHALL BE INSPECTED TO ENSURE THAT THEY ARE INSTALLED PER THE PLAN AND ARE OPERATING PROPERLY.
5. ALL TEMPORARY AND FINAL STABILIZATION MEASURES SHALL BE INSPECTED FOR ADEQUACY. ANY SEEDED AREAS THAT BECOME THIN OR BARE SHALL BE RE-SEEDED PER THE PLANS. ALL AREAS SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
6. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND SEDIMENT BASINS WHEN THE SEDIMENT ACCUMULATION HAS REDUCED THE DESIGN CAPACITY BY FIFTY PERCENT.
7. SEDIMENT SHALL BE REMOVED FROM ALL OTHER CONTROLS WHEN THE SEDIMENT REACHES APPROXIMATELY 1/3 THE HEIGHT OF THE CONTROL MEASURE.
8. ALL WORK SHALL BE WITHIN THE LIMITS OF THE APPROVED PLANS. IF MODIFICATIONS TO THE PLANS ARE REQUIRED, THE CHANGES SHALL BE IMPLEMENTED WITHIN 48 HOURS OF THE INSPECTION INDICATING A DEFICIENCY.
9. ALL RECORDS OF THE STORMWATER POLLUTION PREVENTION PROGRAM MUST BE KEPT FOR AT LEAST 3 YEARS AFTER THE PERMIT HAS BEEN TERMINATED, IF APPLICABLE.

EPSC PHASING NOTES

1. COORDINATE WITH MSD INSPECTOR FOR A PRE-CONSTRUCTION MEETING PRIOR TO ANY WORK.
2. SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE.
3. STOCKPILE AREAS, IF USED, SHALL HAVE PERIMETER SILT FENCE AND SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
4. CONTRACTOR SHALL BEGIN SITE GRADING AND CONSTRUCTION OF UTILITIES, STORM DRAINAGE, AND PARKING AREAS.
5. CONTRACTOR SHALL INSTALL STORM DRAINAGE SYSTEM AND PROVIDE INLET PROTECTION AS STORM SEWER CONSTRUCTION PROGRESSES. THE STORMWATER QUALITY UNIT SHALL NOT BE INSTALLED UNTIL FINAL STABILIZATION HAS BEEN COMPLETED.
6. CONTRACTOR SHALL INSTALL SUBBASE AND PAVEMENT FOR THE PARKING AREA.
7. CONTRACTOR SHALL COMPLETE SITE GRADING AND IMPROVEMENTS.
8. CONTRACTOR SHALL STABILIZE THE SITE BEFORE REMOVING ANY OF THE EROSION CONTROL MEASURES AND PRIOR TO INSTALLATION OF THE STORMWATER QUALITY UNIT.
9. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES AND RESTORATION OF ALL DISTURBED AREAS UNTIL FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE.

LEGEND

SEE SHEET C0.1 FOR LEGEND

UTILITY NOTE

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY TRAVIS NORMAN GROUP. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. INDIVIDUAL SERVICE LINES ARE NOT SHOWN.

UTILITY PROTECTION NOTE

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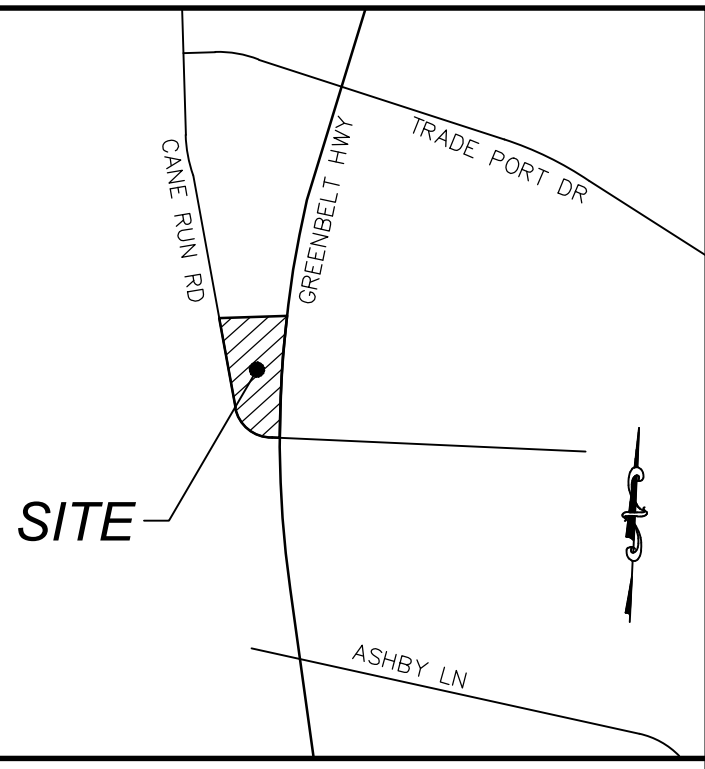
| BMP SCHEDULE |   |
|--------------|---|
| BMP          | DESCRIPTION   |
| 1-14         | SILT FENCE - SEE MSD STD. DWG. EF-01-02                       |
| 15-16        | STABILIZED CONSTRUCTION ENTRANCE - SEE MSD STD. DWG. ER-01-03 |
| 16-34        | STONE BAG INLET PROTECTION - SEE MSD STD. DWG. EF-03-02       |
| 35           | CONCRETE WASHOUT - SEE DETAILS SHEET, C7.0                    |

MSD STANDARD DRAWINGS

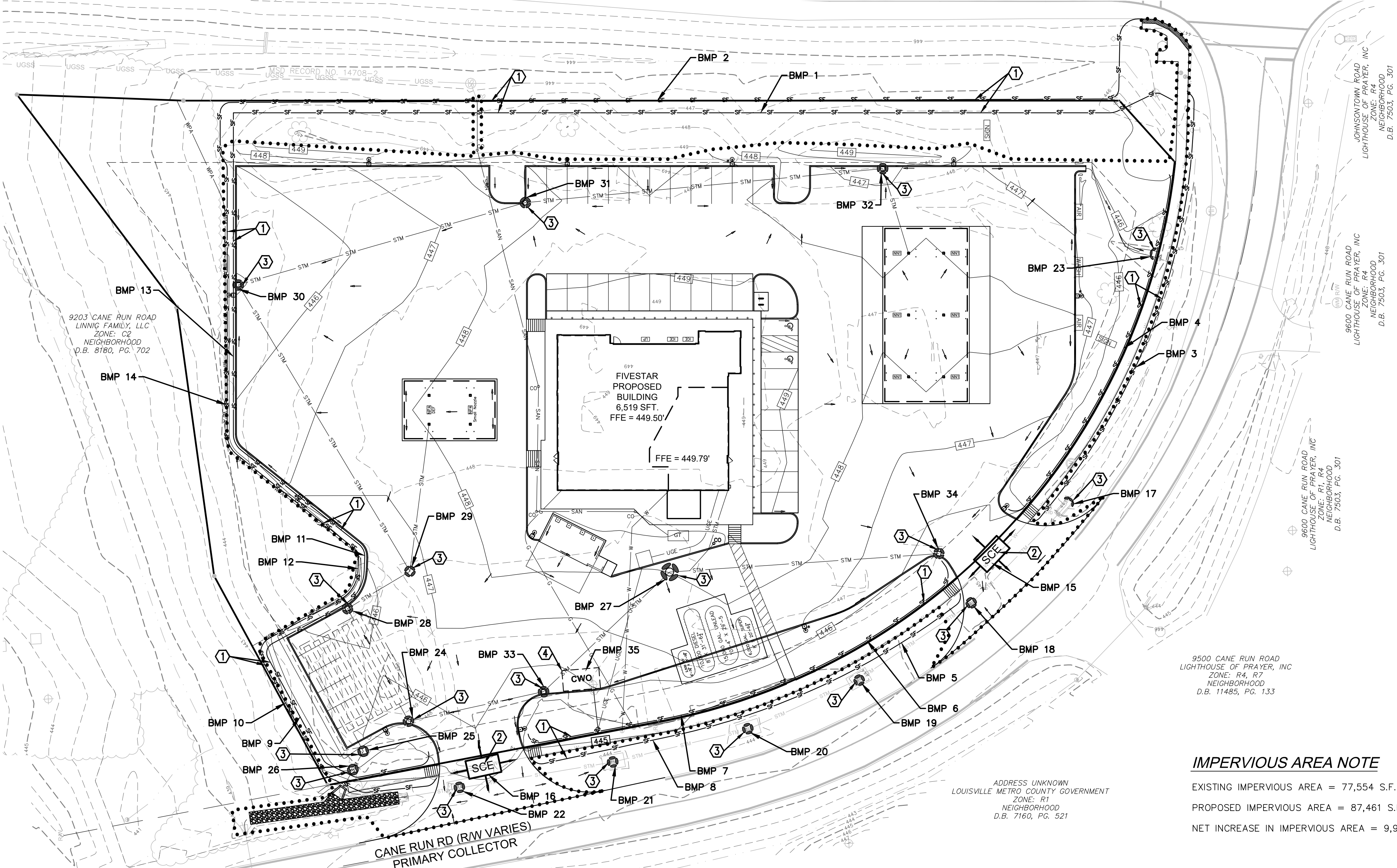
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|----------------------------------|----------|
| STONE BAG INLET PROTECTION       | EF-03-02 |
| SILT FENCE                       | EF-09-02 |
| STABILIZED CONSTRUCTION ENTRANCE | ER-01-03 |

EPSC LEGEND

|       |     |     |                                  |
|-------|-----|-----|----------------------------------|
| ---   | 501 | --- | EXISTING CONTOUR                 |
| ---   | 500 | --- | EXISTING INDEX CONTOUR           |
| ---   | 501 | --- | PROPOSED CONTOUR                 |
| ---   | 500 | --- | PROPOSED INDEX CONTOUR           |
| ..... |     |     | LIMITS OF DISTURBANCE            |
| ---   | SF  | --- | SILT FENCE                       |
|       |     |     | STONE BAG INLET PROTECTION       |
|       |     |     | CONCRETE WASHOUT AREA            |
|       |     |     | STABILIZED CONSTRUCTION ENTRANCE |



Vicinity Map  
Not To Scale

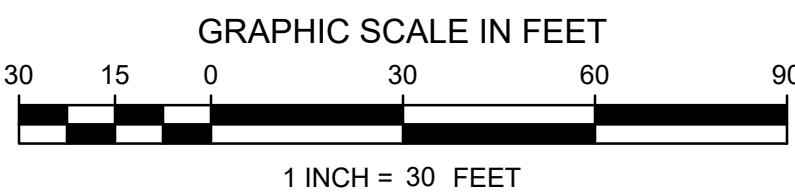


IMPERVIOUS AREA NOTE

EXISTING IMPERVIOUS AREA = 77,554 S.F.  
PROPOSED IMPERVIOUS AREA = 87,461 S.F.  
NET INCREASE IN IMPERVIOUS AREA = 9,907 S.F.

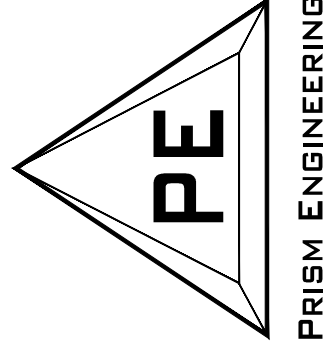
KEYNOTES

- 1 SILT FENCE - PER MSD STD. DWG. EF-09-02.
- 2 STABILIZED CONSTRUCTION ENTRANCE (SCE) - PER MSD STD. DWG. ER-01-03.
- 3 STONE BAG INLET PROTECTION - PER MSD STD. DWG. EF-03-02.
- 4 CONCRETE WASHOUT AREA - SEE DETAIL 9/C7.0.



PE PROJ. # 224039-E1

**PRISM**  
ENGINEERING  
2309 WATERBORN TRAIL, SUITE 200  
LOUISVILLE, KENTUCKY 40299  
OFFICE: (502) 491-8899  
FAX: (502) 491-8898  
WWW.PRISM-CIVIL.COM



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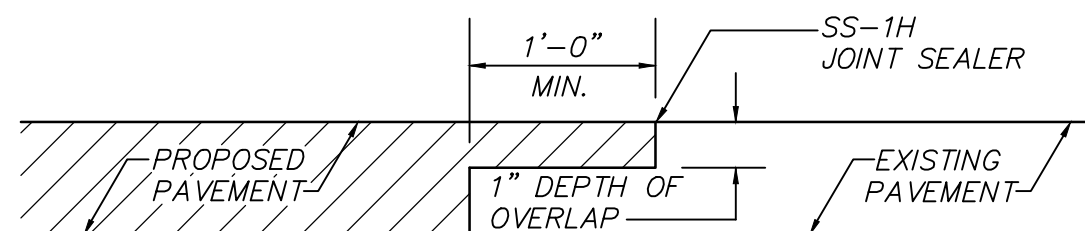
EROSION PREVENTION AND  
SEDIMENT CONTROL PLAN  
FIVESTAR #5301  
9501 CANE RUN ROAD  
LOUISVILLE, KENTUCKY 40258

| REVISIONS |                                   | DATE     |
|-----------|-----------------------------------|----------|
| NO.       | DESCRIPTION                       |          |
| 1         | ADDED BMP NOS. REVISED SILT FENCE | 04/21/25 |
| 2         | REVISED SIDEWALK PER KYTC         | 05/28/25 |
| 3         | REVISED PER CLIENT                | 05/28/25 |

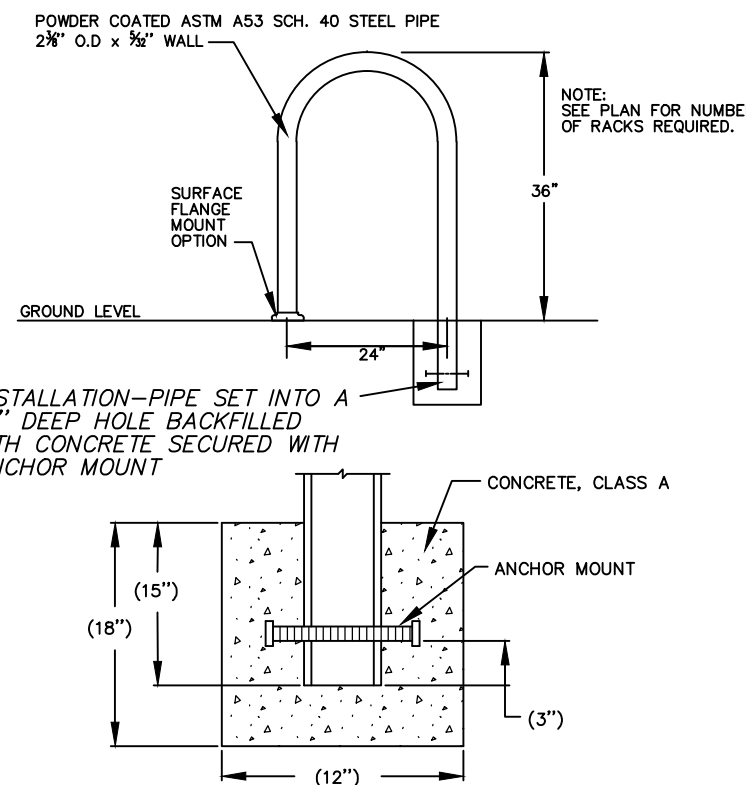
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|---|------------|------------|---------------|------|
| OWNER:<br>NEWCOMB REALTY, LLC<br>BARDETOWN, KY 40004-2672 | CHECK<br># | CHECK<br># | APPROVE<br>BY | DATE |
|   |            |            |               |      |
|   |            |            |               |      |
|   |            |            |               |      |

MARCH 14, 2025

EPSC PLAN  
**C6.0**

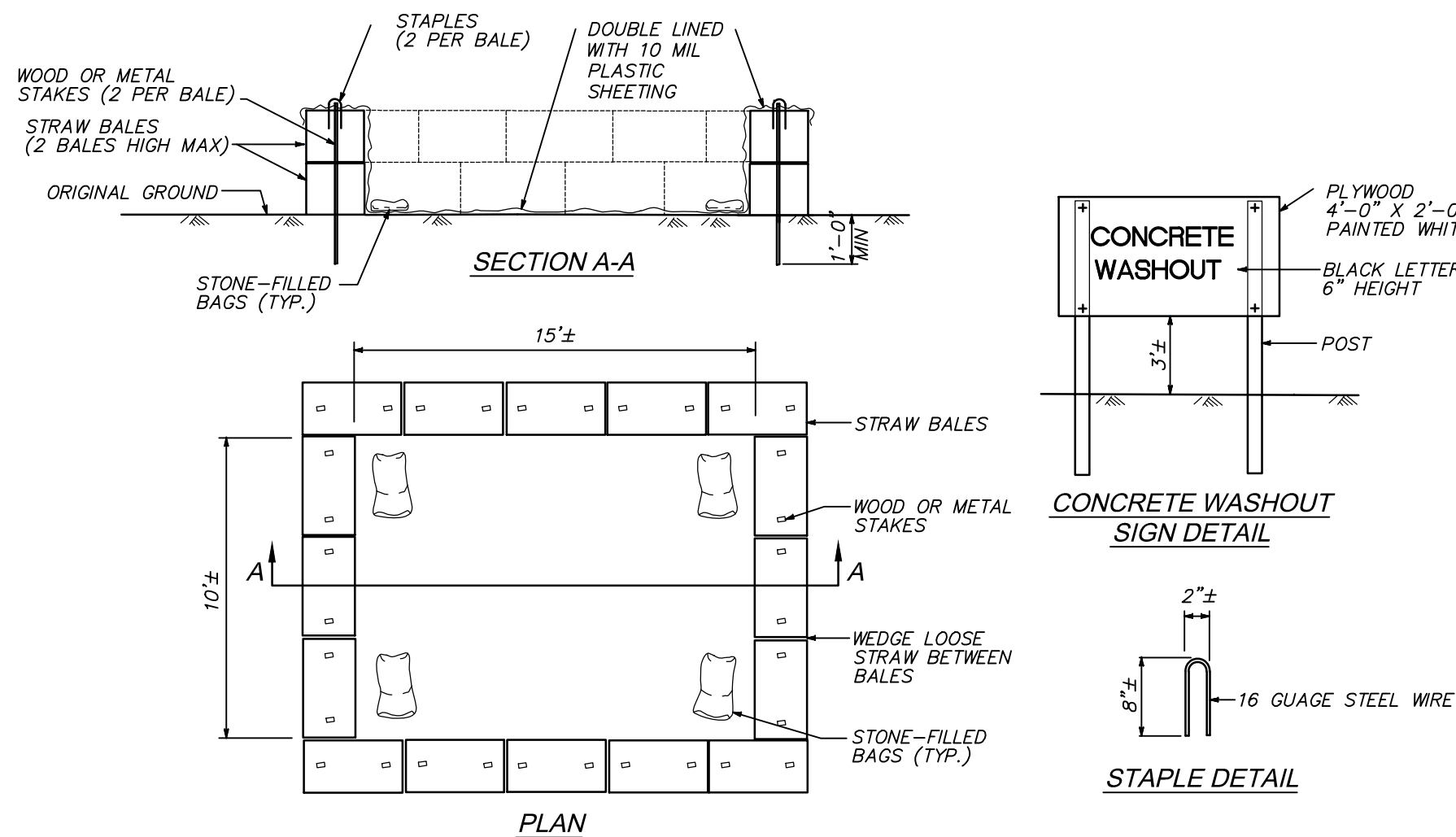


|          |                 |
|----------|-----------------|
| NO SCALE |                 |
| 1        | EDGE KEY DETAIL |



INSTALL DERO HOOP RACK HD (INVERTED "U"), OR AN APPROVED  
EQUIV. TO MEET MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR  
TO PROVIDE HEAVY DUTY DERO HOOP RACK HD. IS MANUFACTURED  
BY DERO BIKE RACK CO., 504 MALCOLM AVENUE SE SUITE 100,  
MINNEAPOLIS, MN 55914, 1-800-298-4915, [WWW.DERO.COM](http://WWW.DERO.COM), OR AN  
APPROVED EQUIV. BIKE RACK SHALL BE ANCHORED IN PROPOSED  
CONCRETE PAVEMENT PER MANUFACTURER'S GUIDELINES AND HAVE  
A BLACK, UV RESISTANT, POWDER COAT FINISH.

|   |           |
|---|-----------|
| 5 | BIKE RACK |
|---|-----------|



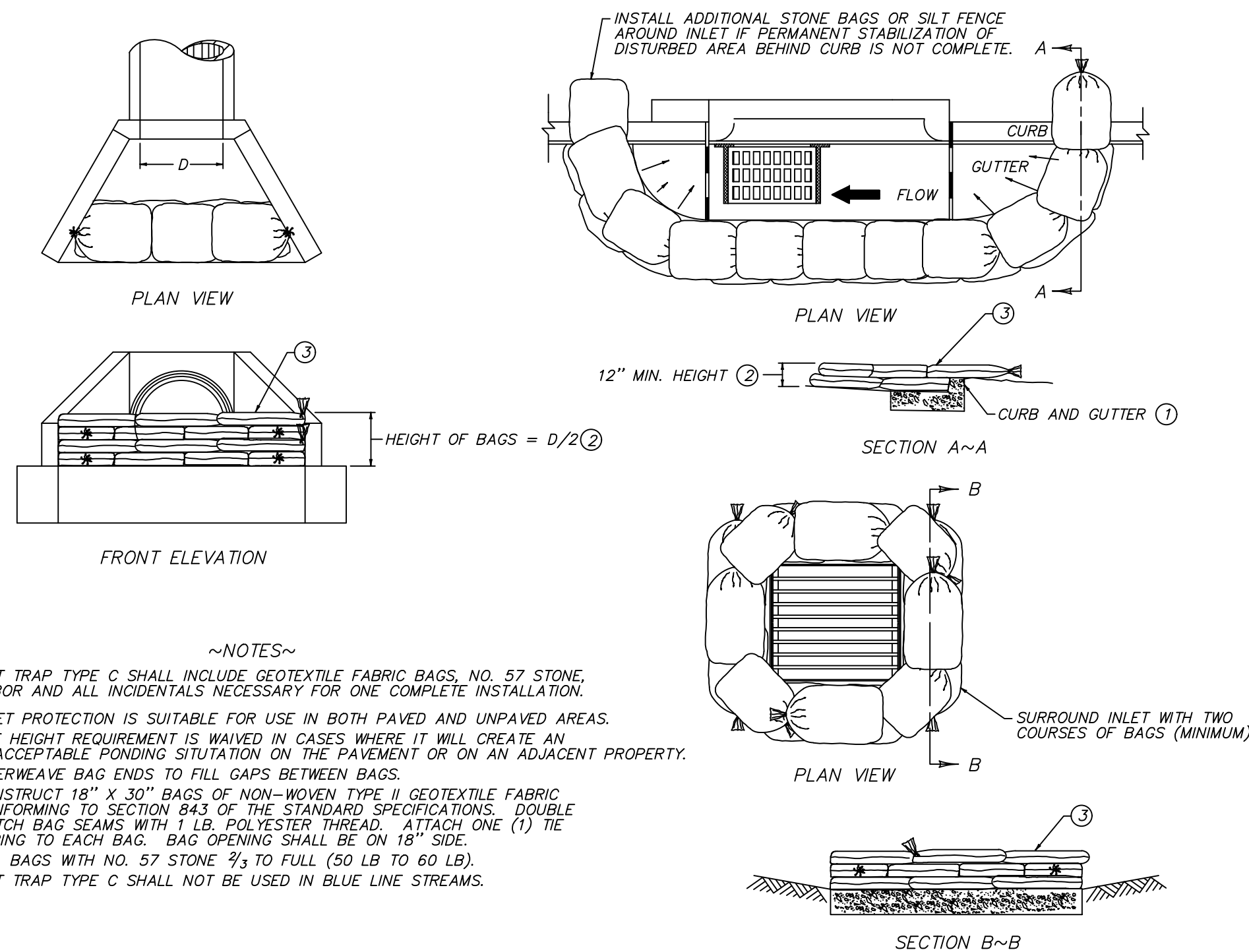
NOTES:

1. ON GRADE WASHOUT AREA SHOWN, A BELOW GRADE PIT OF EQUIVALENT SIZE MAY BE USED IN LIEU OF THE ON GRADE OPTION.
2. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE AND WASHOUT PITS SHALL BE SITUATED A MINIMUM OF TWENTY FIVE (25) FEET FROM THEM.
3. SURFACE RUNOFF GENERATED FROM UPSLOPE AREAS SHALL BE DIVERTED AWAY FROM BELOW-GRADE WASHOUT PITS SO AS NOT TO FLOW INTO THEM.
4. THE WASHOUT PIT SHALL BE INSPECTED FREQUENTLY TO INSURE THE LINER IS INTACT.
5. ONCE 75% OF THE ORIGINAL VOLUME OF THE WASHOUT PIT IS FILLED OR IF THE LINER IS TORN, THE MATERIAL MUST BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS COMPLETELY HARDENED.
6. ONCE THE WASHOUT PIT IS NO LONGER NEEDED, ENSURE ALL WASHOUT MATERIAL HAS COMPLETELY HARDENED, THEN REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS.

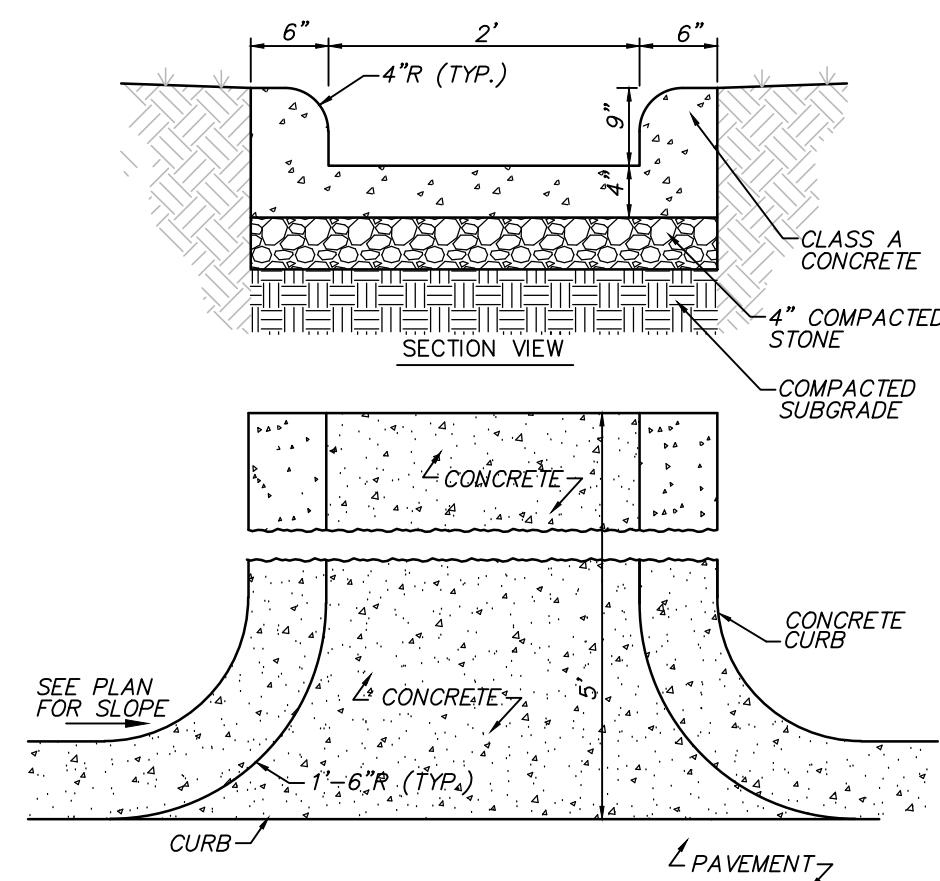
|          |                                 |
|----------|---------------------------------|
| NO SCALE |                                 |
| 9        | TEMPORARY CONCRETE WASHOUT AREA |

|          |          |
|----------|----------|
| NO SCALE |          |
| 2        | NOT USED |

|   |          |
|---|----------|
| 6 | NOT USED |
|---|----------|

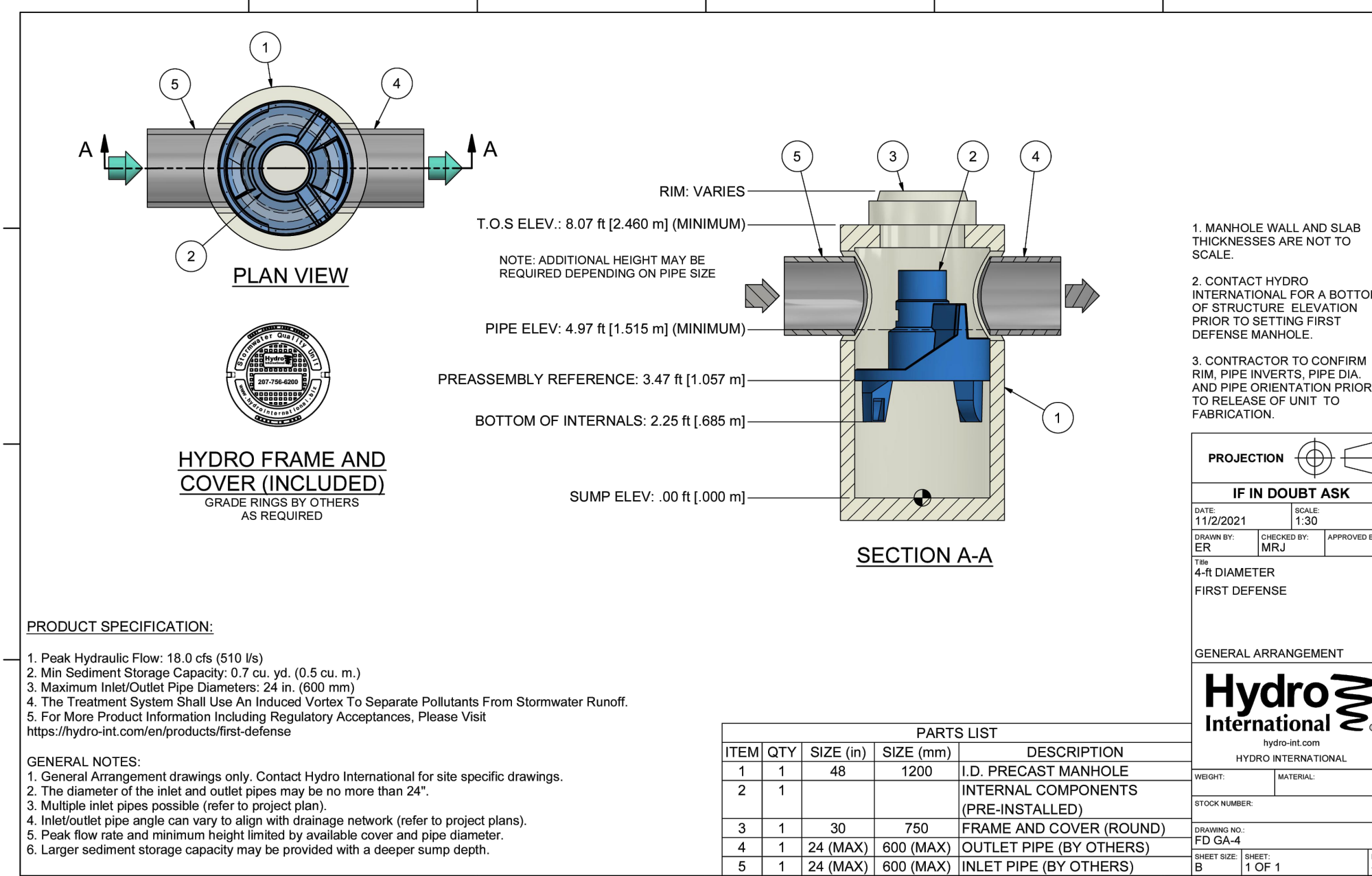


|          |   |
|----------|---|
| NO SCALE |   |
| 10       | SILT TRAP TYPE C (KYTC STD. DWG. NO, RDX-230) |



|          |                    |
|----------|--------------------|
| NO SCALE |                    |
| 3        | CONCRETE FLUME "A" |

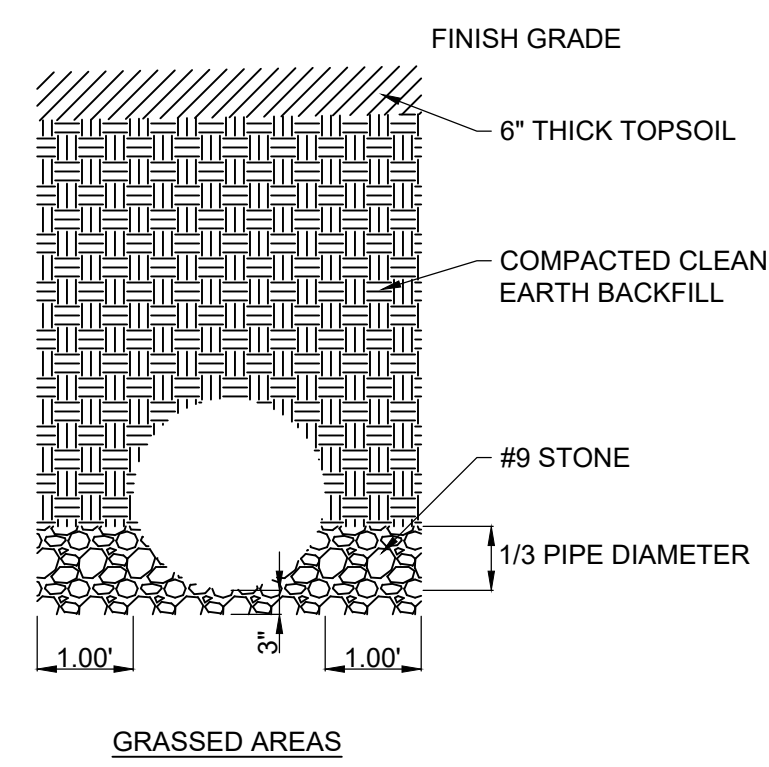
|   |          |
|---|----------|
| 7 | NOT USED |
|---|----------|



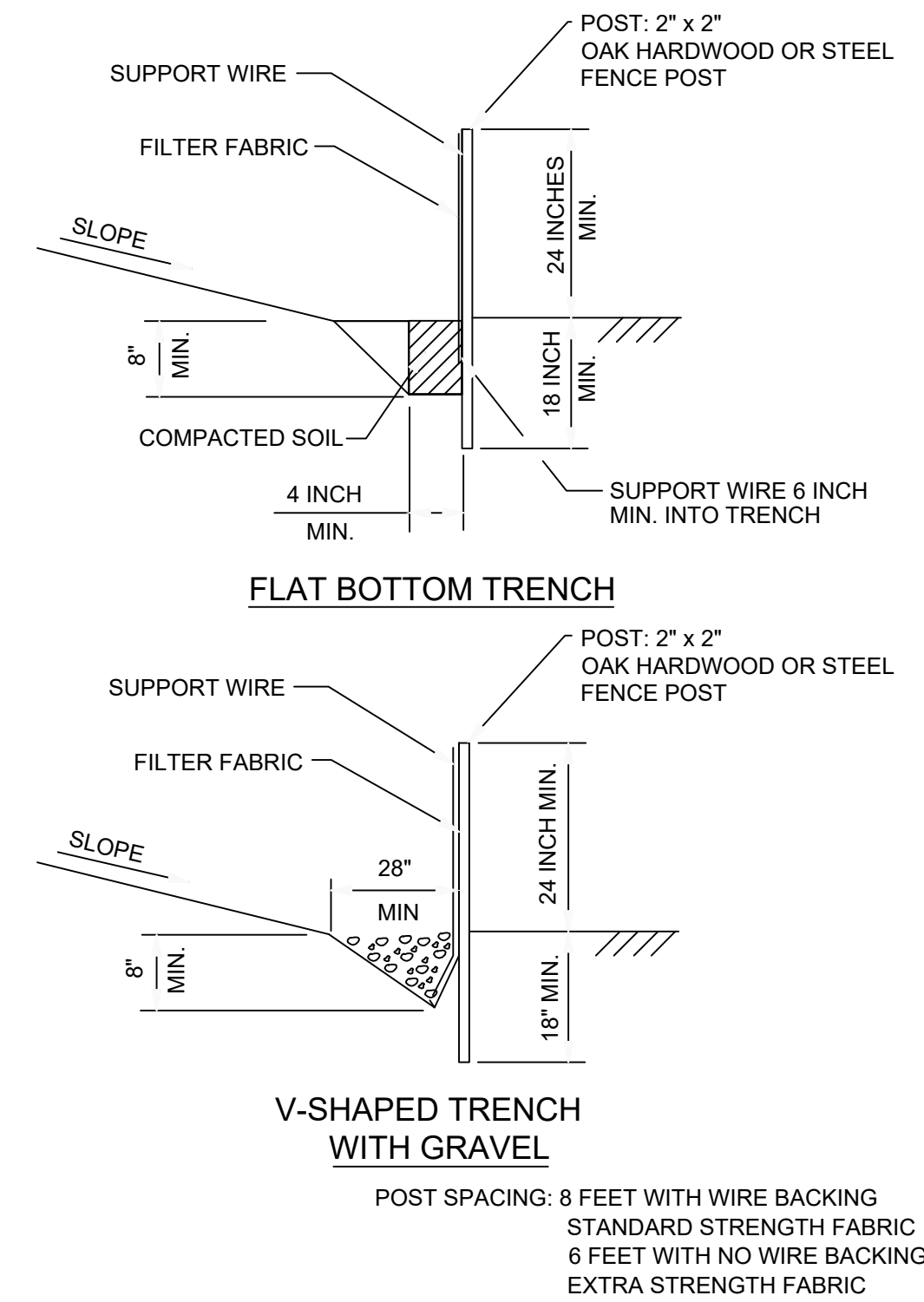
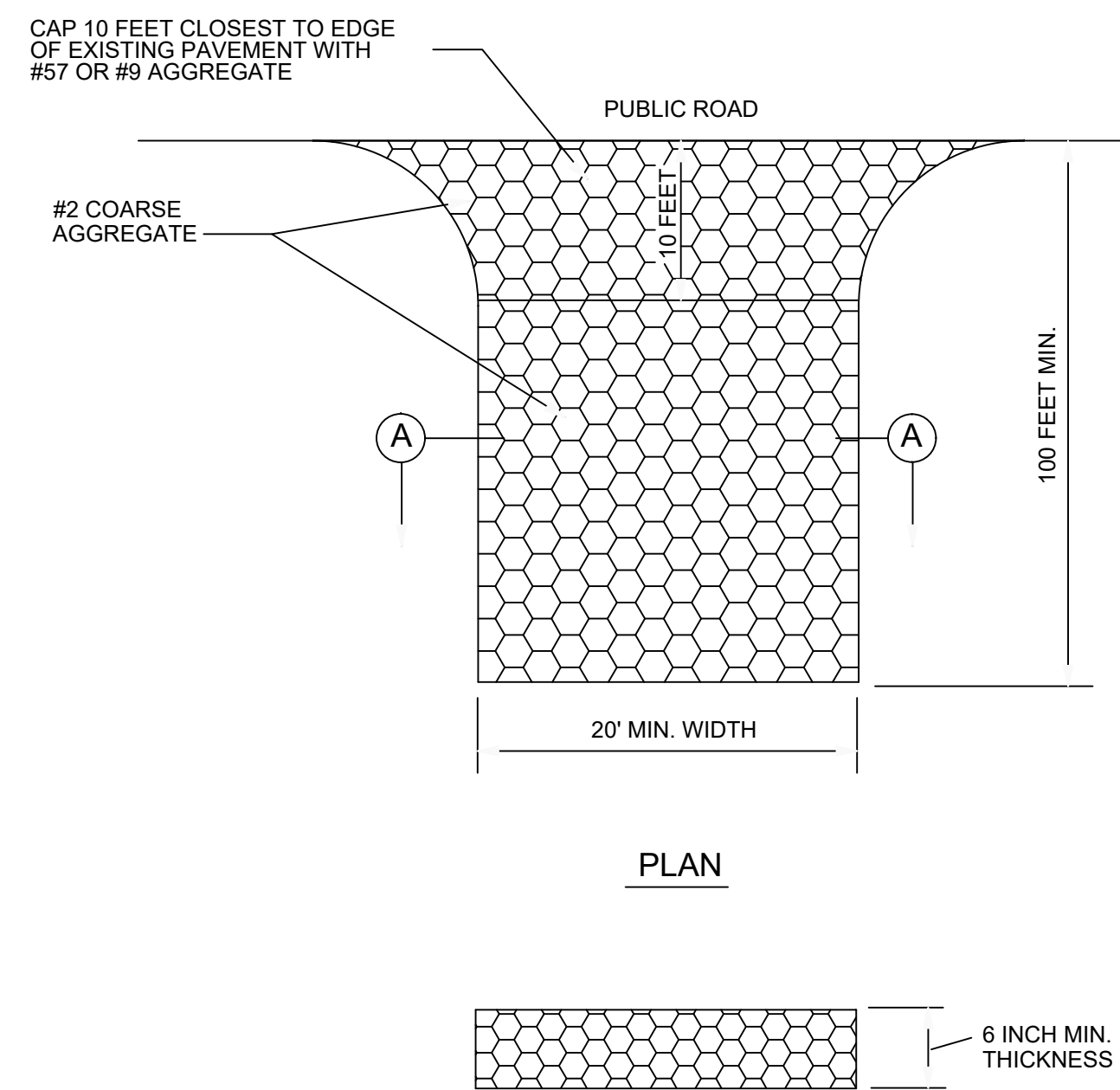
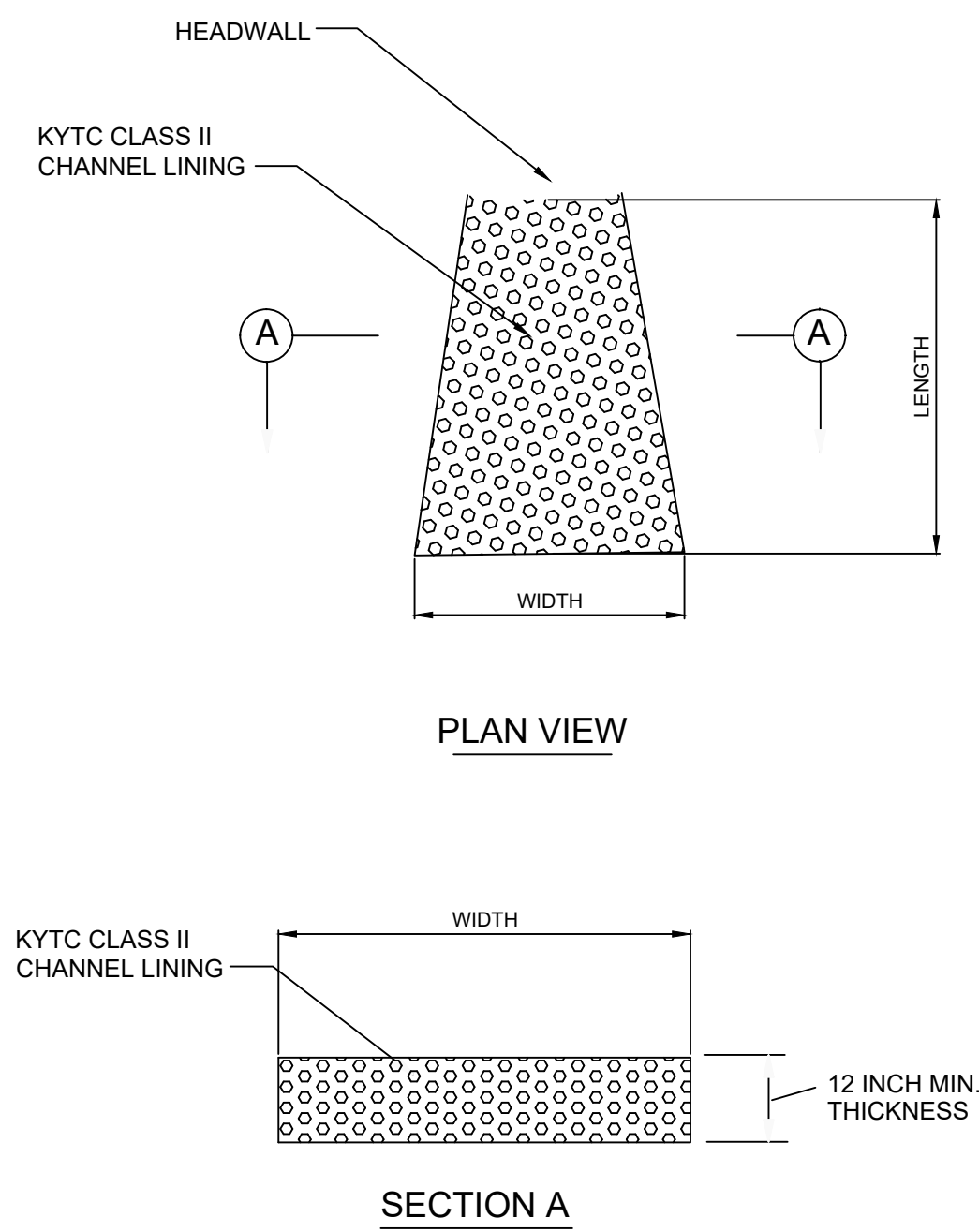
|          |                    |
|----------|--------------------|
| NO SCALE |                    |
| 11       | WATER QUALITY UNIT |

| REVISIONS |                           |          |
|-----------|---------------------------|----------|
| NO.       | DESCRIPTION               | DATE     |
| 1         | REVISED PER AGENCY REVIEW | 04/21/25 |
|           |                           |          |
|           |                           |          |
|           |                           |          |
|           |                           |          |





| <u>SIZING FOR STONE OUTLET PROTECTION</u> |              |   |
|---|--------------|---|
| <u>CULVERT SIZE</u>                       | <u>WIDTH</u> | <u>LENGTH FROM END OF PIPE/HEADWALL</u> |
| 15"                                       | 6 FT         | 8 FT                                    |
| 18"                                       | 7 FT         | 10 FT                                   |
| 24"                                       | 8 FT         | 12 FT                                   |
| 30"                                       | 10 FT        | 14 FT                                   |
| 36"                                       | 12 FT        | 16 FT                                   |
| 42"                                       | 14 FT        | 18 FT                                   |
| 48"                                       | 16 FT        | 22 FT                                   |

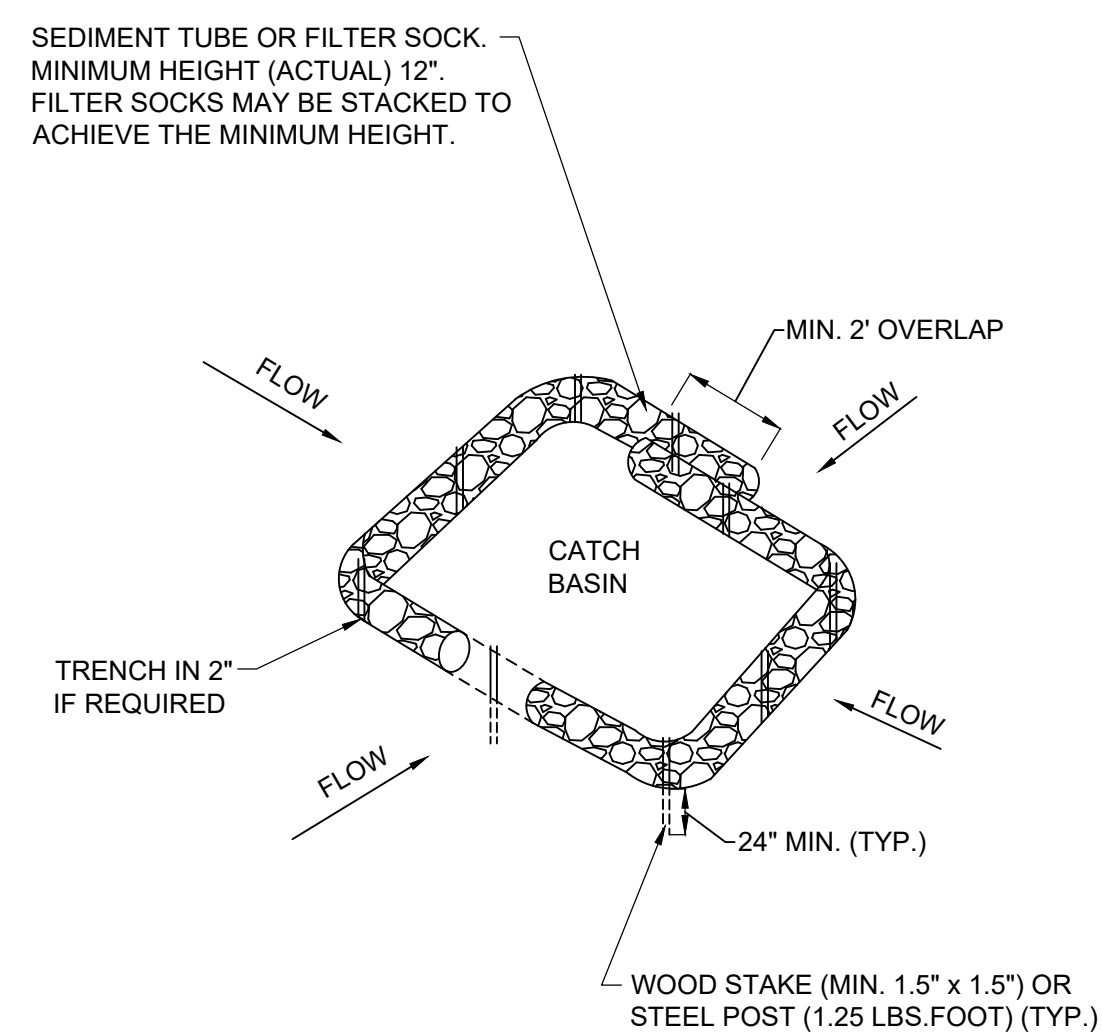


|   |                     |
|---|---------------------|
| 1 | PIPE BEDDING DETAIL |
|---|---------------------|

|   |  |
|---|--|
| 2 | PERMANENT STONE OUTLET PROTECTION DETAIL |
|---|--|

|   |                                    |
|---|------------------------------------|
| 3 | TEMPORARY GRAVEL ENTRANCE/EXIT PAD |
|---|------------------------------------|

|   |                   |
|---|-------------------|
| 4 | SILT FENCE DETAIL |
|---|-------------------|



|   |                  |
|---|------------------|
| 5 | INLET PROTECTION |
|---|------------------|

|   |          |
|---|----------|
| 6 | NOT USED |
|---|----------|

|   |          |
|---|----------|
|   | NO SCALE |
| 7 | NOT USED |

[illegible]

**NEWCOMB REALTY, LLC**  
 951 WITHROW COURT  
 BARDSTOWN, KY 40004-2072

ARCH 14, 2025

## TE DETAILS

## 37.2